



City of Portland
Bureau of Development Services
Land Use Services Division

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Portland, Oregon 97201
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www.portlandonline.com/bds

Date: June 12, 2008
To: Interested Person
From: Kate Marcello, Land Use Services
503-823-9162 / kate.marcello@ci.portland.or.us

NOTICE OF A TYPE I DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it to the Oregon Land Use Board of Appeals (LUBA) at 550 Capitol St. NE, Suite 235, Salem, OR 97301. The phone number for LUBA is 1-503-373-1265. Information on how to appeal this decision is listed at the end of this notice.

This case was originally noticed as a Type II Proposal on May 9, 2008. The 30-day comment and review period of the Type I procedure has been fulfilled and City staff has reached a final decision.

CASE FILE NUMBER: LU 08-122037 HDZ

NEW SIGN FOR SHERWIN WILLIAMS PAINT STORE

GENERAL INFORMATION

Applicant: Steve Murphy, Meyer Sign Co
15205 SW 74th Ave / Tigard, OR 97224
(503) 620-8200

Owner: Ampersand Holdings LP
711 SW Alder St / Portland, OR 97205
Portland, OR 97205

Site Address: 322 NW 14TH AVE

Legal Description: BLOCK 90 LOT 5-8, COUCHS ADD
Tax Account No.: R180208250
State ID No.: 1N1E33DA 02000
Quarter Section: 3028
Neighborhood: Pearl District, contact Patricia Gardner at 503-228-3273.
Business District: Pearl District Business Association, contact Adele Nofield at 503-223-0070.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Plan District: Central City - River District
Zoning: Central Employment with design overlay (EXd)
Case Type: Historic Design Review (HDZ)
Procedure: Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal: The applicant requests Historic Design Review approval for a new sign for a Sherwin Williams paint store. The sign will be located on the NW Flanders Street façade, between the first and second floors. It will be 15 feet 4-¼ inches long. It will be centered below an existing bay of multi-paned windows that is 17 feet long. The sign will be

composed of 3-inch-thick metal letters mounted to the façade with stainless-steel threaded rods. The letters will stand off the face of the building by 1-½ inches. The first letter of each word will be 12 inches tall, and the other letters will be about 10 inches tall. The letters will be illuminated by light-emitting diodes (LEDs). The back of each letter will be composed of clear Lexan (polycarbonate resin thermoplastic) so the LEDs can shine through the backs of the letters, hit the building façade, and create halo illumination. The electrical conduit at each letter will travel through a hole drilled in the building façade that connects to a power supply box located inside the building.

Because the proposal is for exterior alterations to a building in a National Register historic district, Historic Design Review is required.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- 33. 846 Historic Design Review
- Central City Fundamental Design Guidelines
- NW 13th Avenue Historic District Guidelines

ANALYSIS

Site and Vicinity: The existing building is located on the northern half of the block bounded by NW 13th Avenue, Everett Street, 14th Avenue, and Flanders Street. The building's historic name is the Meier Building, but it is also known as the Reed Harris Building. It was designed by Richard Sundeleaf and constructed in 1939. The building has had various tenants over the years, including United/Rexall Drug Company, Meier & Frank Company Wholesale, Northwest Paper Box Manufacturing Company, and Reed Harris. The original building was three stories tall. It is composed of reinforced concrete with multi-paned steel-sash windows. A stair tower and elevator tower are located at the northeast corner of the building. There are two truck-loading docks – one on the north elevation and one on the east elevation. In 2005, a penthouse level was added to the rooftop of the building, approved under LU 05-141448 HDZ AD. The building is classified as a Compatible Contributing Structure in the NW 13th Avenue Historic District.

Zoning: The Central Employment (EX) zone allows mixed-uses and is intended for areas in the center of the City that have predominantly industrial type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed, but are not intended to predominate or set development standards for other uses in the area.

The design (d) overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Historic Resource Protection overlay zone is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks. The regulations that pertain to these properties protect certain historic resources in the region and preserve significant parts of the region's heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

Land Use History: City records indicate two prior land use reviews:

- LUR 91-00044 HL (reference file # 91-008298): Approval to restore the original character of the west entrance with a steel door with glazing.
- LU 05-141448 HDZMAD: Approval for renovation of Meier Building, including new ground-floor storefront and upper-level steel-sash windows, metal canopies and metal signs; replace the loading dock; new exterior lighting; addition of fourth-floor residential

units, new angled skylights, a mechanical enclosure, and stair enclosure. Approval for Adjustment to allow one loading space instead of two. Approval for Modifications to ground-floor windows on north elevation, and size of loading space.

Agency Review: A *Notice of Proposal in Your Neighborhood* was mailed on May 9, 2008. The following Bureaus have responded with no issues or concerns:

- Portland Fire & Rescue;
- Portland Water Bureau;
- Bureau of Environmental Services;
- Bureau of Transportation Engineering & Development;
- Urban Forestry Division of Portland Parks & Recreation;
- Site Development Section of the Bureau of Development Services; and
- Life Safety (Building Code) Section of the Bureau of Development Services.

Neighborhood Review: A *Notice of Proposal in Your Neighborhood* was mailed on May 9, 2008. No written comments in response to the proposal have been received from the neighborhood association (Pearl District Neighborhood Association) or notified property owners.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846, Historic Reviews

Purpose of Historic Design Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Design Review Approval Criteria

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the NW 13th Avenue Historic District. Therefore the proposal requires historic design review approval. The relevant approval criteria are the Historic NW 13th Avenue District Design Guidelines and the Central City Fundamental Design Guidelines.

Historic NW 13th Avenue District Design Guidelines and Central City Fundamental Design Guidelines

The NW 13th Avenue Historic District has been designated as a Portland Historic District and has also been listed on the National Register of Historic Places, in recognition of its unique architectural and historical qualities. It contains an outstanding ensemble of late 19th and early 20th century loft warehouse structures. These structures display a remarkable uniformity of design, materials, and special features. The essential character of the District lies in this architectural coherence and uniformity, and in the street itself. Northwest 13th Avenue is the spine of the District. The District remains as a primary expression of the City's historical development as a center of commerce and distribution.

Because of its Historic District status, properties within the NW 13th Avenue Historic District are subject to review by the Portland Historical Landmarks Commission of any new construction or exterior remodeling. Each Historic District has design guidelines which the Commission uses in its review of projects. The purpose of these guidelines is to encourage rehabilitation and new construction which respect and enhance the historical character of the district. The guidelines are not intended to be inflexible; rather, they seek to guide development and rehabilitation in a manner compatible with the District character.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**,

addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central City Fundamental Design Guidelines

These guidelines provide the constitutional framework for all design review areas in the Central City.

The Central City Fundamental Design Guidelines focus on four general categories. **(A) Portland Personality** addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis** addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design** addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas** provides design guidelines for the four special areas of the Central City.

Central City Plan Design Goals

This set of goals has been developed to guide development throughout the Central City. The goals apply within the eight Central City sub-districts, or policy areas. The nine goals for design review within the Central City and its sub-districts are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City that is safe, humane and prosperous; and
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

Guidelines for Exterior Remodeling Historic NW 13th Avenue District

1. Visual Integrity of Structure.

The vertical lines of columns and piers, and the horizontal definition of spandrels and cornices, and other primary structural elements should be maintained. Such structural lines should be restored if previous alterations have substantially changed them.

Findings for 1: The proposed sign will not affect the visual integrity of the structure. The sign will be centered below an existing bay of multi-paned windows. The existing building façade at this location is painted concrete with no ornamentation. The vertical and horizontal lines of the existing building will remain unaffected. *Therefore this guideline is met.*

2. Scale and Proportion.

The scale and proportion of altered or added building elements, and the relationship of voids to solids (that is, the relationship of doors and windows to walls and column elements) should be visually compatible with the traditional architectural character of the historic district. Avoid blank walls on street elevations, especially on ground floors, unless there is a historic precedent for the blank wall.

Findings for 2: The scale and proportion of the proposed sign are compatible with the traditional architectural character of the historic district. The 3”-thick metal letters will be mounted to the building façade with steel-threaded rods. The first letter of each word will be 12 inches tall, and the other letters will be about 10 inches tall. The letters are human-scaled and appropriately proportioned for the building façade by their placement within the structural grid, approximately 12 inches from the sill and header of the first- and second-floor windows, respectively. *Therefore this guideline is met.*

3. Exterior Building Materials.

Most of the buildings within the NW 13th Avenue Historic District were constructed of bearing wall brick masonry (left exposed or covered with plaster), or stone. This feature gives the area much of its textural surface character. Surfaces should be treated, repaired, and maintained in a manner which respects this character.

a. Walls.

- Wall materials within the District maintain a fairly uniform surface texture, but are articulated through columns, piers, and surface ornamentation. Bricks, stone and plaster are the predominant materials. Original building materials should be preserved wherever possible. Cleaning and/or repainting of masonry is preferred over replacement. If masonry has to be replaced, it should be done with original or new masonry of matching color, texture, size and coursing. Mortar color should match the color and joint configuration of the existing masonry wall.
- Plastered surfaces should be cleaned, repaired with a similar plaster texture, and repainted. Avoid exposing brick to the weather by removing finish plaster, as this will speed deterioration of the brick. Artificial and/or inappropriate coverings, such as metal, plastic, or wood sidings, should not be applied to masonry surfaces.

b. Storefronts, Doors, and Windows.

- The shape, size, placement and trim of storefront openings are a key element in establishing the character of a building. Where original storefronts remain, they should be preserved and repaired. Where covered with other materials, the latter materials should be removed to determine the condition of the original materials.
- Storefronts requiring new materials may include a wide variety of replacement systems. Building Codes require non-combustible materials (steel, aluminum, etc.), but wood systems may be acceptable provided other means of fire protection are installed. Wood systems should be painted.
- New window and door openings should maintain a similar horizontal and vertical relationship as the originals. Traditionally, ground floor window systems vary in the District — some buildings feature multi-paned wood or metal industrial casement windows. Other buildings feature large storefront panes with smaller transom panes above. Still others feature ground floor systems similar to upper floor systems, typically double-hung, one-over-one, wood sash windows.
- Clear glass should be used instead of tinted glass. Original hardware should be maintained wherever possible. If not, new hardware should be in keeping with original designs.

c. Loading Docks, Overhead Doors, and Canopies.

Many of the buildings along NW 13th Avenue have concrete or wood loading docks projecting into the street, with canopies above and roll-up doors adjacent to the loading space. These features are among the most distinctive features in the District, and should be retained even where loading operations have been discontinued. New docks are also encouraged, to a maximum projection of 11 feet.

6. Signs.

There is a tradition in the NW 13th Avenue Historic District of painting large signs on the walls (usually on non-street elevations) of warehouse structures. These historic painted wall signs should be retained where practical.

New signs on the principal (i.e., street) elevations of new or existing buildings should be restrained and should not be a dominant facade feature. Lettering painted on windows, and signs located inside buildings are appropriate; moreover, these types of signs do not require review. Other appropriate design types include indirectly lit letters mounted on

spandrels above the storefront, or signs on an entry awning. Contemporary plastic, backlit signs are discouraged. Signs should be mounted so as to minimally damage any historic surface to which they are attached.

Findings for 3, 6: The proposed sign is restrained and does not constitute a dominant façade feature. It is located at the sidewalk level of the Sherwin Williams storefront. The sign fits within the concrete area between the rows of multi-paned windows at the first and second floors. It consists of halo-illuminated letters individually mounted to the building façade with stainless-steel threaded rods. Additionally, a hole will be drilled in the façade for each letter to accommodate the electrical conduit. LED fixtures were chosen in part because the electrical conduit is thinner in comparison to other alternatives such as neon. This requires much smaller holes to be drilled to allow the conduit to connect to the power box on the interior of the building. Sherwin Williams is anticipated to be a long-term tenant, but if the store closes in the future, the holes from the letters will be filled with concrete to match the existing concrete of the building façade. *Therefore this guideline is met.*

Central City Fundamental Design Guidelines

A4. Use Unifying Elements.

Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish, and Identify Areas.

Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

C2. Promote Quality and Permanence in Development.

Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity.

Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings.

Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. Design for Coherency.

Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

C8. Differentiate the Sidewalk-Level of Buildings.

Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

Findings for A4, A5, C2, C3, C4, C5, C8: Sense of place in the NW 13th Avenue Historic District includes high-quality architecture, well-preserved historic buildings, and an engaging pedestrian environment. The maintenance of these defining characteristics rests on many factors, one of which is the appropriate design and placement of signage. When signage is not designed, located, and installed in a sensitive manner, there is potential for visual clutter and obstruction of the District's historic character.

The proposal calls for a new sign composed of 3"-thick metal letters to be mounted on the NW Flanders Street façade of the Meier Building. The sign will be located on the façade between the first and second floors, centered below an existing bay of windows 17 feet long. The sign will be 15 feet 4-¼ inches long. The letters will stand off the face of the building by 1-½ inches. The sign is being installed in an appropriate

pedestrian-oriented, sidewalk-level location. The design of the sign is consistent with that of other visually appealing signage in the NW 13th Avenue Historic District. Signage in the District is pedestrian-oriented, made of long-lasting materials, and modest in size and massing. These qualities help to preserve the architectural integrity and character of the District. The proposed sign is consistent with these qualities, thus maintaining the identity of the District.

The sign respects the architectural integrity of the building, allowing it to remain a coherent composition. The metal letters are in keeping with the steel-sash windows. Centering the sign below an existing bay of windows makes it a coherent addition to the storefront and the north building façade. The sign employs a simple font for the letters that is in keeping with the relatively simple design of the existing building. The halo lighting scheme will give the letters a soft glow that provides sufficient illumination for the sign without detracting from the character of the building.

The sign's chief materials – metal letters and LED fixtures – are durable and promote permanence in development. The design principles employed – locating the sign at the sidewalk level, centering it below an existing bay of windows, having the letters stand off the façade by 1-½ inches, and using subtle lighting – also impart quality and permanence.

Therefore these guidelines are met.

A6. Reuse/Rehabilitate/Restore Buildings.

Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings for A6: The sign supports the re-use of the Meier Building's ground floor for retail tenants. This enables the building, previously used as a warehouse and a manufacturing facility, to play an active role in the contemporary retail environment of NW 13th Avenue. *Therefore this guideline is met.*

B2. Protect the Pedestrian.

Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

C12. Integrate Exterior Lighting.

Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

C13. Integrate Signs.

Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings for B2, C12, C13: The proposed sign is integrated with the design concept of the building. The building is simple in design and has little ornamentation. Its chief defining feature is the abundant multi-paned steel-sash windows at the first, second, and third floors. The proposed sign consists of simple, clean-lined metal letters between 10 and 12 inches tall that are compatible with the steel-sash windows and the overall building. The sign will be centered between first- and second-floor window bays. It will be located in an area of smooth concrete building façade with no ornamentation. The materials, size, and location of the letters render a modest sign that allows the building's chief defining feature – its windows – to remain prominent and unobstructed.

The letters will be illuminated by light-emitting diodes (LEDs). The back of each letter will be composed of clear Lexan (polycarbonate resin thermoplastic) so the LEDs can

shine through the backs of the letters, hit the building façade, and create halo illumination. The power supply box will be concealed within the interior of the building. Electrical conduit from the back of each letter will travel to the interior power supply box through a hole in the building façade. The electrical conduit will not be viewable by pedestrians. The halo illumination will be subtle so as not to affect views of the building, the surrounding neighborhood, or the Portland skyline.

Therefore, with the condition of approval that the electrical conduit is located inside the building, these guidelines are met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The purpose of the historic design review process is to ensure that exterior alterations to existing buildings protect the integrity of the special characteristics of the historic resources. The proposal calls for individually mounted metal letters with subtle halo illumination, achieving a signage design that is sensitive to the character of the existing building and architecturally appropriate for the NW 13th Avenue Historic District. The sign is located at the sidewalk level, in keeping with the strong pedestrian orientation of the neighborhood. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of a new sign, approximately 184.25 square feet in size, for the Sherwin Williams paint store, composed of individually mounted metal letters with halo illumination, per the approved site plans, Exhibits C-1 through C-4, signed and dated 6/9/08, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C-1 through C-4. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 08-122037 HDZ."
- B. All electrical conduit will be interior to the building.

Decision rendered by:  on June 9, 2008

By authority of the Director of the Bureau of Development Services

Decision mailed: June 12, 2008

Staff Planner: Kate Marcello

About this Decision. This land use decision is **not a permit** for development. A Final Plat must be completed and recorded before the proposed lots can be sold or developed. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on April 14, 2008, and was determined to be complete on May 2, 2008.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on April 14, 2008.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

This decision, and any conditions associated with it, is final. It may be appealed to the Oregon Land Use Board of Appeals (LUBA), within 21 days of the date the decision is mailed, as specified in the Oregon Revised Statute (ORS) 197.830. Among other things, ORS 197.830 requires that a petitioner at LUBA must have submitted written testimony during the comment period for this land use review. You may call LUBA at 1-503-373-1265 for further information on filing an appeal.

The file and all evidence on this case is available for your review by appointment. Please contact the receptionist at 503-823-7967 to schedule an appointment. Copies of all information in the file can be obtained for a fee equal to the cost for such services. You may also find additional information about the City of Portland and City Bureaus, as well as a digital copy of the Portland Zoning Code, by visiting the City's homepage on the Internet at www.portlandonline.com.

Recording the final decision.

If this Land Use Review is approved, the final decision must be recorded with the Multnomah County Recorder. A building or zoning permit will be issued only after the final decision is recorded. The final decision may be recorded on or after **June 12, 2008**. The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.

- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-7967.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

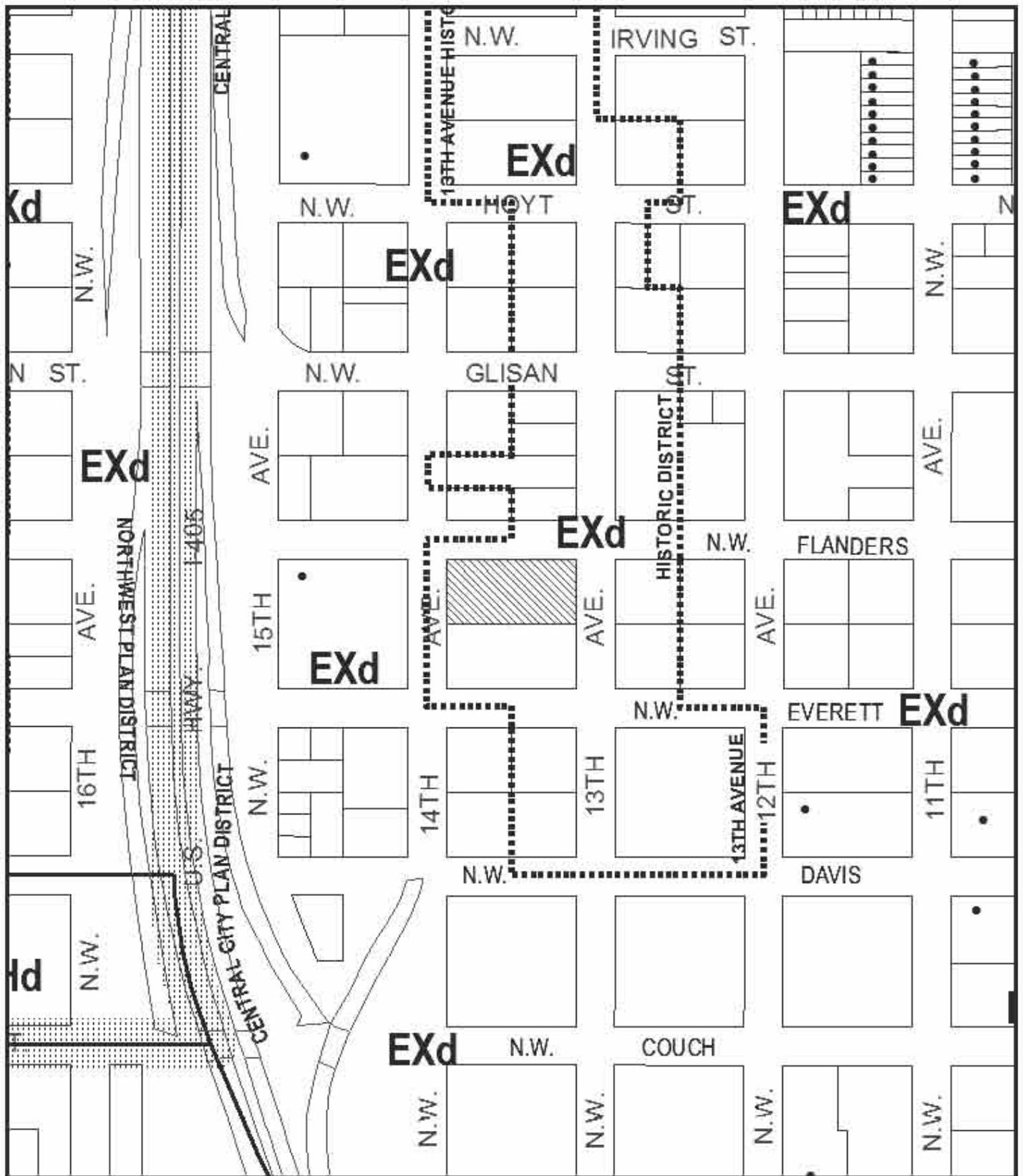
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code for the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (*attached*)
- C. Plans/Drawings:
 - 1. Site Plan (*attached*)
 - 2. Building Elevation Drawing (*attached*)
 - 3. Signage Elevation Drawing & Photographic Simulation (*attached*)
 - 4. Signage Section Drawing (*attached*)
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses: None received.
- F. Correspondence:
 - 1. Susan Haylock of the State Historic Preservation Office, 05/19/08
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).



ZONING



Site



Historic Landmark

This site lies within the:
 NW 13TH AVE. HISTORIC DISTRICT
 CENTRAL CITY PLAN DISTRICT



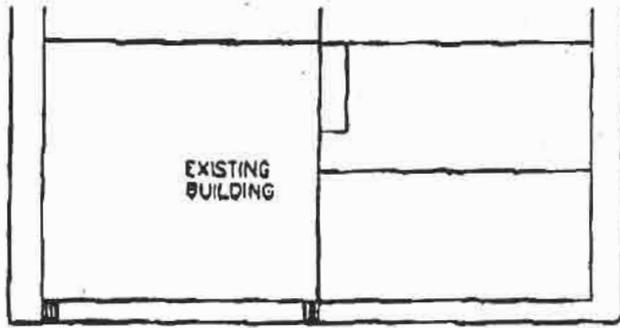
NORTH

File No.	LU 08-122037 HDZ
1/4 Section	3028
Scale	1 inch = 200 feet
State_Id	1N1E33DA 2000
Exhibit	B (Apr 18, 2008)

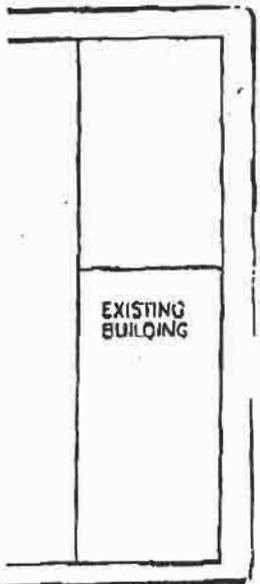


Site Plan

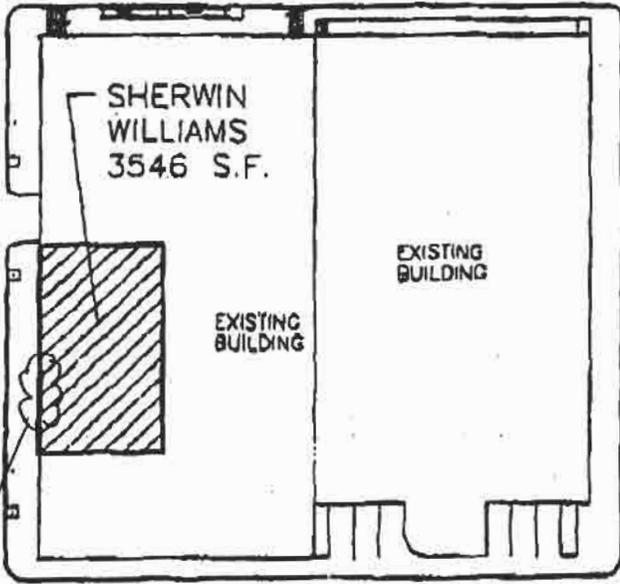
Exhibit C-1



NORTHWEST 13TH AVENUE

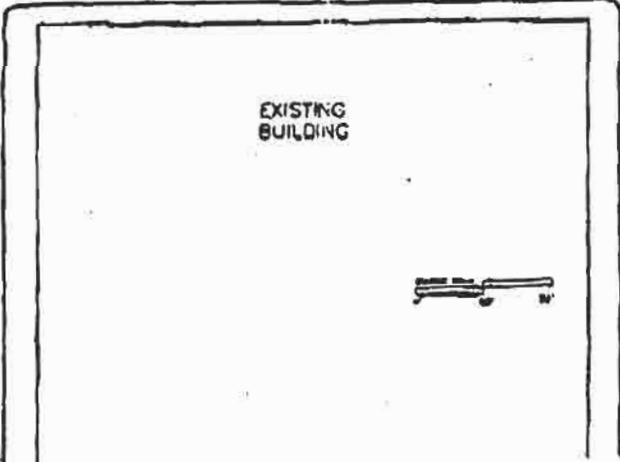


NORTHWEST FLANDERS STREET



NORTHWEST 14TH AVENUE

AREA OF WORK



PORTLAND, OREGON

NORTHWEST EVERETT STREET

Approved

City of Portland - Bureau of Development Services

Planner *Kathryn Webb*

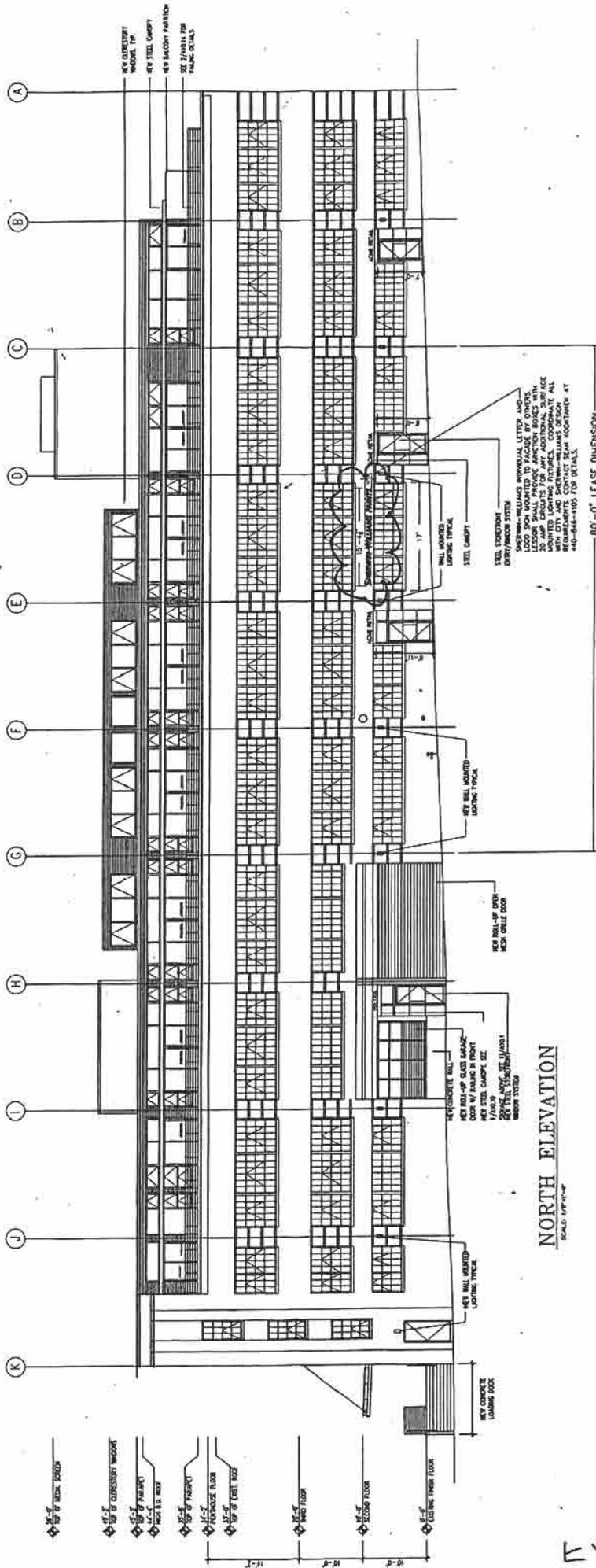
Date *6/9/08*

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

© The Sherwin Williams Company 01/04/05

LU 08-122037 HDZ

Building Elevation Drawing



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

* This Historic Design Review is for the new signage only.

Approved
 City of Portland - Bureau of Development Services
 Planner Kathleen Huel Date 6/9/08
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

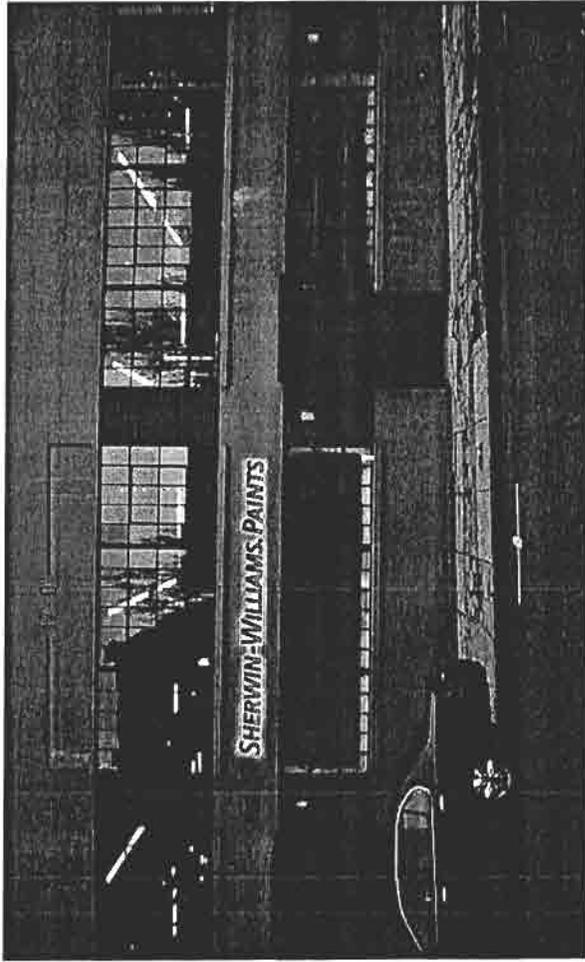
Reduced sheet size. Not to scale.

LU 08-122037 HDZ

Signage Elevation Drawing and Photographic Simulation

#8620 Portland, OR

SHERWIN - WILLIAMS PAINTS ILLUMINATED LETTERS • 2005 GRAPHICS per CORPORATE SPACING • 12" / 9 5/8" REVERSE CHANNEL LED (BACK ILLUMINATION)



Approved
 City of Portland - Bureau of Development Services
 Planner Kathleen Mallon Date 6/9/08
 * This approval applies only to the reviews requested and subject to the conditions of approval. Additional zoning requirements may apply.

METAL FABRICATED LETTERS, ILLUMINATED BY WHITE LED RETURNS AND BACKS ARE FABRICATED OF METAL CLEAR BACKS TO PROVIDE ILLUMINATION AGAINST FACADE STAND-OFFS TO ACCOMMODATE REGISTER MARK(®) IS WHITE VINYL ON A CLEAR PLASTIC DISK
 REMOTE TRANSFORMERS

PLEASE NOTE: LETTERS SHOWN ON THE PHOTOGRAPH ARE APPROXIMATE IN SIZE AND PLACEMENT.

FOR SKETCH PURPOSE ONLY

Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.

Dualite Sales & Service, Inc. One Dualite Lane, WILLIAMSBURG, OHIO • CEDAR HILL, TEXAS	File # 08-4-39SHER01-GSF	Customer Approval or Comments:
	Scale: 3/8" = 1' 0" Date: 4-29-08	This design is exclusive property of Dualite Sales & Service, Inc. • 1 Dualite Lane • Williamsburg, OH 45176 • Copyright 2008 Dualite Sales & Service, Inc. All Rights Reserved. Reproduction of this proprietary work without the permission of Dualite Sales & Service, Inc. will subject the user to liability under the copyright statutes of the United States.

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Exhibit C-2

Section Drawing

(Shows condition at each letter)

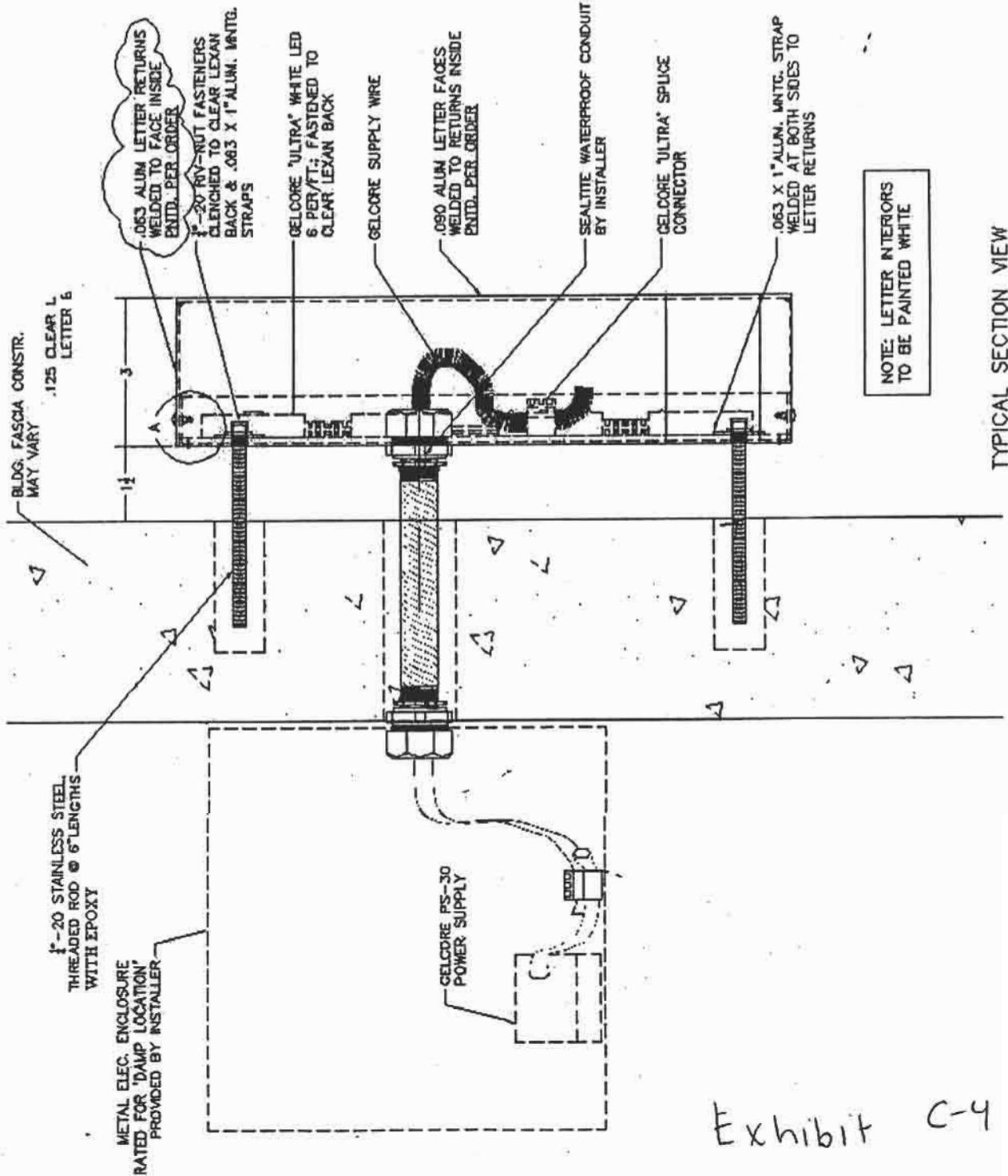


Exhibit C-4

LU 08-122037 HDZ