



City of Portland
Bureau of Development Services
Land Use Services Division

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www.portlandonline.com/bds

Date: July 15, 2008
To: Interested Person
From: Kate Marcello, Land Use Services
503-823-9162 / kate.marcello@ci.portland.or.us

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 08-123706 HDZ – ALTERATIONS TO TITLE WAVE USED BOOKSTORE/HISTORIC ALBINA BRANCH LIBRARY

GENERAL INFORMATION

Applicant: Michael Anderson, Multnomah Cty. Facilities & Property Management
401 N Dixon St / Portland, OR 97227-1865
(503) 988-3181

Representative: Paul Boundy, LRS Architects Inc.
720 NW Davis, Suite 300 / Portland, OR 97209
(503) 265-1561

Site Address: 216 NE KNOTT ST

Legal Description: BLOCK 16 LOTS 5-7, ALBINA
Tax Account No.: R009605480
State ID No.: 1N1E27AD 17201
Quarter Section: 2730
Neighborhood: Eliot, contact Mike Warwick at 503-284-7010.
Business District: North-Northeast Business Assoc, contact Joyce Taylor at 503-445-1321.
District Coalition: Northeast Coalition of Neighborhoods, contact Robin Denburg at 503-823-4135.
Plan District: Albina Community
Other Designations: City of Portland-designated Landmark; located in Eliot Conservation District
Zoning: High-density Residential (RH)
Case Type: Historic Design Review (HDZ)
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal: The applicant seeks Historic Design Review approval for exterior alterations at Multnomah County Library's Title Wave used bookstore, located in the Eliot Conservation District. The bookstore is located in the old Albina Branch Library building, a City of Portland-designated landmark. The proposed exterior alterations include the following:

- A ramp will be installed to accommodate visitors with physical disabilities. The ramp will have brick-capped stucco cheek-walls and wrought-iron guardrails. Landscaping will be installed along the cheek-walls of the lower- and mid-level ramp runs.
- The existing landing in front of the entry doors will be demolished and reconstructed to accommodate the new ramp. The two existing pole-light fixtures will be removed before the landing is demolished. They will be refurbished and re-installed on new pedestals on the new landing.
- A solid wood panel will be removed from each existing entry door and replaced with clear glass.
- The existing stair leading to the entry doors will be demolished and replaced with a new stair. The new stair will have brick-capped cheek-walls and wrought-iron guardrails.

Because the proposal is for exterior alterations to an existing building in a conservation district, Historic Design Review is required.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- 33.846 Historic Design Review
- 33.846.060.G Other Approval Criteria
- *Community Design Guidelines*

ANALYSIS

Site and Vicinity: The building is known as the Historic Albina Branch Library. It is 65 by 100 feet, one story tall, and faces NE Knott Street. The building was constructed in 1912 and designed in the Spanish Colonial Revival style. It features a Spanish-tile gabled roof with stepped gable end-walls and scroll-cut rafters. The basic structure of the building consists of reinforced concrete and terra cotta block exterior walls with a painted stucco finish, with brick accent. Along the front façade, there are operable tracery windows with divided lites. The windows are in pairs. Each pair of tracery windows has decorative spandrels and polychrome terra-cotta pilasters. Above each pair of tracery windows, there is a circular fixed window. The window bays on the east and west facades are similar but also feature terra-cotta planter boxes. There are two decorative cast-iron pole-lights at the main entrance. Floor plans indicate the basement was originally an auditorium with seating for 300 people. The ground level contained an entry hall, two flanking identical reading rooms (children’s and general), library support rooms, and open shelves.

The building was paid for by a grant from the Andrew Carnegie Library Building Fund, which provided money to construct public libraries across the United States. The building was designed by Ellis Fuller Lawrence. He was a “patron” and early member of the Portland Architectural Club. In 1914, he became the first dean of the School of Architecture and Allied Arts at the University of Oregon in Eugene. Other Portland buildings he designed include the Westminster Presbyterian Church, Front Avenue Public Market, and Interstate Firehouse.

The library served as the Albina Branch Library until 1954, when it was converted for use by the Library Association of Portland’s extension services. An accessory building was constructed at the rear of the property for bookmobile operations. The auditorium was converted for book storage. The Library Association of Portland dissolved in 1990 and transferred ownership of its buildings, books, and holdings to Multnomah County, which now administers all public library services. Today, the building contains Title Wave used bookstore, which sells donated books and used books from the Multnomah County Library system.

To promote interest in and appreciation of Portland’s architecture, in 1919 the Oregon chapter of the American Institute of Architects invited a jury to select “the ten most notable examples of architecture...within ten miles of Portland City Hall.” The Albina Branch Library was one of the

ten buildings selected. The building remains in good to excellent condition and represents not only one of the few examples in Portland of polychromatic terra-cotta detailing, but more importantly one of the finest public structures ever erected in Albina.

Zoning: The High-Density Residential (RH) zone is a high-density multi-dwelling residential zone. Certain retail sales and service and office uses are allowed as conditional uses to provide mixed-use development on larger sites that are close to light rail transit facilities. The maximum residential density is limited to a FAR of 2:1 on this site, and the minimum density is one unit per 1,000 square feet of site area. Newly created lots in the RH zone must be at least 10,000 square feet in area for multi-dwelling development, 3,000 square feet for development with detached houses, 800 square feet for development with attached houses, and 2,000 square feet for development with duplexes. Minimum lot width and depth standards may apply.

The Historic Resource Protection overlay zone is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks. The regulations that pertain to these properties protect certain historic resources in the region and preserve significant parts of the region's heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

Land Use History: City records indicate one prior land use review for this site:

- LUR 99-017190 HDZ (reference file # 99-00785): Approval to place new mechanical equipment on the roof of the existing building.

Agency Review: A *Notice of Proposal in Your Neighborhood* was mailed on May 8, 2008. The following Bureaus have responded with no issues or concerns:

- Portland Fire & Rescue;
- Portland Water Bureau;
- Bureau of Environmental Services;
- Bureau of Transportation Engineering & Development;
- Urban Forestry Division of Portland Parks & Recreation;
- Site Development Section of the Bureau of Development Services; and
- Life Safety (Building Code) Section of the Bureau of Development Services.

Neighborhood Review: A *Notice of Proposal in Your Neighborhood* was mailed on May 8, 2008. One written comment in response to the proposal has been received, from Mike Warwick, on May 26, 2008. His letter raises the following chief concerns and suggestions:

- Perhaps a more desirable configuration for the ramp would be to have it start at the northeast corner of the property and run diagonally across the front yard. This would eliminate the need to re-construct the front landing and it also might create spaces for terraced landscaping along the outer walls of the ramp.
- There was an attempted break-in at the building in the past two years. The person/people attempted to break in via a window adjacent to the front entry doors. The proposed configuration of the ramp is too close to the front windows, which will provide improved access to the windows and make it easier for the building to be burglarized. This possibility would not exist if the ramp were re-configured as suggested above.

Staff response: The suggested configuration was considered by the architect, but the ramp would be a diagonally oriented element inconsistent with the original orthogonal orientation of the building. Maintaining the building's historic integrity – which includes its orthogonal orientation – must be a primary objective, as the building has been designated by the City of Portland as a historic landmark. Regarding the suggestion for landscaping, the proposal calls for shrubs along the cheek-walls of the lower- and mid-level ramp runs. An alternative configuration was studied by staff and the architect, which included a strip of landscaping between the lower-level ramp run and the adjacent stair. This alternative was not chosen because it would increase the overall area occupied by the new ramp-and-stair structure, making the structure appear bulkier. For more information, please see staff's findings for Guidelines P1, P2, D6, D7, D8; D3; and D5.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846, Historic Reviews

Purpose of Historic Design Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Design Review Approval Criteria

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is a City of Portland-designated Landmark. Therefore the proposal requires Historic Design Review approval. The relevant approval criteria are listed in 33.846.060 G. 1.-10. In addition, because the site is located within the Eliot Conservation District, the relevant approval criteria are the Community Design Guidelines.

1. 33.846.060.G Other Approval Criteria

Approval criteria based on the Standards of the Secretary of the Interior:

1. Historic character.

The historic character of the property will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the property's historic significance will be avoided.

4. Historic features.

Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the old in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence.

5. Historic materials.

Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used.

Findings for 1, 4, 5: The proposal does not include removal of historic materials or alterations of features and spaces that contribute to the building's historic significance. The proposal also does not involve the replacement of any deteriorated historic features. The building's defining historic features – its polychrome terra-cotta detailing, stucco exterior with brick accent, red-tile roof, and orthogonal orientation – will remain intact. The existing pole-lights located on the upper landing adjacent to the entry doors will be removed for re-construction of the upper landing. They will be refurbished and then re-installed on the upper landing when its construction is complete. No damaging chemical or physical treatments will be used as part of the proposed work. *Therefore these criteria are met.*

2. Record of its time.

The historic resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided.

7. Differentiate new from old.

New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a property. New work will be differentiated from the old.

Findings for 2, 7: The proposal does not create a false sense of historic development. By virtue of its function as an ADA-compliant access system for people in wheelchairs and with other physical disabilities, the ramp will be differentiated as a new element on the building. The stair will also be differentiated as new by the presence of the new

guardrails and handrails, which are similarly necessary for ADA compliance. The proposal does not employ any conjectural features or architectural elements from other buildings. *Therefore these criteria are met.*

3. Historic changes.

Most properties change over time. Those changes that have acquired historic significance will be preserved.

Findings for 3: The proposal does not affect any changes to the property that have acquired historic significance over time. *Therefore this criterion is met.*

6. Archaeological resources.

Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken.

Findings for 6: The proposal does not affect any significant archaeological resources. *Therefore this criterion is met.*

8. Architectural compatibility.

New additions, exterior alterations, or related new construction will be compatible with the resource's massing, size, scale, and architectural features. When retrofitting buildings or sites to improve accessibility for persons with disabilities, design solutions will not compromise the architectural integrity of the historic resource.

9. Preserve the form and integrity of historic resources.

New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic resource and its environment would be unimpaired.

10. Hierarchy of compatibility.

Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a Historic or Conservation District, with the rest of the district. Where practical, compatibility will be pursued on all three levels.

Findings for 8, 9, 10: The proposed ramp and stair are compatible in massing, size, scale, and architectural features with the existing building, adjacent properties, and the Eliot Conservation District. The concrete cheek-walls will have a stucco finish to match the stucco façade of the building; the brick cap on the cheek-walls and the brick pavers on the upper landing correspond to the brick accents on the building; and the wrought-iron guardrail is in keeping with the Spanish Revival style of the building. Secondly, the ramp respects the existing building by exhibiting the same orthogonal form. The ramp is located parallel to the building, with the lower-level ramp run and the landing from the mid-level ramp run to the upper-level ramp run at right angles. Lastly, the new glazing in the entry doors is also compatible. The new glazing will be clear glass that exhibits the same width as the existing wood paneling on the doors. The glass will be in an appropriate location, at the height where glazing is commonly found on entry doors. If any of the proposed alterations are removed in the future, the essential form and integrity of the existing building would be unimpaired. *Therefore these criteria are met.*

2. Community Design Guidelines

The Community Design Guidelines consist of a set of guidelines for design and historic design cases in community planning areas outside of the Central City. These guidelines address the unique and special characteristics of the community plan area and the historic and conservation districts. The Community Design Guidelines focus on three general categories: **(P) Portland Personality**, which establishes Portland's urban design framework; **(E) Pedestrian Emphasis**, which states that Portland is a city for people as well as cars and other movement

systems; and **(D) Project Design**, which assures that each development is sensitive to both Portland's urban design framework and the users of the city.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

- P1. Community Plan Area Character.** Enhance the sense of place and identity of community plan areas by incorporating site and building design features that respond to the area's unique characteristics and neighborhood traditions.
- P2. Historic and Conservation Districts.** Enhance the identity of historic and conservation districts by incorporating site and building design features that reinforce the area's historic significance. Near historic and conservation districts, use such features to reinforce and complement the historic areas.
- D6. Architectural Integrity.** Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.
- D7. Blending into the Neighborhood.** Reduce the impact of new development on established neighborhoods by incorporating elements of nearby high-quality buildings such as building details, massing, proportions, and materials.

Findings for P1, P2, D6, D7, D8: The existing building reflects the strong pedestrian orientation of the area, harking back to the streetcar era in which it was constructed. When the building was built in 1912, the St Johns streetcar line had just begun operation on NE Martin Luther King, Jr Boulevard (called Union Avenue at the time) in the previous year. The proposed ramp and stair maintain the building's original streetcar-era pedestrian orientation through incorporation of human-scale design features and appropriate scale and proportions.

The design of the proposed ramp and stair incorporates architectural details and materials of the existing building. The concrete cheek-walls will have a stucco finish to match the stucco façade of the building. The brick cap on the cheek-walls and the brick pavers on the upper landing correspond to the brick banding on the building. The wrought-iron guardrail is in keeping with the Spanish Revival style of the building. The scale and proportions of the new ramp and stair correspond to that of the building, thus maintaining the building's elegant appearance and intimate human scale.

The new glazing in the entry doors also respects the architectural integrity of the building. The glazing will replace rectangular wooden panels. The glass will be exactly the same size as the wooden panels. The glass will be in an appropriate location, at the height where glazing is commonly found on entry doors.

The proposed ramp respects the existing building by exhibiting the same orthogonal form. The ramp is located parallel to the building, with the lower-level ramp run and the landing from the mid-level ramp run to the upper-level ramp run at right angles. This configuration maintains the building's original orthogonal orientation, which is inherent to its architectural integrity. *Therefore these guidelines are met.*

- E1. The Pedestrian Network.** Create an efficient, pleasant, and safe network of sidewalks and paths for pedestrians that link destination points and nearby residential areas while visually and physically buffering pedestrians from vehicle areas.

Findings for E1: The proposed ramp and stair will create a safe, accessible path for pedestrians with physical disabilities to access the building from the surrounding residential area. The entrances to the ramp and the stair are located at the public sidewalk on NE Knott Street. Once pedestrians begin to travel up the ramp or stair, they are physically and visually buffered by concrete cheek-walls and metal guardrails. The proposed ramp design in particular is a much-needed improvement to the previous manner in which physically disabled patrons had to enter the building, which

necessitated them walking down the driveway at the eastern edge of the site, to an accessory building at the rear. The ramp will keep disabled patrons away from the driveway and safe from vehicular movement. *Therefore this guideline is met.*

E2. Stopping Places. New large-scale projects should provide comfortable places along pedestrian circulation routes where people may stop, visit, meet, and rest.

E3. The Sidewalk Level of Buildings. Create a sense of enclosure and visual interest to buildings along sidewalks and pedestrian areas by incorporating small-scale building design features, creating effective gathering places, and differentiating street-level facades.

Findings for E2, E3: The mid- and upper-level landings of the new stair provide stopping and gathering places. The guardrails, handrails, and refurbished historic light fixtures create a safe, inviting environment in which people can stop, visit, meet, and rest as they enter or exit the bookstore.

The design of the ramp and stair incorporates small-scale building details from the existing building. The cheek-walls will be stucco with brick caps, just as the building is stucco with brick detail. Additionally, the wrought-iron guardrails are in keeping with the Spanish Revival style of the building, and they imbue a sense of visual rhythm along the front façade. With the new ramp and stair, the sidewalk level of the building will provide a strong sense of enclosure and visual interest. *Therefore these guidelines are met.*

D2. Main Entrances. Make the main entrances to houses and buildings prominent, interesting, pedestrian-accessible, and transit-oriented.

Findings for D2: The main entrance will remain a prominent feature of the building's front façade. Brick pavers will be placed in a rectangular outline on the new landing immediately in front of the doors, highlighting the entrance and imparting a sense of arrival. Additionally, the new glazing proposed for the entry doors will make the main entrance more visually interesting by increasing views into and out of the building.

The new glazing will also make the main entrance more accessible. The glazing will allow people exiting the building to see whether there is someone in front of the entry doors on the exterior, thus reducing possible conflicts between patrons entering and exiting the building. This will be especially beneficial for disabled patrons, who often need sufficient wheelchair maneuvering space when entering a building. *Therefore this guideline is met.*

D3. Landscape Features. Enhance site and building design through appropriate placement, scale, and variety of landscape features.

Findings for D3: Shrubs will be installed in the existing front yard, along the cheek-walls of the new ramp. This will reduce the visual impact of the new ramp and create a transition zone between the ramp and the front yard. *Therefore this guideline is met.*

D5. Crime Prevention. Use site design and building orientation to reduce the likelihood of crime through the design and placement of windows, entries, active ground-level uses, and outdoor areas.

Findings for D5: Clear glazing will be installed in the doors at the main entrance. This will increase views from the building's interior to the exterior and provide an additional visual cue that there are "eyes on the street" surveying the surrounding area. Additionally, the proposed stair design reduces the likelihood of crime by providing mid- and upper-level landings and an upper landing where patrons can congregate and survey their surroundings.

The proposed ramp will not increase the likelihood of crime, such as break-ins through the building's existing window bays, as there will be a gap of 5 feet 4 inches between the upper-level ramp run and the building. This gap makes it prohibitively difficult to access the windows. *Therefore this guideline is met.*

D8. Interest, Quality, and Composition. All parts of a building should be interesting to view, of long-lasting quality, and designed to form a cohesive composition.

Findings: The proposal employs high-quality materials that are interesting to view. The new glazing will be clear glass that exhibits the same width as the existing wood paneling on the doors. New wood trim will be placed around the glass. Its profile will match that of existing wood trim on the doors. The ramp and stair will feature concrete cheek-walls with stucco finish. The walls will be capped in brick. There will also be brick pavers in the upper landing, adjacent to the entry doors. The guardrails and handrails will be metal, painted black. These materials are durable and form a coherent composition on the front façade of the existing building. *Therefore these guidelines are met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The purpose of the historic design review process is to ensure that exterior alterations to existing buildings protect the integrity of the special characteristics of the historic resources. The proposed glazing in the entry doors, new ramp, and new stair employ high-quality materials that respect the original Spanish Revival style of the existing building and maintain its human scale and proportions. The ramp will provide enhanced access to the building for bookstore patrons with physical disabilities. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of glazing in the existing front entry doors, new stair, and new ramp; per the approved site plans, Exhibits C-1 through C-7, signed and dated July 11, 2008, subject to the following conditions:

- A. As part of the building permit application submittal, each of the four required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C-1 through C-7. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 08-123706 HDZ. No field changes allowed."

Decision rendered by:  on July 11, 2008
By authority of the Director of the Bureau of Development Services

Decision mailed: July 15, 2008

Staff Planner: Kate Marcello

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on April 22, 2008, and was determined to be complete on May 6, 2008.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on April 22, 2008.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on July 29, 2008** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a

digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **July 30, 2008 – (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;

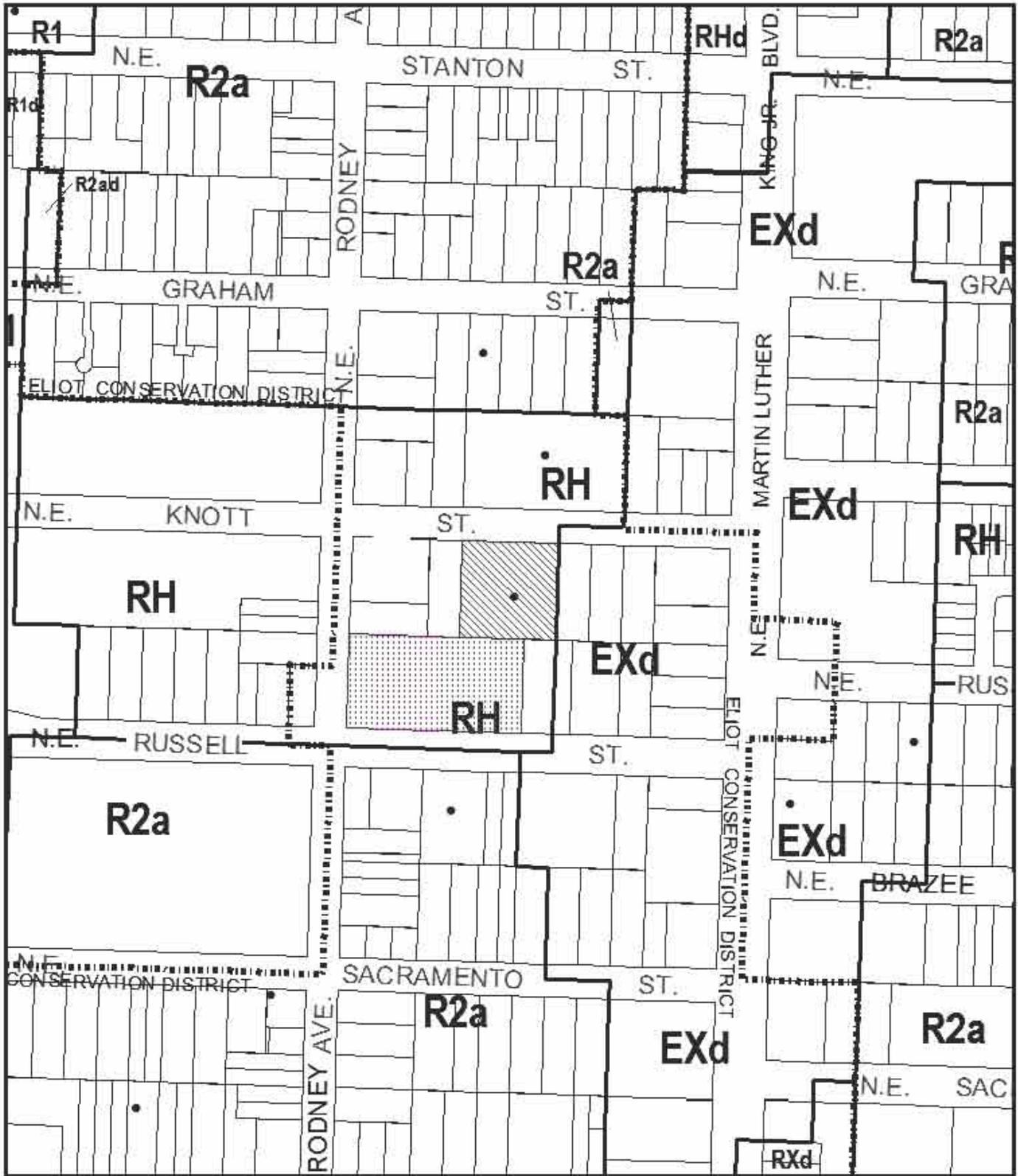
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan
 - 2. Enlarged Plan of Ramp (*attached*)
 - 3. North Elevation Drawings (*attached*)
 - 4. Section Drawings of Upper- and Mid-level Ramp Runs
 - 5. East Elevation Drawing of Ramp; West Elevation Drawing of Stair (*attached*)
 - 6. Section Drawings of Upper & Lower Ramp Runs with Sidewalk, Upper- and Mid-level Ramp Runs, and Stair
 - 7. Elevation and Detail Drawings for Entry Door (*attached*)
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses: None received.
- F. Correspondence:
 - 1. Mike Warwick, 05/26/08; in opposition to the proposed design of the ramp and stair.
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).



ZONING

-  Site
-  Also Owned
-  Historic Landmark

This site lies within the:
ALBINA COMMUNITY PLAN DISTRICT
ELIOT CONSERVATION DISTRICT

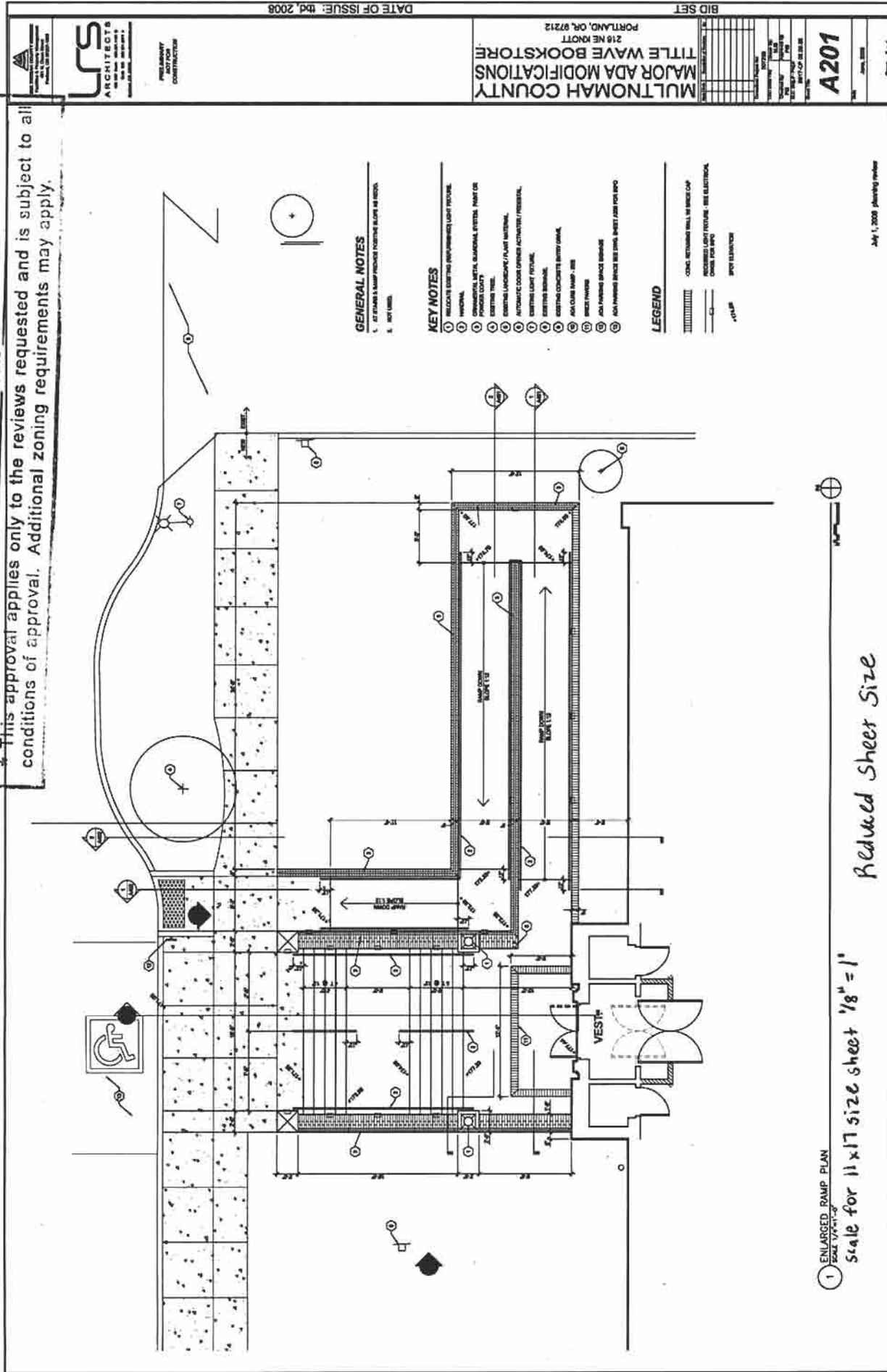


File No.	LU 08-123706 HDZ
1/4 Section	2730
Scale	1 inch = 200 feet
State Id	1N1E27AD 17201
Exhibit	B (Apr 23, 2008)

Exhibit C-2

Approved
City of Portland - Bureau of Development Services
Planner *KatN* Date *7-11-08*

This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



DATE OF ISSUE: 04/2008

BID SET

MULTNOMAH COUNTY
MAJOR ADA MODIFICATIONS
TITLE WAVE BOOKSTORE
218 NE KNOTT
PORTLAND, OR, 97212

NO.	DESCRIPTION	DATE
1	ISSUED FOR BIDDING	04/2008
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

A201

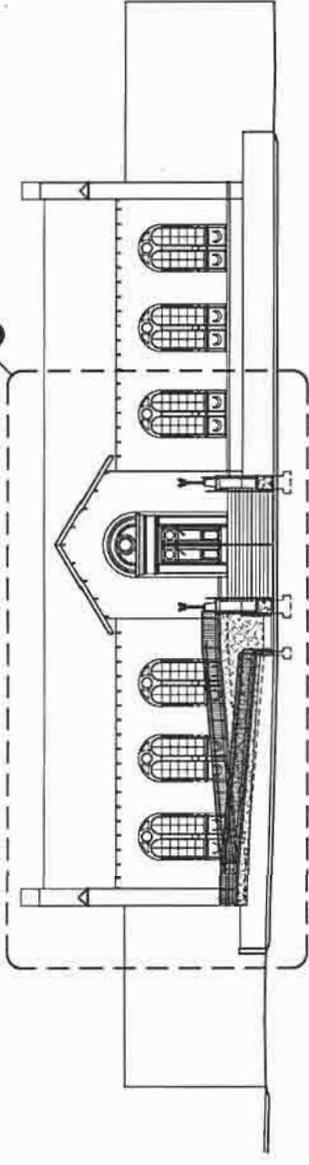
LU 08-123706 HDZ

Approved
City of Portland - Bureau of Development Services

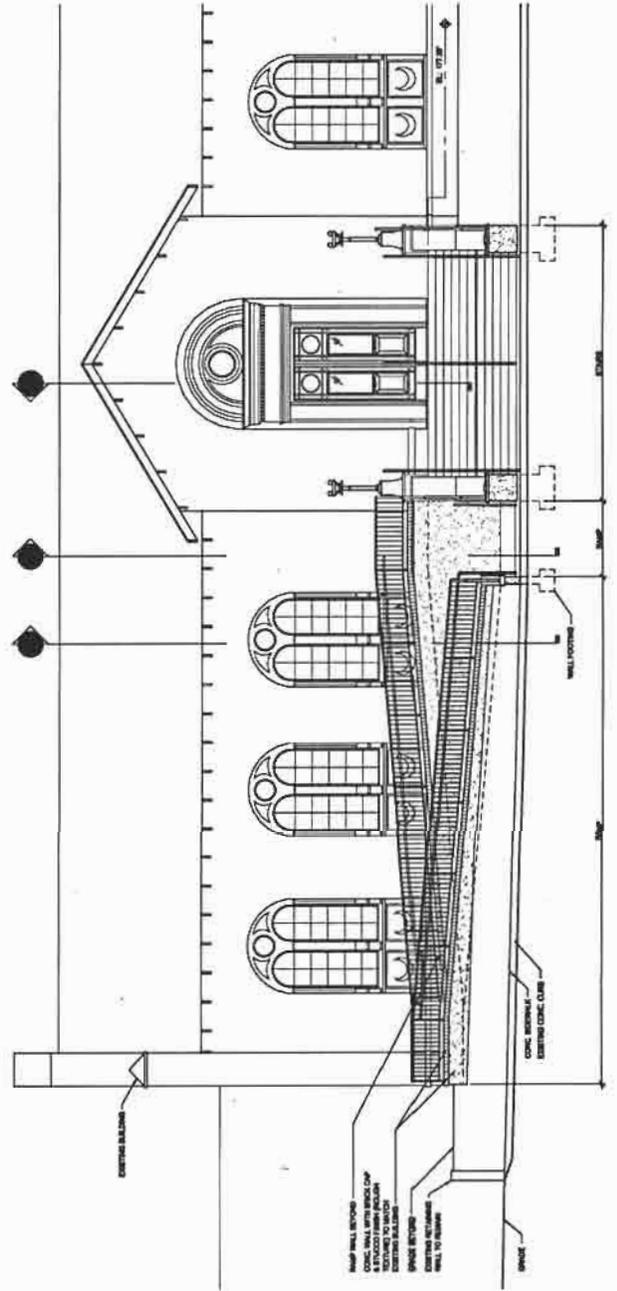
Planner: *Katrina* Date: 7-11-08

* This approval applies only to the reviews requested and is subject to a conditions of approval. Additional zoning requirements may apply.

Exhibit C-3



1 NORTH ELEVATION - ENTRY, STAIR & RAMP
SCALE 1/8"=1'-0"



2 ENLARGED NORTH ELEVATION - ENTRY, STAIR & RAMP
SCALE 1/8"=1'-0"

LSA ARCHITECTS
ARCHITECTS
210 NE KNOX ST.
PORTLAND, OR 97212

DATE OF ISSUE: 04/12/2008

MULTNOMAH COUNTY
MAJOR ADA MODIFICATIONS
TITLE WAVE BOOKSTORE
210 NE KNOX
PORTLAND, OR 97212

BID SET

NO.	DESCRIPTION	DATE
1	PRELIMINARY	04/12/08
2	REVISED	04/12/08
3	REVISED	04/12/08
4	REVISED	04/12/08
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49	REVISED	04/12/08
50	REVISED	04/12/08

A301

JULY 1, 2008 planning number

LM 08-123706 HDZ

