



City of Portland
Bureau of Development Services
Land Use Services Division

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Portland, Oregon 97201
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www.portlandonline.com/bds

Date: July 3, 2008
To: Interested Person
From: Staci Monroe, Land Use Services
503-823-7870 / Staci.Monroe@ci.portland.or.us

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 08-110831 DZM – DESIGN REVIEW FOR A BUILDING ADDITION & MODIFICATION TO GROUND FLOOR WINDOWS

GENERAL INFORMATION

Applicant: Westroad Investment LLC (owner)
P.O. Box 2222
Tacoma, WA 98401

Representative: Mike Montgomery, 503-282-2264
EZ Permits.Com
9824 SW 60th Ave
Portland, OR 97219

Site Address: 30 SE 10TH AVENUE

Legal Description: LOT 3&4 BLOCK 226, EAST PORTLAND
Tax Account No.: R226514640
State ID No.: 1N1E35CD 01200
Quarter Section: 3031
Neighborhood: Buckman, contact Susan Lindsay at 503-725-8257.
Business District: Central Eastside Industrial Council, contact Chris Hammond at 503-309-1971.

District Coalition: Southeast Uplift, contact Gary Berger at 503-232-0010.
Plan District: Central City - Central Eastside
Zoning: EXd – Central Employment zone with a Design overlay
Case Type: DZM – Design Review with a Modification
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicants seek design review approval for an addition to an existing one-story building. The existing industrial service use on the site is not changing, and includes an existing asphalted parking area at the north half of the site. The addition would occur along the east edge of the quarter-block site, with 22.5 linear feet of new street frontage on SE Ankeny and

extending back 86 feet. A flat roof canopy is proposed to extend from the building at the northern and eastern end of this addition, to be used for covered parking and loading.

The new addition would be slab-on-grade construction with stucco-finish masonry walls. The flat roof is proposed with five evenly spaced 4' square skylights along the centerline, but no other penetrations or rooftop mechanical equipment. One metal roll-up door faces west, toward the existing parking lot, and the new street frontage would have a metal roll-up door with windows at an existing curbcut as well as two new fixed aluminum windows on both sides of the door.

A **Modification through design review** is proposed to allow the new street-facing wall to not meet the ground floor windows standard. The standard requires street-facing walls within 20 feet of a property line to be at least 50% of their length in window, plus 25% of their area. The proposed new wall area has two new 2'-6"x3'-0" windows. The windows in roll-up do not count towards this requirement. The proposal does not meet either the length (6' proposed, 11.25' required) or area (15 SF proposed, 51 SF required) requirement.

Finally, within the parking area, an existing fence separates the parking into a "front" (west) and a "rear" (east) area. The fence is to stay, and the spaces in the front are to be re-striped so they are not diagonal. A large piece of existing equipment ("Conex box") is to be removed from the site to allow access to a loading area.

No nonconforming upgrades (such as adding required perimeter landscaping) would be triggered on this site unless the overall valuation of work is found to be over \$124,100.00. The applicants state that their costs for the proposal are below that and therefore not required.

Design review is required for exterior alterations or additions on sites with "d" overlay.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning code. The relevant approval criteria are:

- Central City Fundamental Design Guidelines
- Modification through Design Review – Section 33.825.040

ANALYSIS

Site and Vicinity: The quarter-block site consists of a one-story building (that appears to have been built in the 1960's) and a surface parking area with approximately 13 parking spaces. The surrounding context consists primarily of one-story structures with on-site vehicle areas that are a mix of industrial (warehouse, manufacturing) and commercial (retail) development.

Zoning: The EX zone allows mixed uses and is intended for areas in the center of the City that have predominantly industrial-type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed, but are not intended to predominate or set development standards for other uses in the area.

The "d" overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review.

Land Use History: City records indicate the following prior land use reviews for this site: LUR 00-00367 DZ: Approval of a 2000 Design Review for a chain link fence, gate and flush metal doors on existing building.

Agency Review: A "Notice of Proposal in Your Neighborhood" was mailed **April 4, 2008**. The following Bureaus have responded with no issues or concerns:

- Water Bureau
- Fire Bureau

- Bureau of Transportation Engineering
- Bureau of Parks-Forestry Division

The Plan Review Section of BDS responded with the following comment (see Exhibit E-1 for additional details):

1. Permit required - A separate Building Permit is required for the work proposed and the proposal must be designed to meet all applicable building codes and ordinances. More information regarding building code requirements can be obtained by visiting the Bureau of Development Services Development Services Center -1900 SW 4th Ave, 1st floor, between the hours of 7:30 AM and 3:00 PM Monday through Friday (no appointment necessary.) Building Code information is also available online at: <http://www.portlandonline.com/bds/>, or by calling (503) 823-1456.
2. Exterior walls located less than 5 feet to a property line must be one-hour fire-rated for exposure to fire from both sides. Exterior walls located more than 5 feet, but less than 10 feet to a property line must be one-hour fire-rated for exposure to fire from the inside only. OSSC 602.1, 704.5

The Bureau of Environmental Services responded with the following comment (see Exhibit E-2 for additional details):

- BES has not received supplemental information in response to the BES Addendum to Land Use Response dated June 12, 2008. However, BDS Site Development received the results of simplified infiltration testing and determined that on-site stormwater infiltration is feasible on this site. BDS Site Development also received a revised site plan prepared by Neil Kelly dated June 24, 2008 showing a drywell for roof runoff, which was determined to be acceptable. (Refer to BDS Site Development's Revised Land Use Review Response dated June 24, 2008). Based on this information from BDS Site Development, BES finds that the stormwater management issues raised during the first review of LU 08-110831 DZM have been adequately addressed for this particular project.
- Stormwater management facilities will be reviewed in more detail at the time of building permit application.

The Site Development Section of BDS responded with the following comment (see Exhibit E-3 for additional details):

- Based on the results of simplified infiltration testing performed by the applicant, Site Development has determined that on-site stormwater infiltration is feasible at this site. The revised site plan prepared by Neil Kelly dated June 24, 2008 showing a drywell for roof runoff is acceptable. No permeable pavement has been shown and no changes to the existing parking lot are indicated. Based on the information provided, Site Development has no objection to this Design Review.
- The applicant is advised that Underground Injection Control facility registration of the drywell with the Oregon Department of Environmental Quality may be required. Please refer to the attached UIC Fact Sheet. Please direct questions regarding these requirements to Mike Ebeling, (503) 823-7247.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on April 4, 2008. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

(1) Design Review - Chapter 33.825 Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055, Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because the site is located generally within the Central City Plan District, the applicable design guidelines are the Central City Plan Fundamental Design Guidelines. As the site is also specifically located within the Design Zone of the Central Eastside District, the Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan also apply.

Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan and Central City Fundamental Design Guidelines

The Central Eastside is a unique neighborhood. The property and business owners are proud of the district's heritage and service to the community and region. Light industry, distribution/warehousing, and transportation are important components of the district's personality. To the general public, retail stores and commercial businesses provide the central focus within the district.

The underlying urban design objective for the Central Eastside is to capitalize on and emphasize its unique assets in a manner that is respectful, supportive, creative and compatible with each area as a whole. Part of the charm and character of the Central Eastside District, which should be celebrated, is its eclectic mixture of building types and uses. An additional strength, which should be built on, is the pattern of pedestrian friendly retail uses on Grand Avenue, East Burnside and Morrison Streets, as well as portions of 11th and 12th Avenues.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central Eastside Design Goals

The following goals and objectives define the urban design vision for new development and other improvements in the Central Eastside

- Encourage the special distinction and identity of the design review areas of the Central Eastside District.
- Provide continuity between the Central Eastside and the Lloyd District.
- Provide continuity between the Central Eastside and the river, downtown, and adjacent residential neighborhoods.
- Enhance the safety, convenience, pleasure, and comfort of pedestrians.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;

2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish, and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

Findings: This site is located within the Central Eastside just south of Burnside. This area is dominated with small one-story warehouse buildings. The addition of the two roll-up doors on the west and south building facades are building elements characteristic to development in this area. In addition, the simple, rectilinear design of the building and the use of metal (aluminum windows, roll-up doors and awning) are industrial materials and features familiar in this Central City subdistrict. *These guidelines are therefore met.*

A7. Establish and Maintain a Sense of Urban Enclosure. Define public rights-of-way by creating and maintaining a sense of urban enclosure.

A7-1. Maintain a Sense of Urban Enclosure When Single-Story Buildings are Set Back. Maintain a sense of urban enclosure, through the use of landscaping and other means, when single-story buildings are set back from the property line. Do not set buildings back from the property line within the East Portland Grand Avenue Historic District.

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

Findings: The new single-story addition will be built on the SE Ankeny lot line to match the existing the structure. The two new windows on the south façade and within the roll-up door provide visual connections with the interior space from SE Ankeny and add interest to this rather simple industrial building. The zero lot line and transparency into the interior assist in maintaining the sense of urban enclosure along this primary building façade. The west elevation will be set back 72'-0" from SE 10th. However, this is a secondary façade with no pedestrian entrance and its location allows the existing parking lot to be maintained. *This guideline is therefore met.*

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public

right-of-way system through superblocks or other large blocks.

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

Findings: The building addition will be for vehicle access and storage only. There are two existing pedestrian doors, one on SE Ankeny and in the interior parking area, to remain. The addition will create an additional curbcut for vehicle access to the site, however, it will be limited to one way traffic. The trucks would enter the addition from SE Ankeny and exit through the new roll up door into the parking lot. This one-way movement will reduce the amount of pedestrian conflicts at the sidewalk. *This guideline is therefore met.*

B6. Develop Weather Protection. Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

B6-1. Provide Pedestrian Rain Protection. Rain protection is encouraged at the ground level of all new and rehabilitated commercial buildings located adjacent to primary pedestrian routes. In required retail opportunity areas, rain protection is strongly recommended.

Findings for B6 and B6-1: As mentioned above, the building addition will be for vehicle access and storage and will not contain a pedestrian door therefore no awnings or canopies are proposed. However, the 4'-0" deep flat awning on west side of the building addition in the parking lot area will provide weather protection for those in the parking area and using the roll-up door. *These guidelines are therefore met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

Findings: The windows, roll-up and awning will be comprised of metal (aluminum and tube steel), which are all durable materials. The stucco on the building's exterior is also a long-lasting finish with minimal maintenance. *This guideline is therefore met.*

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

C11. Integrate Roofs and Use Rooftops. Integrate roof function, shape, surface materials, and colors with the building's overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective storm water management tools.

Findings: The addition complements the existing building with its integrated design and warehouse characteristics. As the site slopes up towards the east the building steps up the grade with an increased height of 4'-0" above the existing building. The top of the new windows and roll-up door are in line with the roof of

the existing building accentuating the horizontality of the single story structure. The flat awning on the west and north elevation of the building addition matches the design of the awning cover on the building's south elevation providing coherency in its composition. The five new skylights are arranged in a linear fashion creating an organized rooftop that is free of clutter.

The materials used on the addition are not only consistent with the existing building but also complement those within the surrounding warehouse district. The new windows will be aluminum to match the existing windows as well as the new roll-up doors. The tube steel frame for the new awning complements metal building elements found with the industrial area. The stucco finish on the existing building will be carried over to the addition. These design elements and materials result in an integrated design that maintains the building's architectural. *These guidelines are therefore met.*

C8. Differentiate the Sidewalk-Level of Buildings. Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

Findings: The existing building is single story and comprised of slab-on-grade construction with stucco-finish masonry walls in a single color. Although 4'-0" taller than the existing building, the addition remains a single story and will be finished with the same stucco finish. The new windows are positioned similarly on the upper wall as the existing building. This location continues to define the upper portion of the single story building differentiating the lower sidewalk level. *This guideline is therefore met.*

(2) Modifications – Chapter 33.825.040

33.825.040 Modifications That Will Better Meet Design Review Requirements:

The review body may consider modification of site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the design review process. These modifications are done as part of design review and are not required to go through the adjustment process. Adjustments to use-related development standards (such as floor area ratios, intensity of use, size of the use, number of units, or concentration of uses) are required to go through the adjustment process. Modifications that are denied through design review may be requested as an adjustment through the adjustment process. The review body will approve requested modifications if it finds that the applicant has shown that the following approval criteria are met:

A. Better meets design guidelines. The resulting development will better meet the applicable design guidelines; and

B. Purpose of the standard. On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.

The following modification is requested:

1] Ground Floor Windows (PZC 33.140.230.B) - The standard requires street-facing walls within 20 feet of a property line to have at least 50% of their length plus 25% of their area in window area. The proposal does not meet either the length (6' proposed, 11.25' required) or area (15 SF proposed, 51 SF required) requirement.

Purpose: In the EX zone, blank walls on the ground level of buildings are limited to:

- Provide a pleasant, rich, and diverse pedestrian experience by connecting activities occurring within a structure to adjacent sidewalk areas;
- Encourage continuity of retail and service uses;

- Encourage surveillance opportunities by restricting fortress-like facades at street level; and
- Avoid a monotonous pedestrian environment.

Findings: The proposed new wall area has two new 2'-6"x3'-0" windows and one 9'-0" x 1'-0" window in the roll-up door. However, the roll-up door window does not count toward this requirement but if it did the 11.25' window length and half of the area requirement would be met. The small windows are consistent with the window proportions and upper wall location on the existing building thus better meeting Design Guidelines C5 (Design for Coherency).

The applicant is concerned with security of the items to be stored within the new addition. This is not a retail space and is intended for storage purposes. The smaller windows located higher up on the façade and those in the roll-up door limits eye level views directly into the space. Despite their size and location the windows and roll-up door help to break up the new 22'-6" wide façade on SE Ankeny as well as provide a visual connection with the street, thus meeting the intent of the regulation. *The modification therefore warrants approval.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The addition complements the existing building in terms of design and materials resulting in a coherent composition. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of the following:

1. A single-story, 1,892 SF building addition with stucco finish, aluminum windows and roll-up doors and a flat awning cover on the north and west elevations comprised of tube steel posts and cedar fascia; and
2. A modification to ground floor window length (from 11.25' to 6') and area (from 51 SF to 15 SF) on SE Ankeny building addition façade.

Per the approved site plans, Exhibits C-1 through C-8, signed and dated 7/1/08, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.8. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 08-110831 DZM. No field changes allowed."

Decision rendered by:  **on July 1, 2008**

By authority of the Director of the Bureau of Development Services

Decision mailed: July 3, 2008**Staff Planner: Staci Monroe**

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on February 22, 2008, and was determined to be complete on **March 21, 2008**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on February 22, 2008.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant waived the 120-day review period, as stated with Exhibit G-3.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on July 17, 2008** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. Recognized neighborhood associations are not subject to the appeal fee. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **July 18, 2008 – (the day following the last day to appeal).**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034. For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;

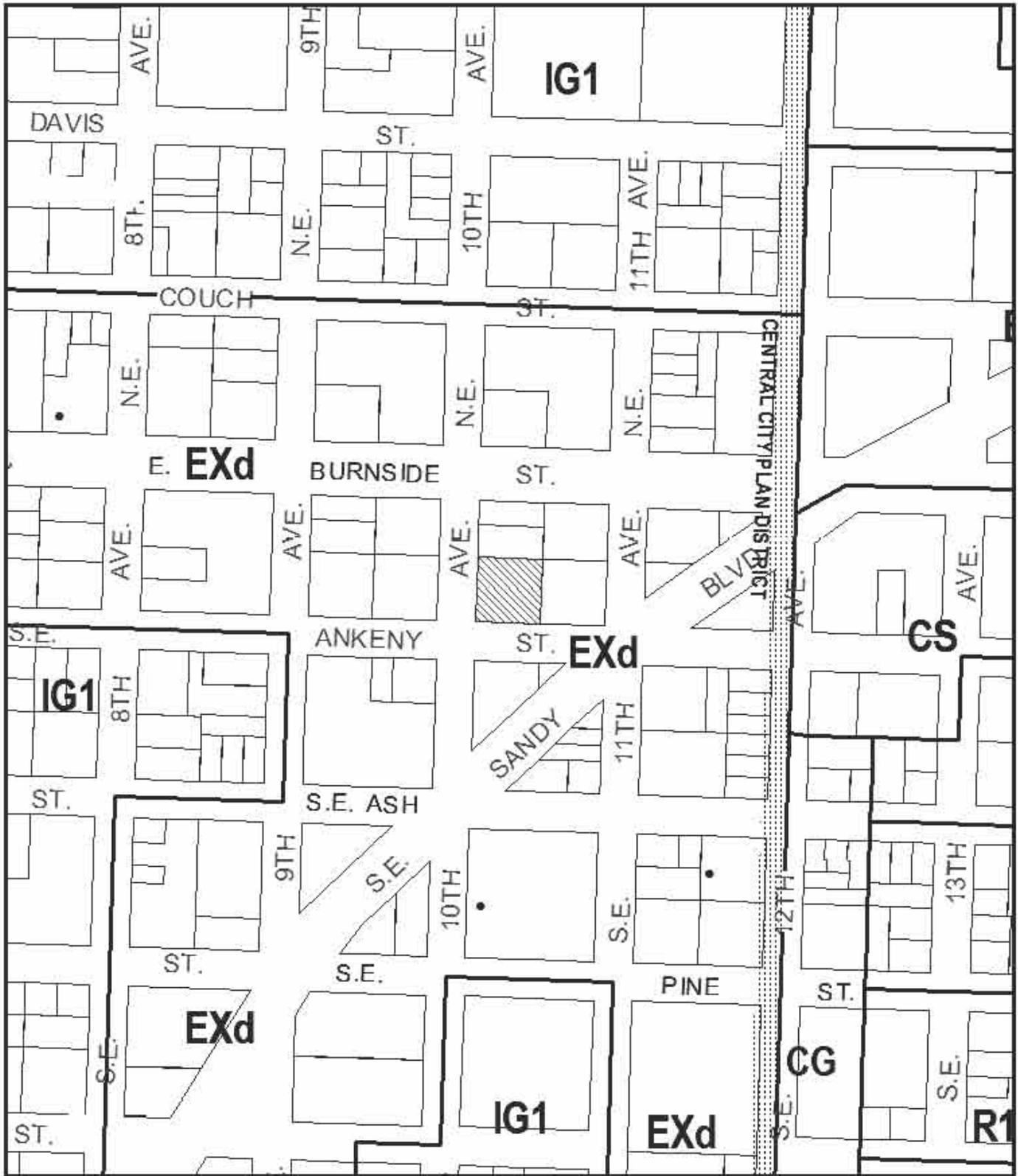
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. West & South Elevation (attached)
 - 3. East & North Elevation (attached)
 - 4. Floor Plan
 - 5. Roof Framing Plan
 - 6. Building Sections & Details
 - 7. Window Cross-Section
 - 8. Window Detail
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Plan Review Section of BDS
 - 2. Bureau of Environmental Services
 - 3. Site Development Section of BDS
- F. Correspondence: none.
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research
 - 3. 120-Day Waiver

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).



ZONING

 Site

 Historic Landmark



This site lies within the:
CENTRAL CITY PLAN DISTRICT

File No.	LU 08-110831 DZM
1/4 Section	3031
Scale	1 inch = 200 feet
State Id	1N1E35CD 1200
Exhibit	B (Apr 02, 2008)

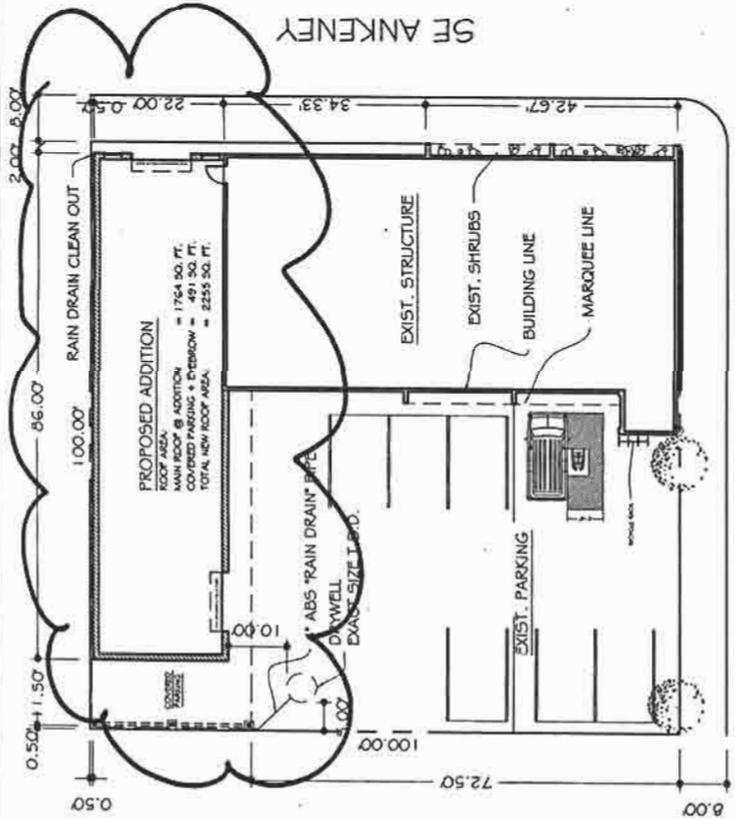
LOT INFORMATION
 SITE ADDRESS: 30 SE 10th Ave., Portland, OR, 97214 97214
 PLOT: BLOCK 226, LOTS 3 & 4, MULTNOMAH COUNTY
 LOT AREA: 10,000 SQUARE FEET

- GENERAL NOTES**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING STATE AND LOCAL CODE.
 2. ALL WORK SHALL BE EXECUTED BY SKILLED MECHANICS ACCORDING TO BEST TRADE PRACTICES KNOWN TO THE PARTICULAR CRAFT AND/OR MANUFACTURER OF THE MATERIAL BEING INSTALLED. THE WORK SHALL BE COMPLETED IN A TRUE WORKMANLIKE MANNER READY FOR THE NEXT TRADE, CRAFT, OR INSPECTION. IN NO CASE SHALL THE WORKMANSHIP AND/OR MATERIAL BE LESS THAN THOSE REQUIRED BY UNIFORM BUILDING STANDARDS.
 3. ALL MATERIALS OR EQUIPMENT SHALL BE NEW (EXCEPT AS NOTED ON PLANS OR PRE APPROVED BY THE OWNER).
 4. MECHANICAL AND ELECTRICAL SHALL BE BIDDER DESIGNED IN CONFORMANCE WITH ALL CURRENT CODES AND OWNERS REQUIREMENTS.

THESE PLANS ARE DESIGNED TO MEET THE REQUIREMENTS OF THE 2006 EDITION OF THE OREGON STRUCTURAL SPECIALTY CODE BASED ON THE 2003 IRC AND THE 2003 INTERNATIONAL BUILDING CODE w/ 2004 OREGON AMENDMENTS AND ANY OTHER AMENDMENTS AND SUPPLEMENTS CURRENTLY IN EFFECT.

THESE PLANS ARE THE SOLE PROPERTY OF NEIL KELLY CO., INC. AND ARE FOR OUR USE ONLY. THEY ARE NOT TO BE REPRODUCED OR USED FOR ESTIMATING, BIDDING, PERMIT, OR CONSTRUCTION BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION FROM THE NEIL KELLY COMPANY.

- LEGEND**
- PROPERTY LINE
 - FACE OF BUILDING
 - ROOF LINE
 - AREA OF WORK

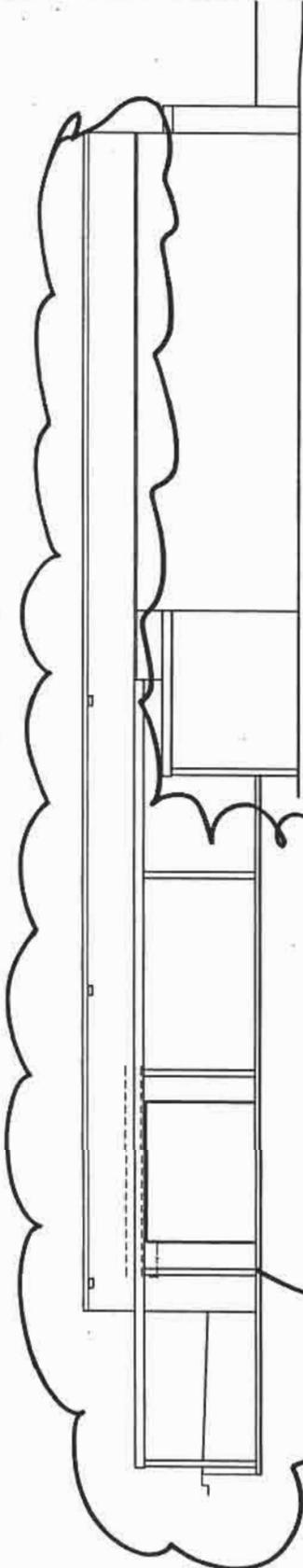


SITE PLAN
 1" = 20'



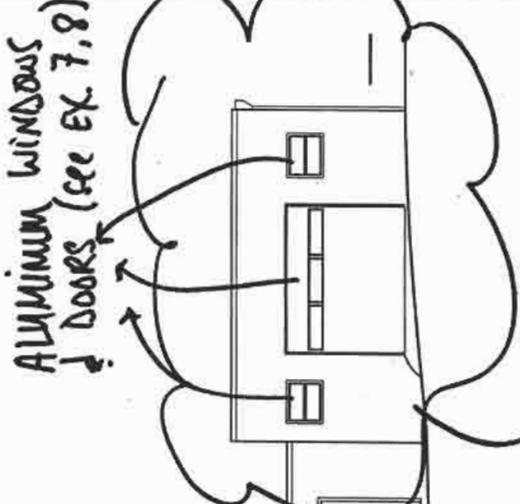
Approved
 City of Portland - Bureau of Development Services
 Planner: SM Date: 7/1/08
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

29181083102
 EX C-1



WEST ELEVATION
 SCALE: 1/8" = 1'-0"

6x6 TUBE STEEL POSTS w/ CEDAR FASCIA
 (SEE EX. E-6)



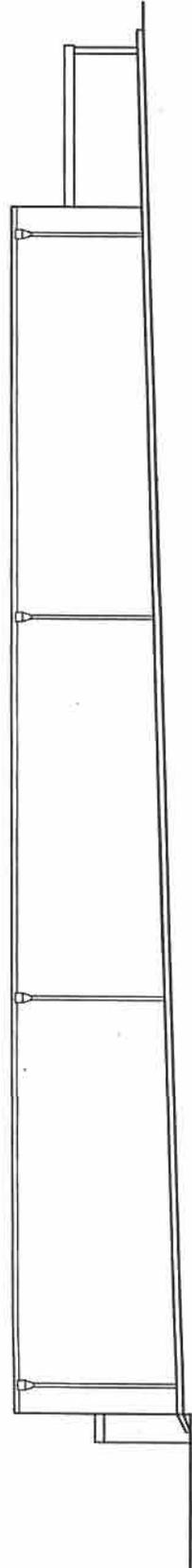
SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

ALUMINUM WINDOWS
 & DOORS (SEE EX. 7,8)

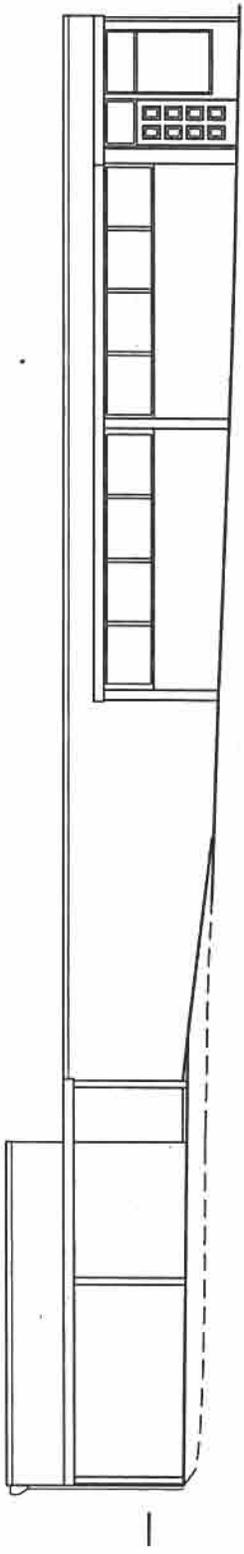
STUCCO FINISH

LU 08-11 0831 DZ
 EX. C-2

Approved
 City of Portland - Bureau of Development Services
 Planner DM Date 7/1/08
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



EAST ELEVATION
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

Approved
 City of Portland - Bureau of Development Services
 Planner: Smor Date: 7/1/08
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

LU 08-11083107
 EX. C-3