



City of Portland  
**Bureau of Development Services**  
Land Use Services Division

1900 SW Fourth Ave. Suite 5000  
Portland, Oregon 97201  
Telephone: 503-823-7300  
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FAX: 503-823-5630  
[www.portlandonline.com/bds](http://www.portlandonline.com/bds)

**Date:** September 15, 2008  
**To:** Interested Person  
**From:** Mark Walhood, Land Use Services 503-823-7806  
*mwalhood@ci.portland.or.us*

**NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

**CASE FILE NUMBER: LU 08-139480 HDZ**  
**(REMODEL @ 5165 N. WILLIAMS AVE.)**

**GENERAL INFORMATION**

**Applicant/Contact:** Sue Firpo, SL Firpo Design/Craft 503-282-6885  
420 NE 56<sup>th</sup> Avenue  
Portland, OR 97213

**Property Owners:** Edward and Andrea Gresh  
5765 N. Williams Avenue  
Portland, OR 97217

**Site Address:** 5765 N Williams Avenue

**Legal Description:** LOT 7 BLOCK 15, PIEDMONT  
**Tax Account No.:** R657802120  
**State ID No.:** 1N1E15DC 12400  
**Quarter Section:** 2430  
**Neighborhood:** Humboldt, contact Paul Anthony at 503-367-9679.  
**Business District:** North-Northeast Business Assoc, contact Joyce Taylor at 503-445-1321. North Portland Business Assoc, contact Jim Schaller at 503-517-9915.

**District Coalition:** Northeast Coalition of Neighborhoods, contact Lauren McCartney at 503-823-4135.

**Zoning:** **R5a** (Single-Dwelling Residential Zone with "a" or Alternative Design Density Overlay Zone), **Piedmont Conservation District**

**Case Type:** **HDZ** (Historic Design Review)  
**Procedure:** **Type II**, an administrative decision by Bureau of Development Services Staff that can be appealed to the Landmarks Commission.

**Proposal:** The applicant seeks Historic Design Review approval for alterations to an existing home in the Piedmont Conservation District. The home was constructed in 1923 and is listed as a noncontributing resource in the conservation district. The current proposal includes the following alterations:

- A one-level, 112 square-foot addition to the rear of the home. The applicant is proposing two double-hung, wood windows at the east wall of the addition and three double-hung

wood windows at the west wall, looking out from an expanded kitchen. In addition, the plans include French doors at the south wall of the addition, which would open to a new 4' x 8' porch and stair to the back yard. The addition would be clad in horizontal, bevel lap wood siding to match the existing siding on the home.

- Expansion of the home's second level. The existing home has a side-gabled roof with two small, gabled roof dormers at the street-facing elevation. The applicant proposes to remove, raise, and reconstruct the existing gable roof and include two new large shed dormers at both the front and rear of the home. The proposed dormers would have 2' overhangs to match those of the existing roof, and new eave brackets would be added to match the brackets currently on the home. Four double-hung windows and four fixed windows would be placed on the front dormer walls, and three double-hung windows and one casement window would be added to the rear dormer; all proposed windows are wood. In addition, the existing brick chimney would be extended by 2' and the proposed brick patterning on the new portion would match that of the existing chimney. In addition, the side walls of the second floor would include four new wood double-hung windows, and two new fixed wood windows. All window and door casings and trim would be detailed to match existing wood trim conditions on the home. **NOTE:** In response to staff concerns about the placement of the street-facing wall of the new upper-story dormer, the project was revised slightly to carry this wall slightly forward, to be flush with the new porch columns below.
- A new front porch. The proposed porch would be 8'-0" deep and 28'-0" wide and would be contained under the main roof. The proposed porch has a concrete base, tapered square columns, and 2'-6" high railings. Bead board is proposed at the ceiling of the new porch.

Because the proposal is for exterior alterations to a property in the Piedmont Conservation District, Historic Design Review is required.

**Relevant Approval Criteria:** In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are the *Community Design Guidelines*.

## ANALYSIS

**Site and Vicinity:** The site consists of a standard 5,000 square foot lot in the Piedmont Neighborhood, located on the west side of N. Williams Avenue, one lot south of N. Jarett Street. The site includes a one-and-one-half story home, originally constructed in 1923, and a single-car detached garage at the west edge of the site, abutting the (passable) alley. The abutting street is improved with paved public sidewalks, a landscaped planting strip, curbing, and a two-way improved roadway with on-street parking on both sides of the street. The surrounding neighborhood is almost exclusively single-family residential in character, with detached homes on their own lots.

**Zoning:** The Residential 5,000 (R5) base zone is a single-dwelling zone, with use regulations and development standards intended to preserve and promote the character of Portland's single-family neighborhoods. The development standards work together to promote desirable residential areas by addressing aesthetically pleasing environments, safety, privacy, energy conservation, and recreational opportunities. The "a" or Alternative Design Density overlay zone provides opportunities for additional density for some developments, provided additional design-related requirements are satisfied.

The Piedmont Conservation District seeks to preserve and enhance the special architectural, cultural, and historic resources of this special Portland neighborhood. The regulations of the Historic Resources overlay zone apply in this and other Conservation Districts. Generally, new structures and exterior alterations to buildings must either meet the objective Community Design Standards, or receive prior approval through the Historic Design Review process.

**Land Use History:** City records indicate no prior land use reviews relevant to this site.

**Agency Review:** A “Notice of Proposal in Your Neighborhood” was mailed **July 29, 2008**. The following Bureaus have responded with no issues or concerns:

- The *Fire Bureau* (Exhibit E.1);
  - The *Development Review Division of Portland Transportation* (Exhibit E.2); and
  - The *Urban Forestry Division of Portland Parks and Recreation* (Exhibit E.3).
- The *Bureau of Environmental Services* (BES) has no objections to the proposal, but notes that the Stormwater Management Manual requires stormwater runoff from new or redeveloped impervious area to be managed on-site through surface infiltration facilities to the maximum extent practicable. Roof runoff may be managed in drywells or soakage trenches (if on-site infiltration is approved by BDS Site Development). Pollution reduction is required for all non-rooftop runoff, and all runoff that is not infiltrated on site. Stormwater runoff from parking lot, driveway and other ground-level impervious surface must be treated by means of vegetated surface facilities with overflow directed to an appropriate disposal location. If stormwater is proposed to be directed to existing facilities, stormwater management facility capacity will need to be evaluated and must be adequately sized to manage stormwater from this site. This particular project is currently being reviewed under the building permit review process (permit #08-137952 RS). James Hyatt of Site Development has signed off on this permit on 7/9/08 with a note ‘all utilities to existing’. Exhibit E.4 is a paper copy of the original electronic response.
  - The *Site Development Section of the Bureau of Development Services* (BDS) has responded with no concerns, but notes that permit #08-137952 RS is under review. James Hyatt of Site Development signed off on 7/9/08 with note “all utilities to existing”. Exhibit E.5 is a paper copy of the original electronic response.
  - The *Life Safety* (Building Code) *Section of the Bureau of Development Services* notes that a building permit has been applied for and is currently under review. The project must be designed to meet all applicable building codes and ordinances. The applicant is referred to correspondence from the Life Safety Plans Examiner for building code-related comments. Exhibit E.6 is a paper copy of the original electronic response.

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on July 29, 2008. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

## ZONING CODE APPROVAL CRITERIA

### Chapter 33.825 Design Review

#### Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

#### Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

**Findings:** The site is within the Piedmont Conservation District, and therefore the project is subject to the regulations of the Historic Resource Protection overlay zone. The applicant has designed the project such that not all of the applicable Community Design Standards can be met, therefore the proposal requires Historic Design Review approval. Because of the site’s location in the Piedmont Conservation District, the applicable design guidelines are the Community Design Guidelines.

## Community Design Guidelines

The Community Design Guidelines consist of a set of guidelines for design and historic design cases in community planning areas outside of the Central City. These guidelines address the unique and special characteristics of the community plan area and the historic and conservation districts. The Community Design Guidelines focus on three general categories: **(P) Portland Personality**, which establishes Portland's urban design framework; **(E) Pedestrian Emphasis**, which states that Portland is a city for people as well as cars and other movement systems; and **(D) Project Design**, which assures that each development is sensitive to both Portland's urban design framework and the users of the city.

*Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.*

**P1. Plan Area Character.** Enhance the sense of place and identity by incorporating site and building design features that respond to the area's desired characteristics and traditions.

**P2. Historic and Conservation Districts.** Enhance the identity of historic and conservation districts by incorporating site and building design features that reinforce the area's historic significance. Near historic and conservation districts, use such features to reinforce and complement the historic areas.

**Findings for P1 and P2:** The existing home is a 1-½ story, gable-roofed structure with two gabled dormers facing the street, a symmetrical street-facing façade, and a partial gabled front porch with simple Doric porch support columns. Because of the relatively late construction date of 1923, the home is listed as a noncontributing resource in the Piedmont Conservation District. The proposed remodel, however, does incorporate typical architectural features found elsewhere within both the Albina Community Plan Area and the Piedmont Conservation District. These include the gabled roof form and shed dormers, covered porch with tapered box columns atop a low wood porch railing, simple wood eave brackets, operable vertical wood window openings or horizontal openings created by groups of vertical windows, and horizontal beveled lap siding. The remodeled home also maintains the symmetrical street-facing composition of the original home, incorporates exterior siding and eave brackets matching original patterns on the building, and replicates original window and door casing with crown moulding for all new openings. The extension of the new upper-story dormer over the covered porch is a typical pattern found on Craftsman and Bungalow Style homes in the neighborhood. Through the use of these architectural elements for the exterior alterations to the home, the proposal will reinforce and enhance the character of both the Piedmont Conservation District and design influences found throughout the Albina Community. *Therefore, these guidelines are met.*

**E1. The Pedestrian Network.** Create an efficient, pleasant, and safe network of sidewalks and paths for pedestrians that link destination points and nearby residential areas while visually and physically buffering pedestrians from vehicle areas.

**E3. The Sidewalk Level of Buildings.** Create a sense of enclosure and visual interest to buildings along sidewalks and pedestrian areas by incorporating small scale building design features, creating effective gathering places, and differentiating street level facades.

**E5. Light, Wind, and Rain.** Enhance the comfort of pedestrians by locating and designing buildings and outdoor areas to control the adverse effects of sun, shadow, glare, reflection, wind, and rain.

**Findings for E1, E3 and E5:** The project includes an expansion of the street-facing front porch along the full street-facing length of the home, with new trimmed and boxed columns, and a low railing. The direct walkway connection between the main entry door, front porch and adjacent public sidewalk remains. The expanded covered porch provides for pleasant and

direct access into the home, as well as a protected place for visitors and all-season outdoor living. *Therefore, these guidelines are met.*

**D2. Main Entrances.** Make the main entrances to houses and buildings prominent, interesting, pedestrian accessible, and transit-oriented.

**D5. Crime Prevention.** Use site design and building orientation to reduce the likelihood of crime through the design and placement of windows, entries, active ground level uses, and outdoor areas.

**Findings for D2 and D5:** The main entrance remains in the original location, centered within the front façade facing N. Williams at the porch level, and providing direct access via a paved walkway and steps to the sidewalk. The generous ground-floor windows on either side of the door remain, and are complemented by new upper-story windows on the second floor, ensuring visual connections between the home and the street. The remodel project occurs largely within the footprint of the original home, retaining the historic pattern of open side and rear yards in the Piedmont Conservation District. *Therefore, these guidelines are met.*

**D6. Architectural Integrity.** Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

**D7. Blending into the Neighborhood.** Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

**D8. Interest, Quality, and Composition.** All parts of a building should be interesting to view, of long lasting quality, and designed to form a cohesive composition.

**Findings for D6 through D8:** The original structure is a straightforward gable-roofed structure with gabled dormers, a symmetrical front façade, and an open front porch with classical porch support columns. The new upper-story dormers and single-story rear addition incorporate beveled wood lap siding and window and door trim and header moldings matching the dimensions and types original to the house. Decorative wood eave brackets are provided at the new upper-story dormers, and wood windows and doors are proposed at all new openings. Brick coursing and materials for the chimney extension will match the existing chimney coursing and standard (scored-face red) brick. The full-width front porch, boxed wood porch columns, and upper-story dormer extending partially over the front porch are architectural patterns that integrate cohesively with the original 1920's design, and which are found on several nearby homes in the Piedmont Conservation District.

Overall, the remodel project carries forward the straightforward, symmetrical design of the original home, incorporates quality, compatible building materials, and consolidates typical architectural features found in the neighborhood into a cohesive composition. *Therefore, these guidelines are met.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The applicant has proposed a significant upper-story addition to the existing 1923 home, a single-story kitchen extension at the rear, and other minor exterior window and door changes. The proposal respects the architectural character and exterior details of the original house, maintains a direct and clear entry sequence between the building and the street, and respects neighborhood patterns of generous front setbacks and open side and rear yards. By providing compatible, high-quality exterior materials, and with proportions and massing of the new dormers in a way found elsewhere in Piedmont, the request is able to meet the applicable design guidelines and should be approved.

## ADMINISTRATIVE DECISION

**Approval of Historic Design Review** for exterior alterations to the house at 5765 N. Williams Avenue, in the Piedmont Conservation District, including the following specific elements:

- A single-story, shed-roofed addition at the rear of the home, including two new double-hung wood windows on the east elevation, a south-facing covered porch to the addition with wood railings and a single porch column, and double wood french doors with clear multi-light glazing;
- Three new double-hung wood windows on the north elevation at the first floor, towards the rear of the home adjacent to the shed-roofed addition;
- Expansion of the homes' second level, with two new shed-roofed dormers within a raised gabled roof form, including new wood double-hung, fixed, and casement windows at the second floor;
- Beveled wood lap siding on the altered portions of the house exterior, with a reveal of 4-5/16" matching the original siding;
- Reconstructed projecting 2'-0"-deep eaves and decorative wood eave brackets matching original brackets on the home;
- Wood window and door casings, trim, and header/crown molding at all new window and door openings matching original openings on the home;
- A tapered vertical extension of the existing chimney of approximately 4'-0" in height, with raked red brick and brick coursing patterns matching original conditions on the home; and
- A new full-width covered porch on the street-facing façade, with tapered, boxed wood columns, wood railings, and a wood bead board porch ceiling or soffit.

This approval is granted based on the approved plans and drawings, Exhibits C.1 through C.10, each exhibit being signed and dated September 9, 2008, and subject to the following condition:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.10. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 08-139480 HDZ. No field changes allowed."

**Decision rendered by:** \_\_\_\_\_ **on September 9, 2008.**

By authority of the Director of the Bureau of Development Services

**Decision mailed: September 15, 2008**

**Staff Planner: Mark Walhood**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on June 20, 2008, and was determined to be complete on July 23, 2008.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on June 20, 2008.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on September 29, 2008** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact

LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **September 30, 2008 – (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- *By Mail*: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope; *OR*
- *In Person*: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034  
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

**EXHIBITS**

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statements
  - 1. Original Narrative
  - 2. Supplemental Submittal - Photo Survey (existing house and nearby dormers/porches)
- B. Zoning Map (attached)
- C. Plans/Drawings:

1. Site Plan (attached)
  2. East Elevation (attached)
  3. South Elevation (attached)
  4. West Elevation (attached)
  5. North Elevation (attached)
  6. Large/Scalable Site Plan
  7. Large/Scalable Site Plan and Basement Plan
  8. Large/Scalable Main and Upper Floor Plans
  9. Large/Scalable Section Details
  10. Large/Scalable Elevations
  11. Large/Scalable Porch Column, Eave, and Typical Exterior Trim Details
- D. Notification information:
1. Mailing list
  2. Mailed notice
- E. Agency Responses:
1. Fire Bureau
  2. Development Review Division of Portland Transportation
  3. Urban Forestry Division of Portland Parks and Recreation
  4. Bureau of Environmental Services
  5. Site Development Review Section of the Bureau of Development Services
  6. Life Safety (Building Code) Section of the Bureau of Development Services
- F. Correspondence (*none received at time of building permit*):
- G. Other:
1. Original LU Application Form, Tax Account Information and Receipt
  2. Incomplete Letter from staff to applicant, sent 7/3/08

**The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).**



# ZONING



Site



Historic Landmark



NORTH

This site lies within the:  
**PIEDMONT CONSERVATION DISTRICT**

|             |                   |
|-------------|-------------------|
| File No.    | LU 08-139480 HDZ  |
| 1/4 Section | 2430              |
| Scale       | 1 inch = 200 feet |
| State_Id    | 1N1E15DC 12400    |
| Exhibit     | B (Jun 23, 2008)  |

north williams ave.

(E) STREET TREES

parking - TRIP

50.01

(E) planting

(E) planting

(E) LAWN

(E) CONC. WALK

(E) LAWN

existing planting

existing planter

(E) FENCE

CONNECT NEW DOWNSP. TO (E) SEWER

60.01

9'-3"

8'-9"

SINGLE FAMILY RESIDENCE

(E) CONC. PAD

EXISTING GARAGE

ALLEY

north

SITE PLAN

NOT A REDUCED COPY

\*Approved\*

City of Portland - Bureau of Development Services

Planner MARK WALHOOD Date SEPT. 9, 2008

\* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

Proposal and design as approved  
In case file #LU 08-139480 HDZ-  
No field changes allowed.

5706 N. WILLIAMS AVE  
PORTLAND OR 97217

FIDMONT  
LOT 7 BLOCK 15

EXISTING # = 2796  
ADDITIONAL # = 792  
TOTAL # = 3588

CASE NO. W 08-139480  
EXHIBIT C.1

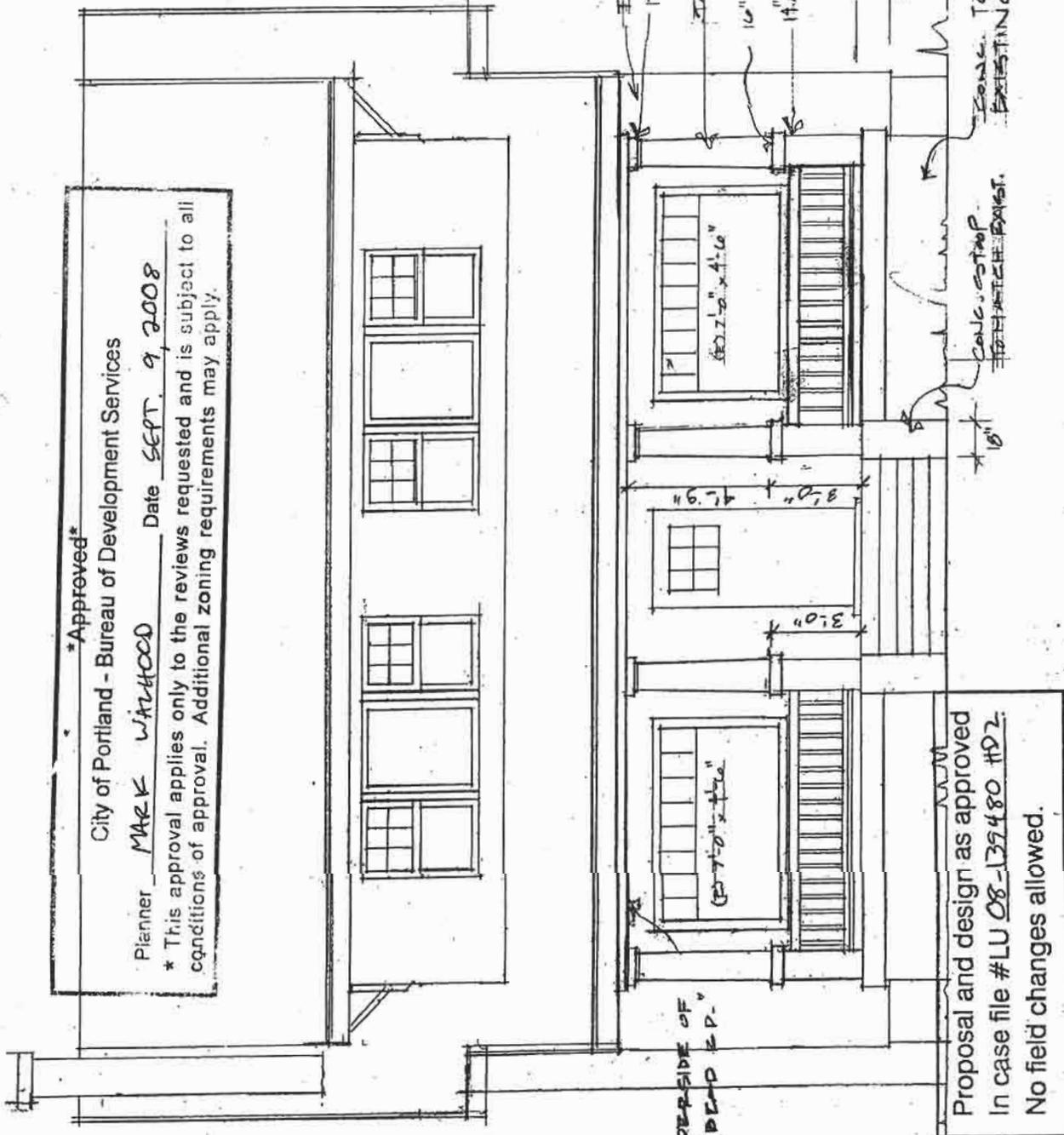
LU.08-139480 HDZ

\*Approved\*

City of Portland - Bureau of Development Services

Planner MARK WILHOOD Date SEPT. 9, 2008

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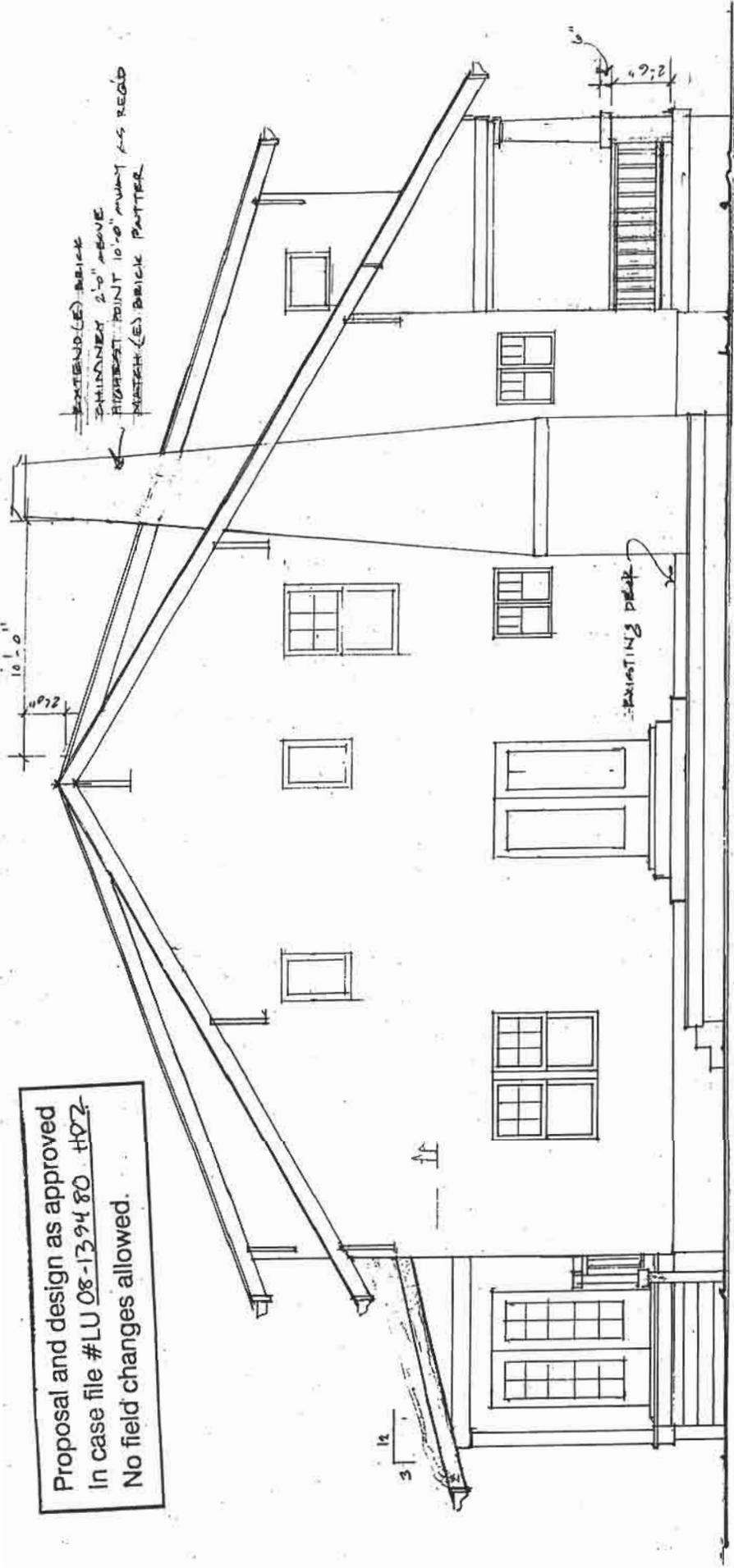
BRICKWORK OVERSIDE OF  
 PORCH ROOF W/ BRICK & P.  
 TABS

Proposal and design as approved  
 In case file # LU 08-139480 #D2.  
 No field changes allowed.

EAST ELEVATION 14' 8 1/2"

EXHIBIT C.2  
 W 08-139480 #D2

Proposal and design as approved  
 in case file #LU 08-139480 #02  
 No field changes allowed.



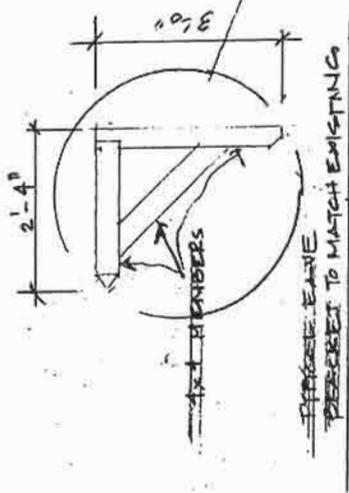
SOUTH ELEVATION 11/11/01

\*Approved\*  
 City of Portland - Bureau of Development Services  
 Planner MARK WATKINS Date SEPT. 9 2008  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

EXHIBIT C.3  
 LU 08-139480 #02

ATTENTION NOTED

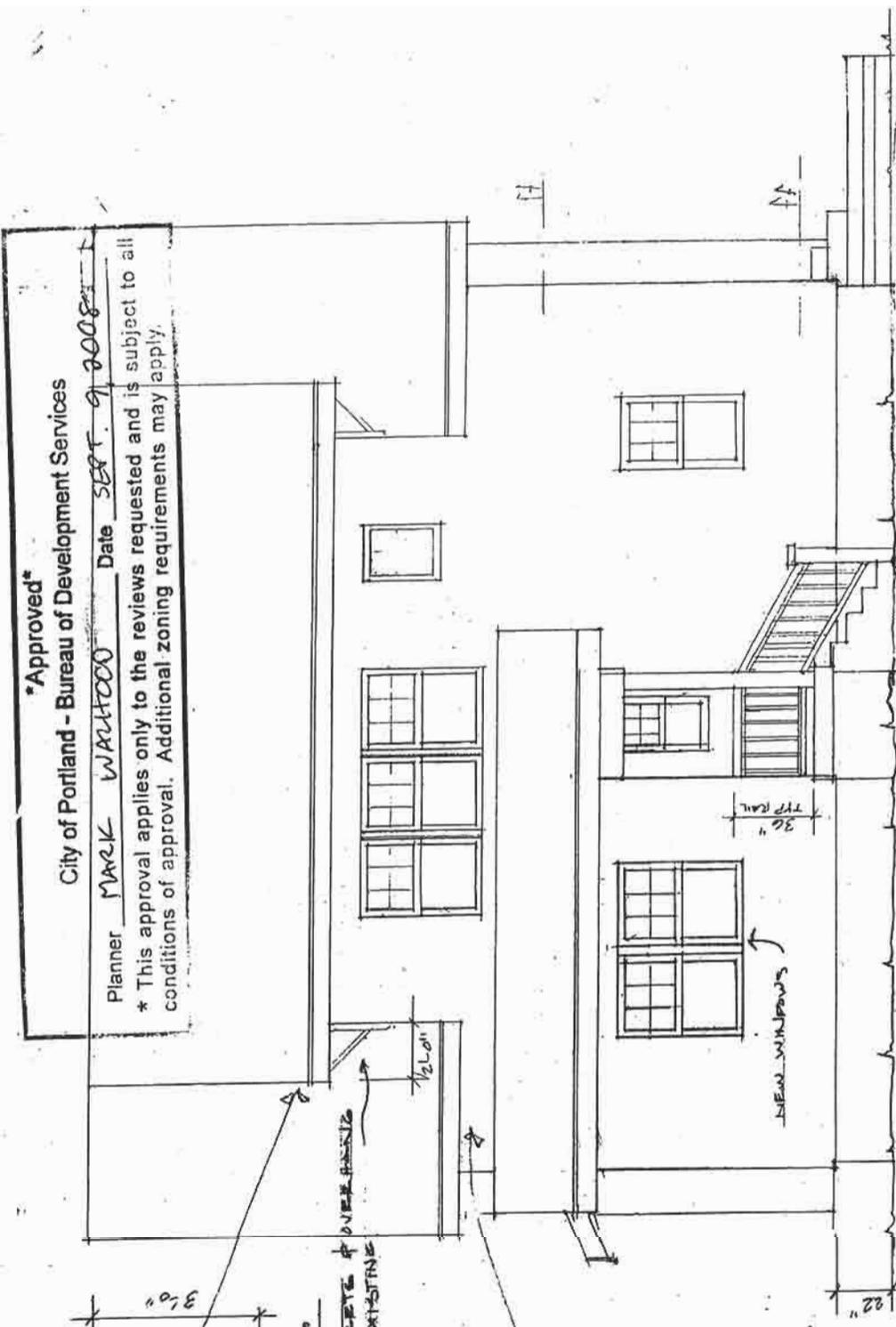
\*Approved\*  
 City of Portland - Bureau of Development Services  
 Planner MARK WATCOO Date SEPT 9 2008  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



BASE, BRACKETS & OVER HANGING  
~~TO MATCH EXISTING~~

CH. EXISTING

HORIZONTAL BLENDED  
 MATCHING TO MATCH  
 POSITIONING 4-5/16" REVEAL



~~EXISTING ELEVATION:~~ 1/4" = 1'-0"

Proposal and design as approved  
 in case file #LU 08-139480 #02  
 No field changes allowed.

EXHIBIT C.4  
 W 08-139480 #02

