



City of Portland
Bureau of Development Services
Land Use Services Division

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Portland, Oregon 97201
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FAX: 503-823-5630
www.portlandonline.com/bds

Date: May 29, 2008
To: Interested Person
From: Chris Beanes, Land Use Services
503-823-7983 / chris.beanes@ci.portland.or.us

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 08-118349 DZ, NEW STOREFRONT AND DOCK

GENERAL INFORMATION

Applicant:

Steve Fosler, 503-241-9339 Fosler Portland Architecture 720 SW Ankeny St Portland, OR 97205	Overton Pearl LLC 1626 NW 15th Ave Portland, OR 97209
Al Solheim, Rich Ford 4800 SW Macadam Ave #120 Portland, OR 97239	Rich Grimes, WDC Properties 1626 NW 15th Ave Portland OR 97209

Site Address: 1330 NW 14TH AVE

Legal Description: LOT 5-8 BLOCK 228, COUCHS ADD
Tax Account No.: R180220610
State ID No.: 1N1E33AA 01300
Quarter Section: 2928
Neighborhood: Pearl District, contact Patricia Gardner at 503-228-3273.
Business District: Pearl District Business Association, contact Adele Nofield at 503-223-0070.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Plan District: Central City - River District
Other Designations: River District
Zoning: EXd, Central Employment with design overlay
Case Type: DZ, Design Review
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal: The applicant proposes a renovation to an existing warehouse building in order to change the use to retail. Amongst the exterior alterations proposed are:

- New openings in the concrete walls for introduction of a glass and anodized metal storefront system, with recessed entry openings;
- New awnings along all frontages projecting 4'-0" into the Right of Way constructed of reclaimed wood;
- An expanded loading dock along NW 13th Avenue, where the existing dock measures approximately 10'-0" wide by 50'-0" long, the applicant proposes a dock measuring 10'-0" wide by 100'-0" long.

Because the proposal is for new development in a design overlay zone, Design Review is required.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- Central City Fundamental Design Guidelines
- River District Design Guidelines

ANALYSIS

Site and Vicinity: This site is in the center of a unique 'strip' of buildings within the neighborhood, with this site being one block in a linear series of blocks along the west side of 14th Avenue which has retained its long-standing industrial character. A view both north and south of this site along 14th reveals a strength and 'solidness' common among the wide variety of buildings, including those that have been recently renovated (such as the Meier&Frank warehouse/The Avenue and Bits and Pieces), newly constructed (REI/The Edge Lofts), long-abandoned (Meier&Frank warehouse at Everett) along with the currently industrial/commercial low buildings between Lovejoy and the Fremont Bridge. This strip has maintained a strong industrial character even as new development has occurred nearby, and is likely to retain its historic character especially in relationship to 15th Ave and the massive freeway structure overhead to the west, in contrast to the 'glossy' or brick character of much of the rest of the rapidly developing river district to the east.

NW Pettygrove Street is designated as a Local Service Bikeway, while NW 14th Avenue is designated a Major City Traffic Street, City Bikeway, (the site is also within the Northwest Triangle Pedestrian District) and a Local Service Street for all other modes in the City's Transportation System Plan. It should also be noted that River District Right-of-Way Standards document identifies NW Overton as an Existing Typical Street for the purposes of determining specific frontage improvements. The site frontage along this street is currently improved with paving, curbs and sidewalks, although they do not meet River District Standards.

NW 14th Avenue is designated as a Major City Traffic Street, City Bikeway, Community Corridor and a Local Service Street for all other modes in the City's Transportation System Plan. The River District Right-of-Way Standards document identifies NW 14th as an Existing Typical Street for the purposes of determining specific frontage improvements. The site frontage along this street currently improved with paving, curbs and sidewalks, although they do not meet River District Standards.

Zoning: The zone implements the Central Employment map designation [EX] of the Comprehensive Plan. The zone allows mixed-uses and is intended for areas in the center of the City that have predominantly industrial type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed,

but are not intended to predominate or set development standards for other uses in the area. The development standards are intended to allow new development which is similar in character to existing development.

The Design overlay zone (d) designation also ensures that exterior alterations to existing development conserve and enhance the identified historic, scenic, architectural, and cultural values of each design district: in this case, the River District.

Land Use History: City records indicate a previous land use case for the site:

- PC4684, an areawide zoning map amendment.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **April 9, 2008**. The following Bureaus have responded with no issues or concerns:

- Site Development Section of BDS
- Bureau of Transportation Engineering
- Bureau of Environmental Services

The Life Safety (Building Code) Section of BDS responded with the following comment: “A building permit is required to change the use of a building to a different occupancy classification and the building must be made to comply with building code requirements for the proposed new use or occupancy.” *Please see Exhibit E-1 for additional details.*

The Bureau of Transportation Engineering responded with the following comment: “Portland Transportation has no objection to the proposed Design Review and loading dock, subject to the condition that the loading dock provide through pedestrian access on both ends. ADA accessibility is only required on one end, but is preferred on both ends”. *Please see Exhibit E-2 for additional details.*

The Bureau of Environmental Services responded with the following comment: “Portland Transportation has no objection to the proposed Design Review and loading dock, subject to the condition that the loading dock provide through pedestrian access on both ends. ADA accessibility is only required on one end, but is preferred on both ends”. *Please see Exhibit E-3 for additional details.*

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed **April 9, 2008**. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site’s location, the applicable design guidelines are the Central City Fundamental Design Guidelines.

Central City Fundamental Design Guidelines

These guidelines provide the constitutional framework for all design review areas in the Central City.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

River District Design Guidelines

These guidelines are intended to serve as a supplement to the Central City Plan Fundamental Design Guidelines. The River District guidelines build on the basic framework, addressing design issues and opportunities which are specific to the River District. This document was adopted by City Council on February 21, 1996.

River District Design Goals

The River District is planned to become a place that is remarkable within the region. The area is intended to grow rich with special and diverse qualities that are, or will become characteristic of Portland. Further, the River District will accommodate a significant portion of the region's population growth. The plan calls for the creation of a new community of dense neighborhoods, housing a resident population of over 15,000 people, and providing jobs, services, and recreation to this population and others. This area is intended to emphasize the joy of the river, connections to it, and create a sense of community. The goals frame the urban design direction for Central City and River District development.

1. Extend the river into the community to develop a functional and symbolic relationship with the Willamette River.
2. Create a community of distinct neighborhoods that accommodates a significant part of the region's residential growth.
3. Enhance the District's character and livability by fostering attractive design and activities that give comfort, convenience, safety and pleasure to all its residents and visitors.
4. Strengthen connections within River District, and to adjacent areas.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

A5-1-1. Reinforce the Identity of the Pearl District Neighborhood. This guideline may be accomplished by:

- a. Recognizing the urban warehouse character of the Pearl District when altering existing buildings, and when designing new ones. Designs should provide a unified, monolithic tripartite composition (base/middle/top), with distinct cornice lines. Suburban dwelling forms should be avoided; or
- b. Celebrating and encouraging the concentration of art galleries and studios with design features that contribute to the Pearl District's "arts" ambiance. Consider features that provide connectivity and continuity such as awnings, street banners, special graphics and streetscape color coordination, which link shops, galleries, entrances, display windows and buildings. Active ground level retail that opens onto and/or uses the sidewalk can contribute to the attraction of the "arts" concentration.

Findings for A6 and A5-1-1: The building, originally constructed as a warehouse in 1936 will undergo renovations in order to accommodate retail, and/or office uses. Key renovations proposed are enlargement of existing window openings, creation of new entryways, and renovation of the façade to project the proposed retail use of the building. Existing openings along the north façade, for example, are limited to horizontally oriented windows that are above eye level. Proposed treatment of the openings is to extend the upper, narrowly oriented windows down vertically towards ground level, respectfully maintaining rhythm and repetition while increasing transparency via newly introduced storefronts, to the passerby. The storefront system incorporates clear and tinted low-e glass; metal panels and silver anodized finish mullions and storefront frames. In addition, the smooth finish of the building will be maintained, while gray paint will be applied, acknowledging gestures of the industrial past nature of the building. Introduction of horizontally aligned 5-1/2" slatted red mahogany siding with a half inch reveal will add a new layer of texture to the building, reflective of its new personality. For continuity the applicant proposes 4'-6" wide slatted red mahogany wood awnings with simple galvanized tube supports to frame the slats.

The dock along NW 13th Avenue is also slated for expansion and additional pedestrian access to new entries. The loading dock is to be lengthened, providing a pedestrian thoroughfare for retail tenants of the building, joining the loading dock of the building to the south. A galvanized tube steel railing, with simple vertical slats, finished in a clear coat will project an industrial character to the loading dock edge. The proposed dock treatment is consistent with an established pattern of docks along NW 13th, where retail and utilitarian loading functions coexist, reflective of the mixed use of the area. The applicant's proposal to create more openings and entryways is supportive of the goal of creating a more active ground level environment. *These guidelines are thus met.*

A7 – Establish and maintain a sense of urban enclosure: Define public rights-of-way by creating and maintaining a sense of urban enclosure;

A8 – Contribute to a vibrant streetscape: Integrate building setbacks with adjacent sidewalks to increase the space for potential public use; Develop visual and physical connections into the buildings' active interior spaces from adjacent sidewalks; Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

Findings for A7, A8: With the addition of awnings, the applicant's proposal reinforces pedestrian enclosure and establishes further human scale to the building. Recessed entryways provide additional enclosure as a transition space is created from public to

private use. Generous transition spaces along NW Pettygrove are proposed, with two sets of double doors apiece, opening onto a 20'-0" x 6'-0" recessed area. Additional modest recessed entryways along NW 13th and 14th Avenues further provide transition space responsive to maintaining urban enclosure. Visual connection from interior to exterior space is strengthened by the addition of storefronts, which includes transoms for additional light to penetrate the interior space. *These guidelines are therefore met.*

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

B1-1. Provide Human Scale to Buildings along Walkways. Provide human scale and interest to buildings along sidewalks and walkways.

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

Findings for B1 and B1-1: This project establishes the River District paving standards for sidewalks, curbs and street furnishings on this block. As such this building and its site establish a new pedestrian quality for this area. These standards, which develop and define the different zones of the sidewalk area, will improve the pedestrian access route between the River District and Northwest District.

The new storefront system increases the opportunity for views into and out of the building, creating a visual connection between the building and its surroundings. This enhances pedestrians' sense of security and makes for a more interesting, dynamic streetscape. The new storefronts, entries, and canopies foster a stronger connection between the building and the streetscape and strengthen the surrounding pedestrian environment. *These guidelines are thus met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

Findings for C2, C3, and C4: Materials introduced reflect a modern aesthetic, with storefront bays composed of CMI Architectural Storefront system CTS, with a 1 3/4"x6" profile or similar, with a clear anodized silver finish. The window system will be inset in the concrete walls, providing a punched opening effect, reinforcing the thickness of the concrete wall. Remnants of the industrial heritage are reflected by updated roll up doors along NW 13th sharing the same finish as the storefront. The storefront locations will coincide with existing clerestory locations, thus, integrity of existing bays and underlying structure will be maintained. The introduction of wood siding to bases of the storefronts and the corner of Pettygrove and 13th Avenue will add to the local vocabulary, providing an additional layer and richness to the River District. Awnings will reinforce the pedestrian scale of the building and share in a similar awning aesthetic in the neighborhood, composed of a mix industrial and modern finishes and materials. The additional length added to the existing loading dock will strengthen the informal network of pedestrian pathways along loading docks on 13th Avenue, and will join the neighboring loading dock to the south for continuous through passage from Pettygrove to Overton Street. *These guidelines thus are met.*

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

C7. Design Corners that Build Active Intersections. Use design elements including, but not limited to, varying building heights, changes in façade plane, large windows, awnings, canopies, marquees, signs and pedestrian entrances to highlight building corners. Locate flexible sidewalk-level retail opportunities at building corners. Locate stairs, elevators, and other upper floor building access points toward the middle of the block.

Findings for C5 and C7: Finishes of newly introduced elements share a common vocabulary of industrial and updated modern finishes to reflect similar materials found within the district. The railings are composed of galvanized metal with a silver clear finish to tie into the storefront system. The same galvanized finish treatment will be incorporated into the awning ends and supporting frames for proposed blade signage for consistency. Wood slats along the building façade will also be used in the awnings for similar consistency.

Siding will wrap around the corner to provide visual interest and a projecting marquee sign along the corner will provide further emphasis upon the intersection of NW 13th and Pettygrove. The lengthened loading dock with ADA access will introduce an additional path along the intersection. *These guidelines are thus met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposed reuse of the existing industrial warehouse building will continue the ongoing revitalization of the northernmost reach of the River District of the Central City. The proposal continues pedestrian related development and adds upon the existing vocabulary of the district. The project merits design review approval.

ADMINISTRATIVE DECISION

Approval of:

- New openings in the concrete walls for introduction of a glass and anodized metal storefront system, with recessed entry openings;
- New awnings along all frontages projecting 4'-0" into the Right of Way constructed of reclaimed wood;
- An expanded loading dock along NW 13th Avenue, where the existing dock measures approximately 10'-0" wide by 50'-0" long, the applicant proposes a dock measuring 10'-0" wide by 100'-0" long.

per the approved site plans, Exhibits C-1 through C-4, signed and May 27, 2008, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.4. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 08-118349 DZ . No field changes allowed."



Decision rendered by: _____ **on May 27, 2008**

By authority of the Director of the Bureau of Development Services

Decision mailed: May 29, 2008

Staff Planner: Chris Beanes

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on March 27, 2008, and was determined to be complete on **April 3, 2008**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on March 27, 2008.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case the applicant did not waive or extend the 120-day review period

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on June 12, 2008** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. Recognized neighborhood associations are not subject to the appeal fee. Low-income

individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **June 13, 2008 – (the day following the last day to appeal)**. A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a

new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

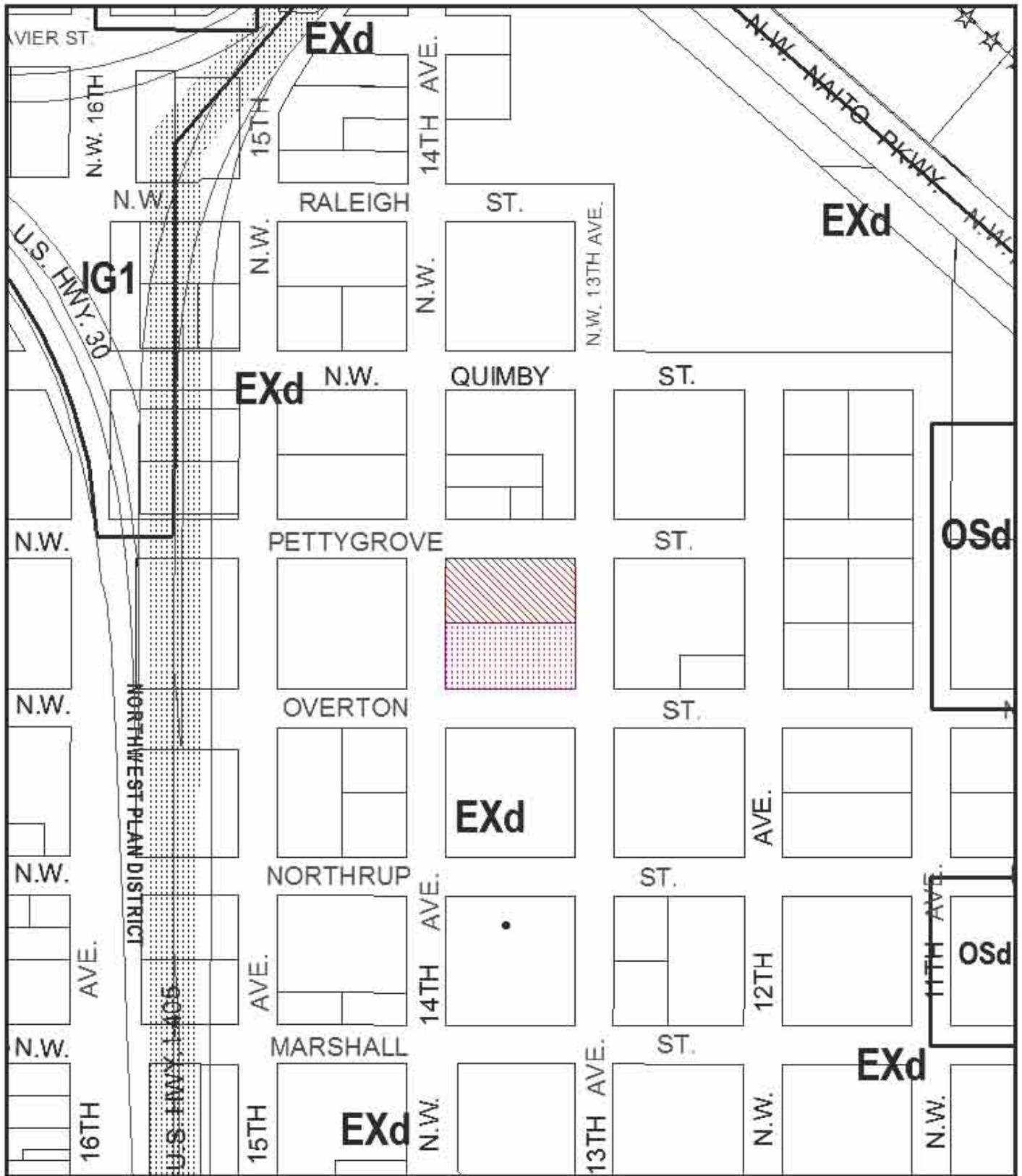
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Elevations (attached)
 - 3. Details (attached)
 - 4. Perspectives (attached)
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Environmental Services
 - 2. Bureau of Transportation Engineering and Development Review
 - 3. Site Development Review Section of BDS
- F. Correspondence: none
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).



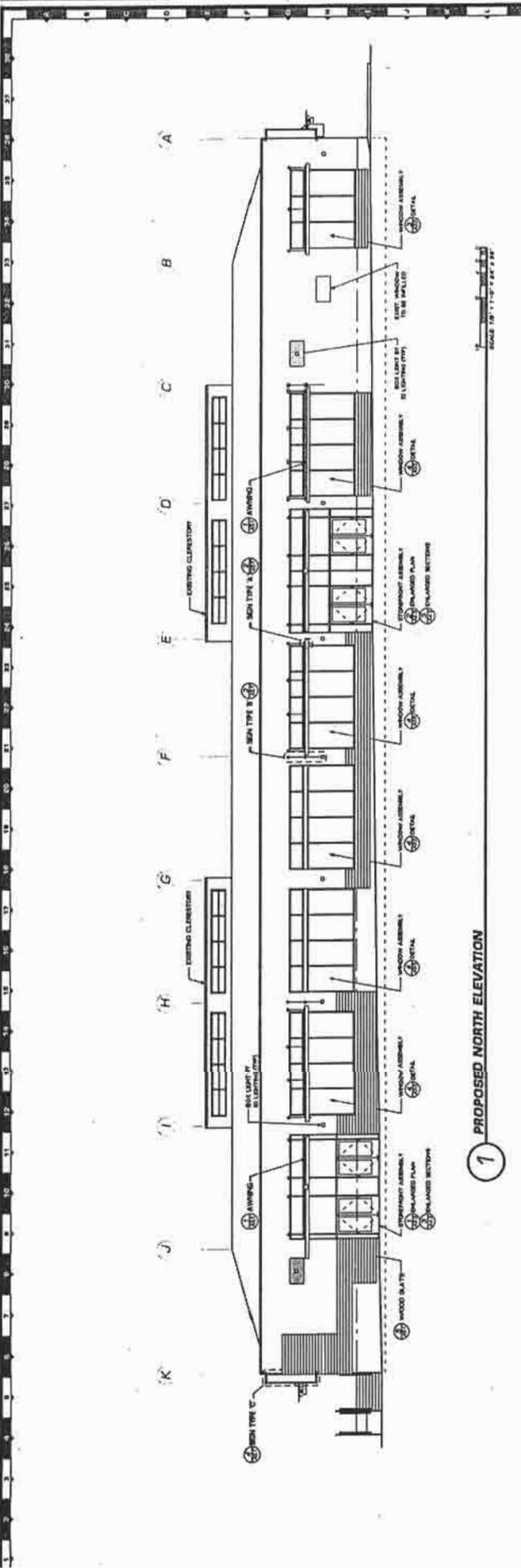
ZONING

-  Site
-  Also Owned

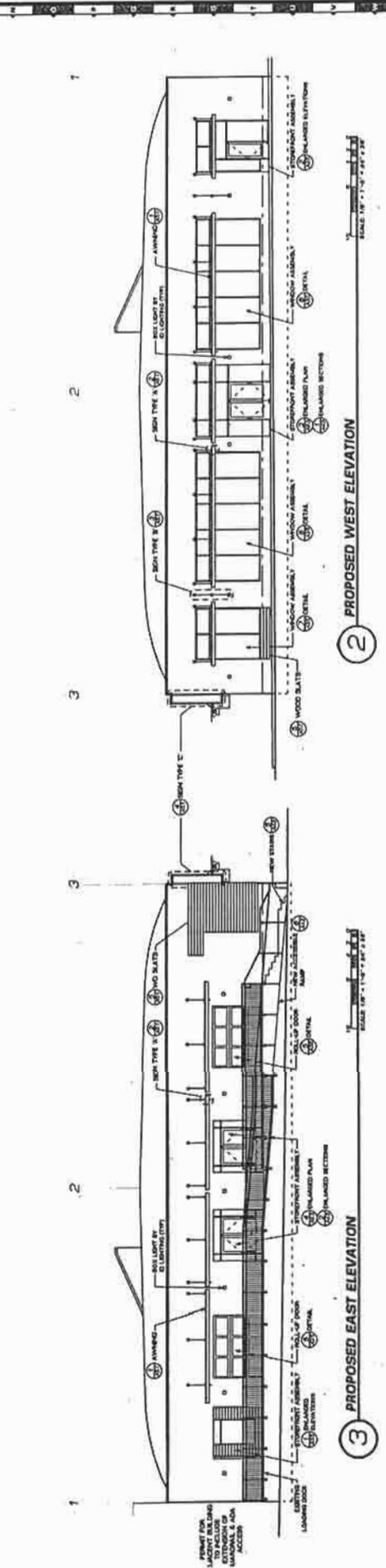


This site lies within the:
CENTRAL CITY PLAN DISTRICT

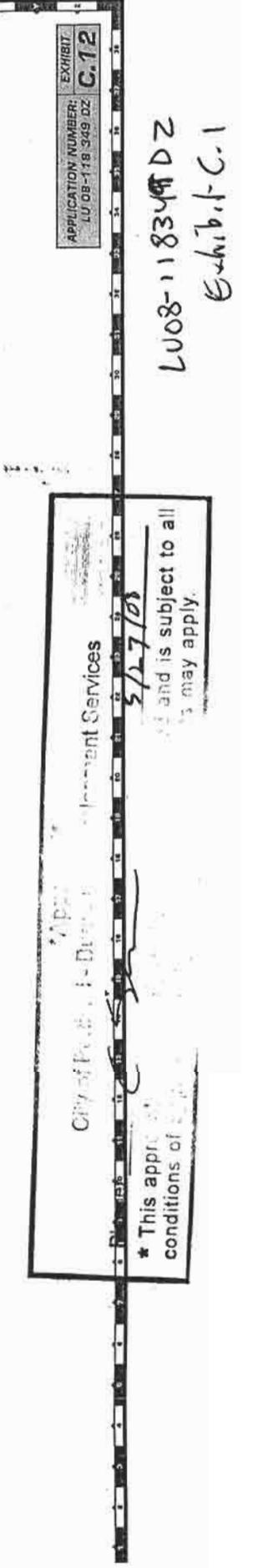
File No.	LU 08-118349 DZ
1/4 Section	2928
Scale	1 inch = 200 feet
State_Id	1N1E33AA 1300
Exhibit	B (Mar 28, 2008)



1 PROPOSED NORTH ELEVATION
SCALE 1/8" = 1'-0" (4:24)



2 PROPOSED WEST ELEVATION
SCALE 1/8" = 1'-0" (4:24)



3 PROPOSED EAST ELEVATION
SCALE 1/8" = 1'-0" (4:24)

APPLICATION NUMBER:
LU 08-118349 DZ
EXHIBIT
C.12

LU08-118349 DZ
Exhibit-C.1

City of Portland Department Services
3/27/08
* This approval is subject to all conditions of [unclear]



FOSTER
Architecture
220 SW ARDEN ST
PORTLAND OREGON 97205
503.241.9228

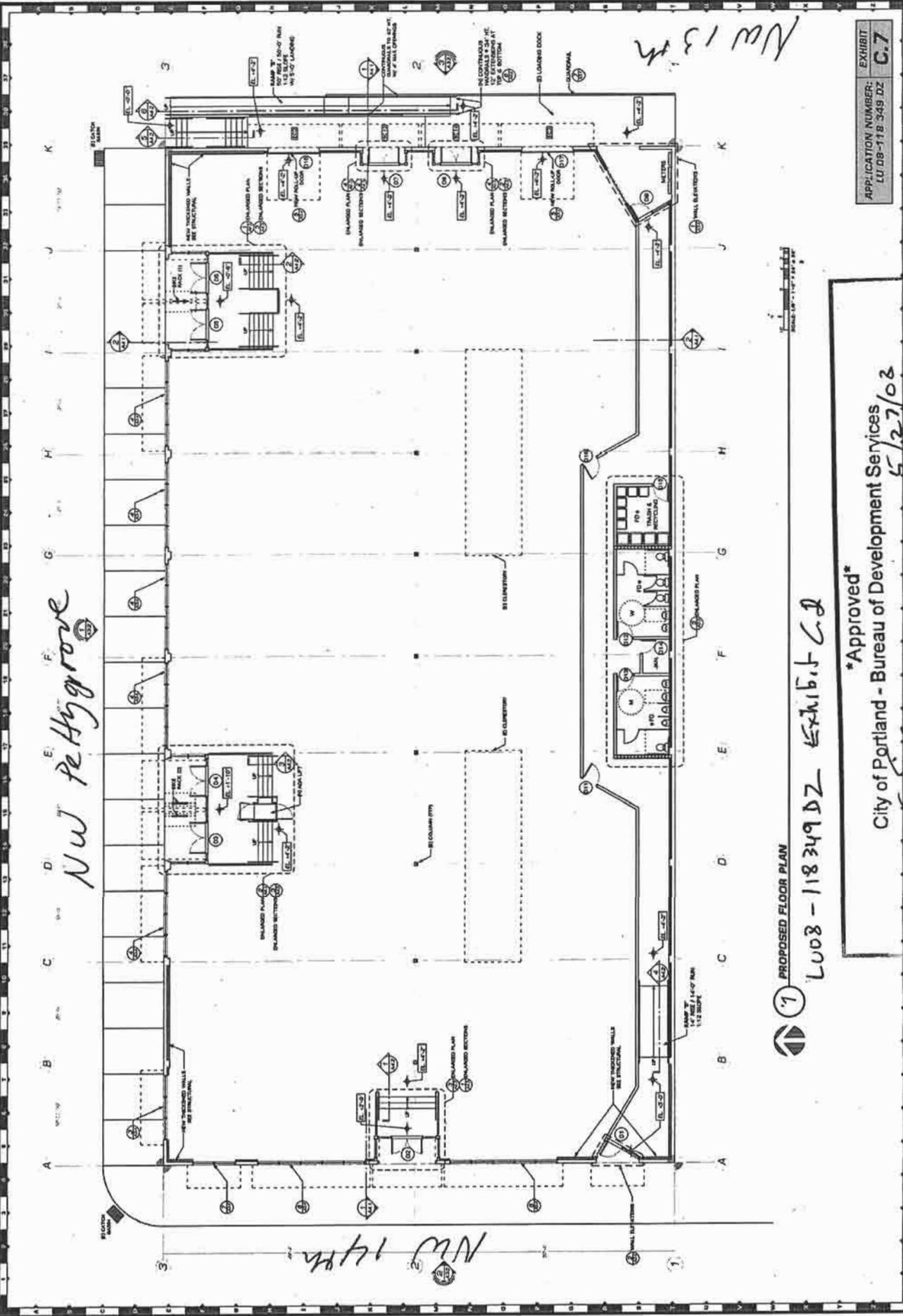
DESIGN REVIEW
Dressed
30 APR 08

PTG007

1500 NW 18th Ave
NW 13th & PETTYGROVE ST.

PROPOSED FLOOR PLAN

SHEET **A2.1**



1 PROPOSED FLOOR PLAN

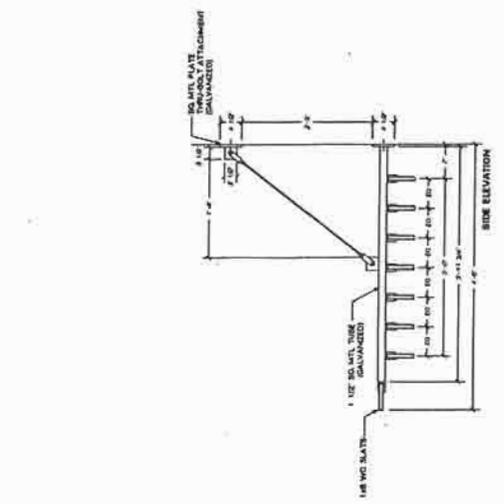
LU08-118349 DZ Exhibit C.2

Approved
City of Portland - Bureau of Development Services
5/27/08

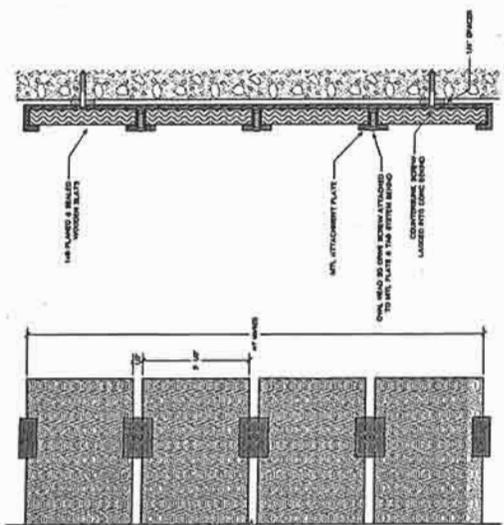
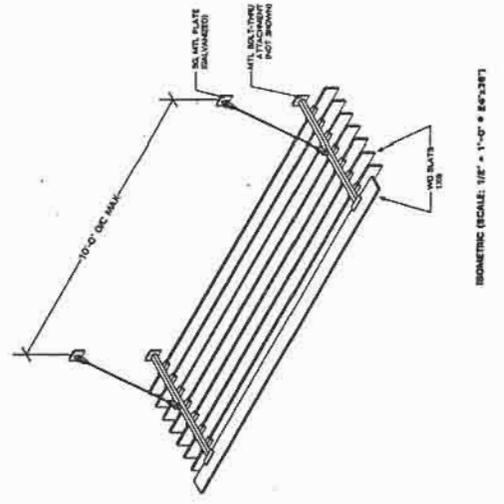
Planner: [Signature]
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

APPLICATION NUMBER:
LU DB-118 349 DZ
EXHIBIT
C.7

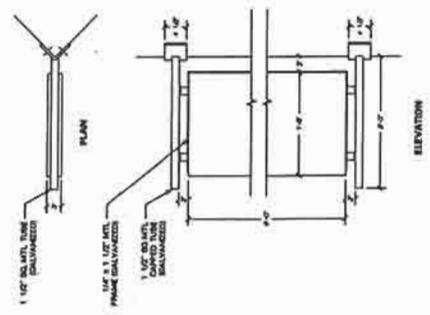
LU08-118349 DZ
Exhibit C.2



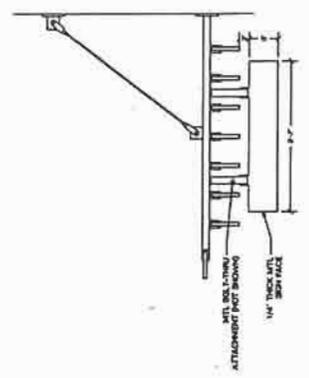
1 AWNING DETAIL (SCALE: 1/8" = 1'-0" @ 8/16/08)



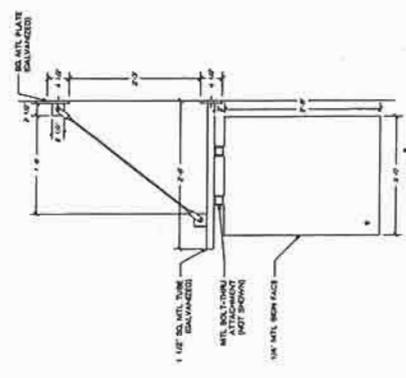
5 WOOD SLAT DETAIL (SCALE: 1/8" = 1'-0" @ 8/16/08)



4 SIGN 'A' DETAIL (SCALE: 1/8" = 1'-0" @ 8/16/08)



3 SIGN 'B' DETAIL (SCALE: 1/8" = 1'-0" @ 8/16/08)



2 SIGN 'C' DETAIL (SCALE: 1/8" = 1'-0" @ 8/16/08)

Approved
 City of Portland - Bureau of Development Services
 Planner *[Signature]* Date 5/27/08
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

LU08-118349 DZ
 Exhibit C.3

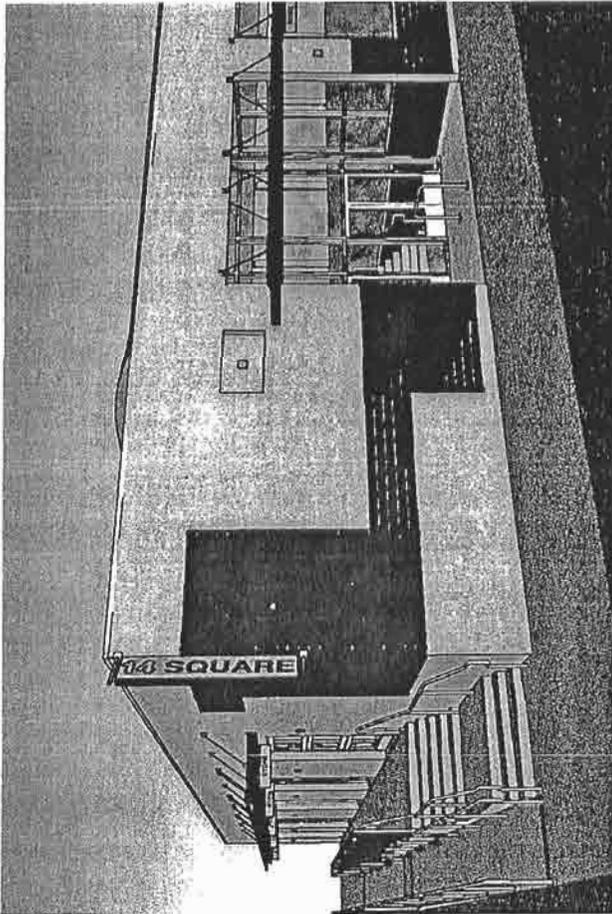
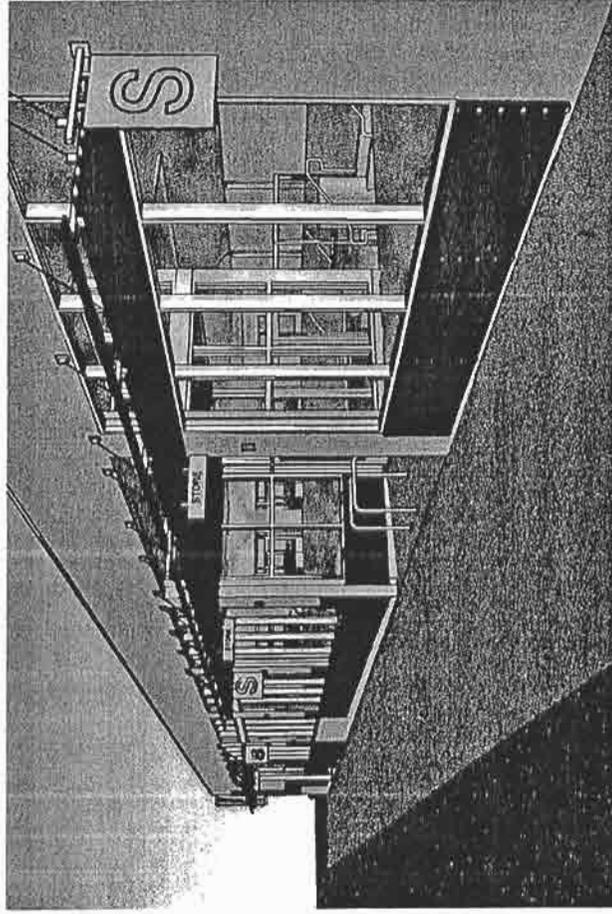
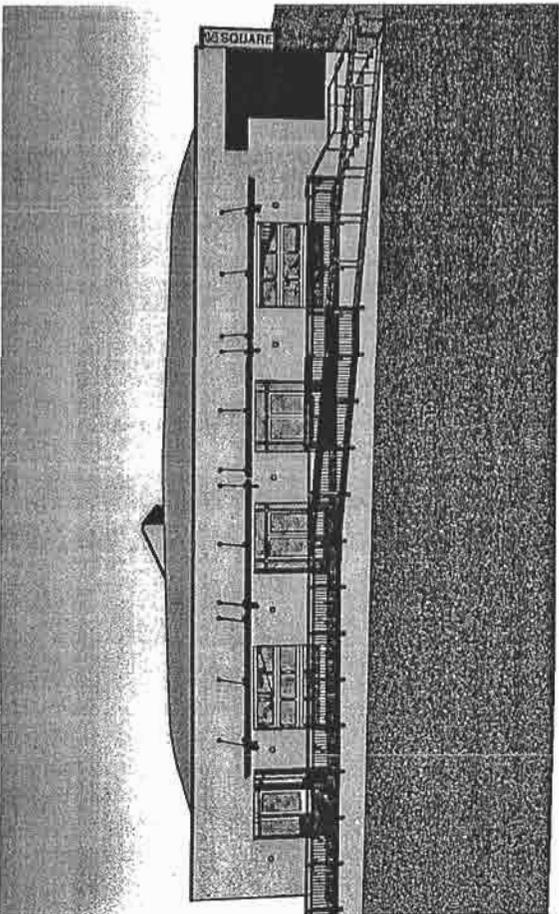
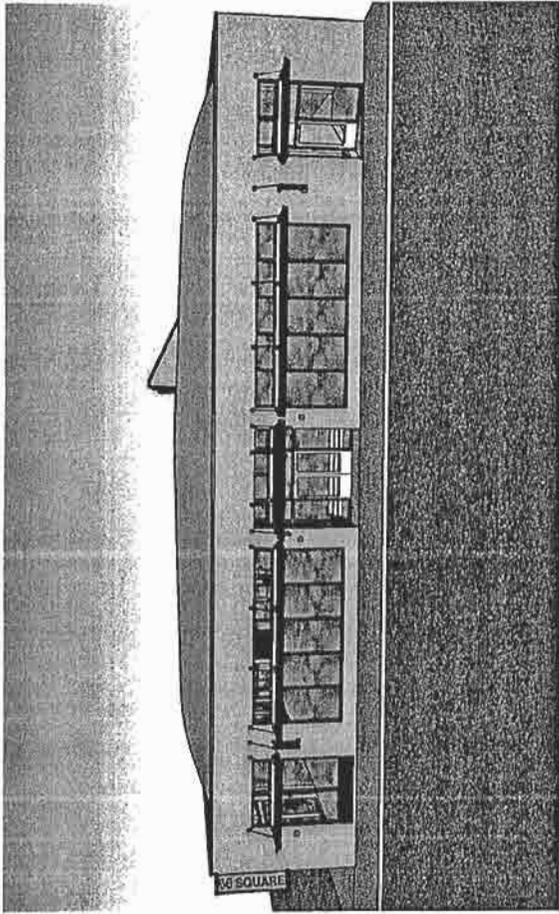


EXHIBIT
C.3

1330 NW 14th Ave.
DU 08-118 349 DZ

Approved
City of Portland - Bureau of Development Services

Planner _____ Date 5/2/09

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Lu08-118349 DZ
Exhibit C.4