



City of Portland
Bureau of Development Services
Land Use Services Division

1900 SW Fourth Ave. Suite 5000
Portland, Oregon 97201
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FAX: 503-823-5630
www.portlandonline.com/bds

Date: September 22, 2008
To: Interested Person
From: Abigail Fowle, Land Use Services
503-823-0624 / FowleA@ci.portland.or.us

**NOTICE OF A TYPE II DECISION ON A PROPOSAL IN
YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

**CASE FILE NUMBER: LU 08-144843 HDZ, EXTERIOR
ALTERATIONS & NEW GARAGE AT 2343 NW LOVEJOY ST**

GENERAL INFORMATION

Applicant: Dorothy B Miller, Owner
9885 SW Scott Ct
Tigard, OR 97223

Maria Bruce, Applicant/Contact 503-916-9295
2454 NW Overton St
Portland, OR 97210

Site Address: 2343 NW LOVEJOY ST

Legal Description: LOT 10 BLOCK 1, GOLDSMITHS ADD
Tax Account No.: R331300170
State ID No.: 1N1E33BC 13100
Quarter Section: 2927
Neighborhood: Northwest District, contact John Bradley at 503-227-7484.
Business District: Nob Hill, contact Peggy Anderson at 503-417-8960.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Plan District: None
Zoning: R1, Residential 1,000
Case Type: HDZ, Historic Design Review
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal:

The applicant seeks design review approval for exterior alterations to the historic George Strong House. The George Strong house is an example of the Craftsman Style and a primary contributing resource within the Historic Alphabet District. The proposed alterations include a new detached garage to replace the existing detached garage, the restoration of a second story porch, the expansion and restoration of the existing back porch, the expansion of the existing back dormer, and new railings at the front steps. The new garage will consist of a hip roof and

wood siding to closely match the house roof form and materials. Additionally, a brick outdoor fireplace is proposed on the west side of the garage. The second story porch alterations will involve the removal of existing non-original windows and restoration of shaped openings to match the original condition. The existing closed back porch will be expanded 6 feet along side the house and opened on all sides. An existing window at this porch will be replaced with new french doors and a new window. The existing back dormer will be expanded to the west, and the existing windows will be moved and centered in the expanded dormer wall.

Exterior alterations to a property within a historic district require Historic Design Review.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- 33.846 Historic Reviews
- Community Design Guidelines
- Historic Alphabet District Guidelines Addendum

ANALYSIS

Site and Vicinity: The 5,000 square foot site is located on NW Lovejoy Street between NW 23rd and NW 24th Avenues within the Historic Alphabet District. The George Strong House was built on the site in 1902 and exists today as a primary contributing member of the district. This residence is characteristic of the Craftsman style as a two and one-half story single family residence with a hip roof and dormers, deep eaves, and v-groove wood siding. The main entrance faces NW Lovejoy Street and is marked by a full frontal porch with classic wood posts, a decorative porch frieze, and lattice skirting. The typical window style is one-over-one, double-hung wood sash with traditional profiles. Other features include wide corner boards and a leaded glass window on the east façade. A single, corbeled chimney is located on the west side of the rear roof. This house contributes to the neighborhood as a strong example of the Craftsman style and is an important part of the residential development in Northwest Portland.

The site is located in the Northwest Pedestrian District and along a major transit street – NW Lovejoy.

Zoning: The **R1 zone** is a medium density multi-dwelling zone. It allows approximately 43 units per acre. Density may be as high as 65 units per acre if amenity bonus provisions are used. Allowed housing is characterized by one to four story buildings and a higher percentage of building coverage than in the R2 zone. The major type of new housing development will be multi-dwelling structures (condominiums and apartments), duplexes, townhouses, and rowhouses. Generally, R1 zoning will be applied near Neighborhood Collector and District Collector streets, and local streets adjacent to commercial areas and transit streets.

The **Historic Resource Protection Overlay Zone** protects certain historic resources in the region and preserves significant parts of the region’s heritage. The regulations implement Portland’s Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region’s citizens in their city and its heritage.

Land Use History: City records indicate there are no prior land use reviews for this site.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **August 18, 2008**. The following Bureaus have responded with no issues or concerns:

- Water Bureau
- Bureau of Transportation Engineering
- Fire Bureau
- Bureau of Parks-Forestry Division

- Bureau of Environmental Services, *see Exhibit E.1 for additional details.*

The Site Development Section of BDS responded with the following comments:

“*Site Development* has no objection to the requested land use review. However, *Site Development* has not received sufficient information to determine if the proposal will conform to requirements for sanitary and stormwater services. In order to meet these requirements, this may necessitate changes to the site plan, which could have a bearing on the pending land use review.

The following information is advisory and provided for the benefit of the applicant:

Sanitary sewer connection: The development plans show a new sewer line is proposed on the south side of the existing residence. It may be possible to amend the pending permit 08-140491 RS to include this work.

Stormwater management: Stormwater runoff from impervious areas (rooftops, driveways, and plazas) must be managed with onsite stormwater facilities. Those facilities must be integrated into the design of the project and meet the pollution reduction, flow control, infiltration, and discharge requirements of the *Stormwater Management Manual* (SWMM). The 2008 SWMM is available online at <http://www.portlandonline.com/bes/index.cfm?c=35122&>.

The development plans show two downspouts and a drainage trench are to provide stormwater management for the new garage. Additional information must be provided to show how the new development will comply with the requirements of the SWMM.

Utility Plan: A utility plan and a stormwater report will be required at the time of permit review for the proposed structure.

The Simplified design approach may be used for this project. The stormwater report must include the results of a Simplified Open Pit Infiltration Test.

Test procedure: Use the procedure and reporting Form 1 on Page 2 of the Simplified Approach Submittal Guide in Appendix D.3 of the 2008 SWMM.
Number of test holes required for this proposal: At least one.
Provide a preliminary utility plan showing:

- Test hole locations
- Existing* and proposed stormwater facilities
- Existing and proposed utilities
- Conceptual building footprints
- Buildings on adjacent property within 5 feet of the property line
- Required tree protection areas (if any)

*The location of existing subsurface stormwater facilities (if any) must be determined using metal tracer wire detection, storm sewer video scope, or equivalent method. Locate markers on site, and a copy of a locate report or video may be required.

Please contact James Hyatt (503-823-7979) with questions about these requirements. Please refer to the response from the *Bureau of Environmental Services* (BES) for additional requirements and information pertaining to stormwater.”
Please see Exhibit E.2 for additional details.

The Life Safety (Building Code) Section of the Bureau of Development Services responded with the following comments:

“Exterior walls less than three feet to a property line shall be one-hour fire-rated with no openings allowed. Roofs and eaves may project not closer than two feet to a property line. Eaves less than three feet to a property line must be protected on the underside as required for one-hour fire-rated construction. ORSC R302.1”

Please see Exhibit E.3 for additional details.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on August 18, 2008. One written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

- Thomas Gilles, an adjacent property owner, wrote on August 23, 2008 that the proposal fit with the historic character of the house.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846, Historic Reviews

Section 33.846.060.A, Purpose of Historic Design Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Section 33.846.060.E, Approval criteria outside the Central City plan district

Requests for historic design review will be approved if the review body finds that the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Alphabet Historic District. Therefore the proposal requires Historic Design Review approval. The relevant approval criteria are the Community Design Guidelines and the Historic Alphabet District: Community Design Guidelines Addendum [33.846.060.E.1.c].

Historic Alphabet District: Community Design Guidelines Addendum

These guidelines were adopted on September 5, 2000 and were developed to work with the Community Design Guidelines to provide a set of guidelines specific to the district.

Community Design Guidelines

These guidelines provide the constitutional framework for all design review areas outside the Central City that are not covered by their own specific area design guidelines. The Community Design Guidelines focus on three general categories: **(P) Portland Personality**, which establishes Portland's urban design framework; **(E) Pedestrian Emphasis**, which states that Portland is a city for people as well as cars and other transportation systems; and **(D) Project Design**, which assures that each development is sensitive to both Portland's urban design framework and the users of the city.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

Historic Alphabet District Approval Guidelines

- 1. Historic Changes.** Most properties change over time; those changes that have acquired historic significance will be preserved.

Findings for 1: Few changes have occurred to the exterior of this residence. Storm windows were added at a date uncertain and the 2nd story porch was enclosed with wood casement windows that are not original to the house and fail to match the typical double-hung style on the house. The 2nd floor porch alterations will remove the casement windows and restore this element to its original open condition, and therefore improving this existing architectural feature. *This guideline is therefore met.*

- 2. Differentiate New from Old.** New additions, exterior alterations, or related new construction will retain historic materials that characterize a property to the extent practicable. Replacement materials should be reasonable facsimiles of the historic materials they replace. The design of new construction will be compatible with the historic qualities of the district as identified in the Historic Context Statement.

- 3. Hierarchy of Compatibility.** Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a historic or conservation district, with the rest of the District. Where practical, compatibility will be pursued on all three levels. New development will seek to incorporate design themes characteristic of similar buildings in the Historic Alphabet District.

Findings for 2, 3 and Community Design Guideline P2: The proposed alterations include a new detached garage to replace the existing detached garage, the restoration of a second story porch, the expansion and restoration of the existing back porch, the expansion of the existing back dormer, and new wood railings at the front porch steps. Firstly, the new one car garage will have a slightly larger footprint than the original structure, but will better relate to the house by having a hip roof form rather than a flat roof. The eave overhang on the garage roof will be more simply detailed and not as deep as the house eaves, helping to distinguish new from old. The new garage structure will be clad in wood siding and composite roofing to match the house style and materials. Both the garage window and man door are reused elements from the existing garage and house. The new carriage style garage door will appear similar to the existing door, but consist of metal. The panel style and detailing of the metal door create the appearance of wood, but instead are made of a more durable and modern material, further differentiating new from old. Additionally, the new outdoor fireplace comprised of reused brick from the old service chimney establishes the modern idea of an outdoor room on the property.

Secondly, the restoration of the second story porch will remove the existing casement windows, which are not original to the house. This alteration will bring the house design back to its historic form. Thirdly, the expansion of the back porch will simply extend the existing flat roof structure to the east and open the walls to create an open-air porch feature. The traditional detailing and wood materials of the new portion of the porch will match the existing. The new french doors at this location will consist of fiberglass with traditional frame profiles and wood trim to matching existing. The undivided insulated glass system of the door maintains the simple door and window style of the house and yet provides a more up to date energy efficient system, differentiating the original systems from the new. Fourthly, the expanded back dormer will also match the traditional detailing, trim work and wood materials of the existing structure. The new dimension of this dormer centers it on the back roof plane, matching the front dormer location and thus improving the overall house design. The new wood railings on the front stairs will closely match in detailing and material the existing front porch railings and match the new back porch railings. The minor alterations of this residence compliment the original Craftsman style of the home and restore much of the original character. Thus, these carefully designed changes are respectful of the historic homes surrounding the property and within the district. *These guidelines are therefore met.*

Community Design Guidelines

P2. Historic and Conservation Districts. Enhance the identity of historic and conservation districts by incorporating site and building design features that reinforce the area's historic significance. Near historic and conservation districts, use such features to reinforce and complement the historic areas.

See Finding above.

D4. Parking Areas and Garages. Integrate parking in a manner that is attractive and complementary to the site and its surroundings. Locate parking in a manner that minimizes negative impacts on the community and its pedestrians. Design parking garage exteriors to visually respect and integrate with adjacent buildings and environment.

Findings: The new single car garage will remain in the same location as the existing garage with a slightly expanded footprint. Because the new garage is replacing an

existing structure and located at the rear of the property, it will have minimal impact on the surroundings. The new garage has been carefully designed to closely relate in style and materials to the existing home through the integration of a hip roof form, as well as the use of wood siding and trim and composite roofing material. The carriage style garage door maintains a historic quality as well as creates an attractive, human scaled element to front face of the garage. *This guideline is therefore met.*

D6. Architectural Integrity. Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

D7. Blending into the Neighborhood. Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

D8. Interest, Quality, and Composition. All parts of a building should be interesting to view, of long lasting quality, and designed to form a cohesive composition.

Findings for D6, D7 and D8: The proposed alterations compliment the historic character of the original house through the use of traditional window and door styles, wood trim and siding and traditional details to match existing. The new garage remains a small one car secondary structure on the site, as typically found in the district. The use of a hip roof on this new building relates to the similar roof form of the house. As mentioned in the historic guideline findings above, the expansion of both the back porch and dormer and the addition of new front step railings all consist of traditional detailing and wood materials that will match the existing conditions. The traditional materials, details and proportions of the alterations not only closely tie into the style of the original house, but are also similar to those of other wood constructed historic residences in the neighborhood. The careful placement and attention to detail of these alterations enhances an already high quality, well composed residential building. The new garage has been carefully designed to closely relate to existing home in style, detailing and materials and thus further creates a property that is interesting to view and of long lasting quality. *These guidelines are therefore met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The purpose of the historic design review process is to ensure that exterior alterations to existing buildings and properties protect the integrity of the special characteristics of the historic resources. The proposed exterior alterations to the historic George Strong House and new detached garage respect the Craftsman style of the original structure and blend into the character of the Alphabet Historic District. The design proposed meets the applicable guidelines, and therefore warrants an approval.

ADMINISTRATIVE DECISION

Approval of a new garage, the restoration of a second story porch, the expansion and restoration of the existing back porch, the expansion of the existing back dormer, and new railings at the front steps per the approved plans, Exhibits C.1 through C.9, signed and dated September 18, 2008, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use

review as indicated in Exhibits C.1-C.9. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 08-144843 HDZ. No field changes allowed."

Decision rendered by:  **on September 18, 2008.**

By authority of the Director of the Bureau of Development Services

Decision mailed: September 22, 2008

Staff Planner: Abigail Fowle

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on July 10, 2008, and was determined to be complete on August 14, 2008.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on July 10, 2008.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on October 6, 2008** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Low-income individuals appealing a decision for

their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **October 7, 2008 – (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a

new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

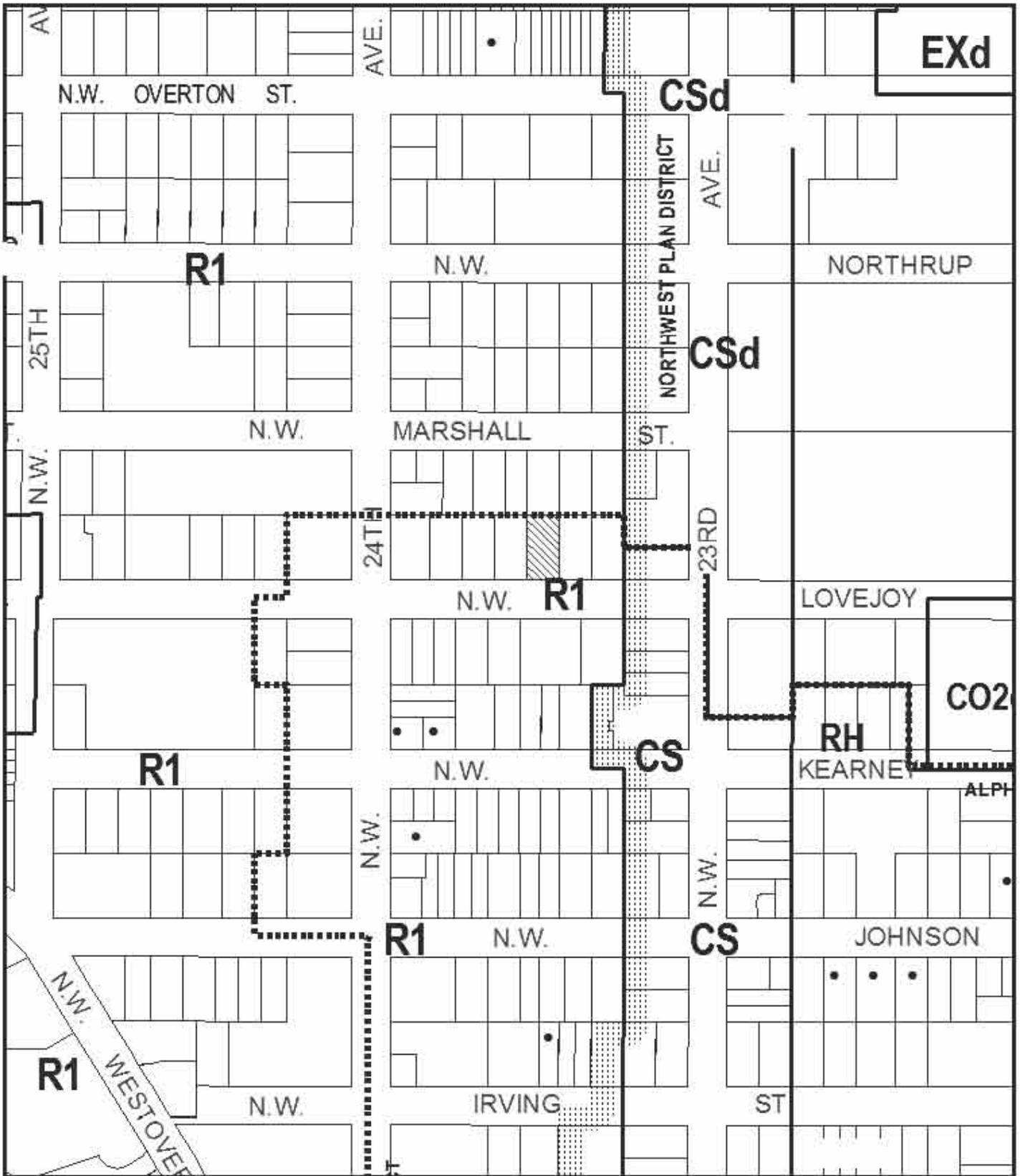
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Garage Floor & Roof Plan
 - 3. Garage Elevations (attached)
 - 4. Garage Details
 - 5. House Elevations (attached)
 - 6. Enlarged Elevations & Details (attached)
 - 7. Enlarged Elevations
 - 8. Garage Door Cutsheet
 - 9. French Door Cutsheet
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Environmental Services
 - 2. Site Development Review Section of BDS
 - 3. Life Safety Section of BDS
- F. Correspondence:
 - 1. Thomas Gilles, 8/23/08, supports proposal.
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research
 - 3. Incomplete Letter
 - 4. National Registry of Historic Places Listing

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).



ZONING

 Site

 Historic Landmark



File No.	<u>LU 08-144843 HDZ</u>
1/4 Section	<u>2927</u>
Scale	<u>1 inch = 200 feet</u>
State Id	<u>1N1E33BC 13100</u>
Exhibit	<u>B (Jul 14, 2008)</u>

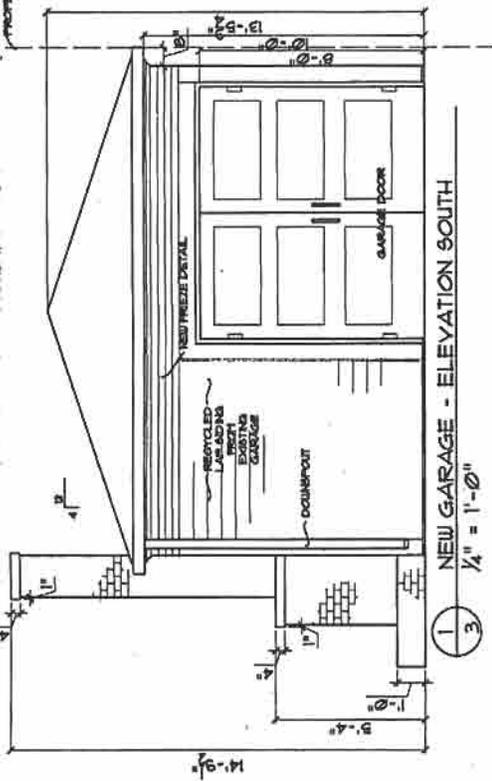
Approved

City of Portland - Bureau of Development Services

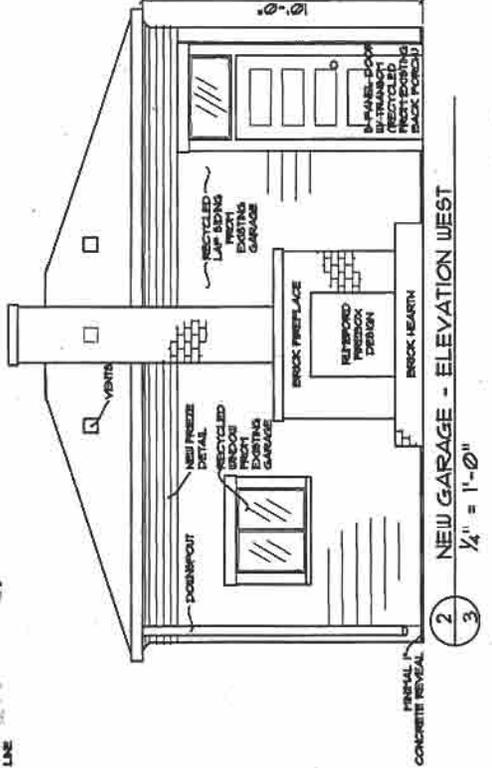
Planner *Agat T.R.* Date *9/18/08*

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

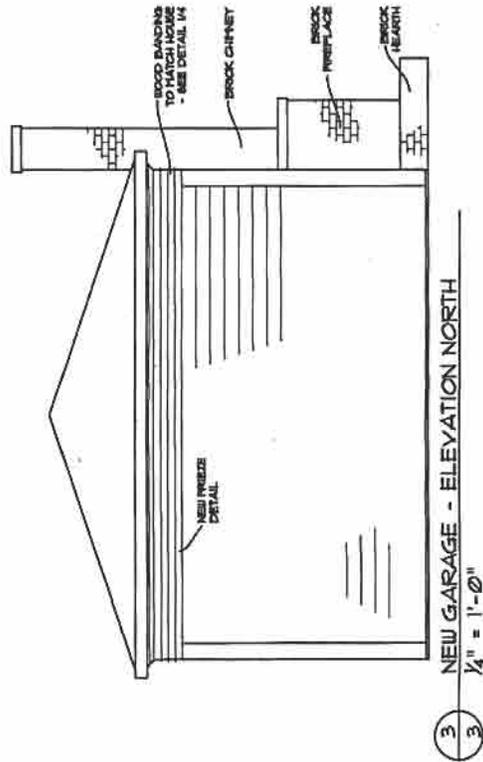
PROPERTY LINE



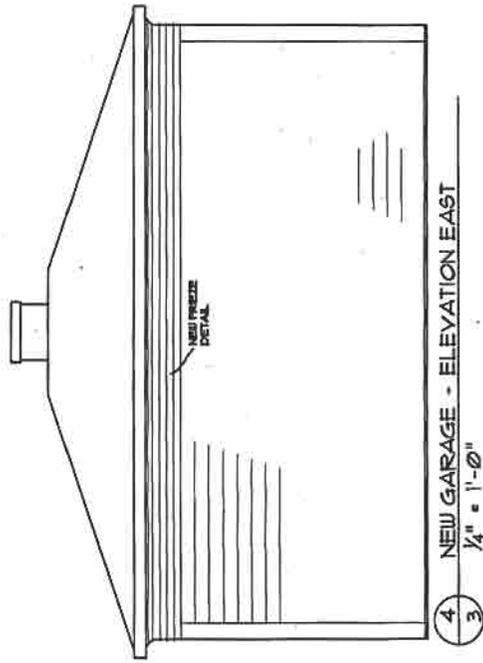
1 NEW GARAGE - ELEVATION SOUTH
3 1/4" = 1'-0"



2 NEW GARAGE - ELEVATION WEST
3 1/4" = 1'-0"



3 NEW GARAGE - ELEVATION NORTH
3 1/4" = 1'-0"



4 NEW GARAGE - ELEVATION EAST
3 1/4" = 1'-0"

Nancy Richmond, ILDA
Interior Design
1314 NW Irving St., #208
Portland, Oregon 97209
503-221-1721
Fax 503-294-0140



DESIGN REVIEW
MARIA & JAMES BUCH
RESIDENCE REMODEL
2343 NW Lovejoy
Portland, Oregon

DATE:
August 7, 2008

REV:
September 15, 2008

SHEET:
3

Lu 08-144843HDC
EPH.C.3

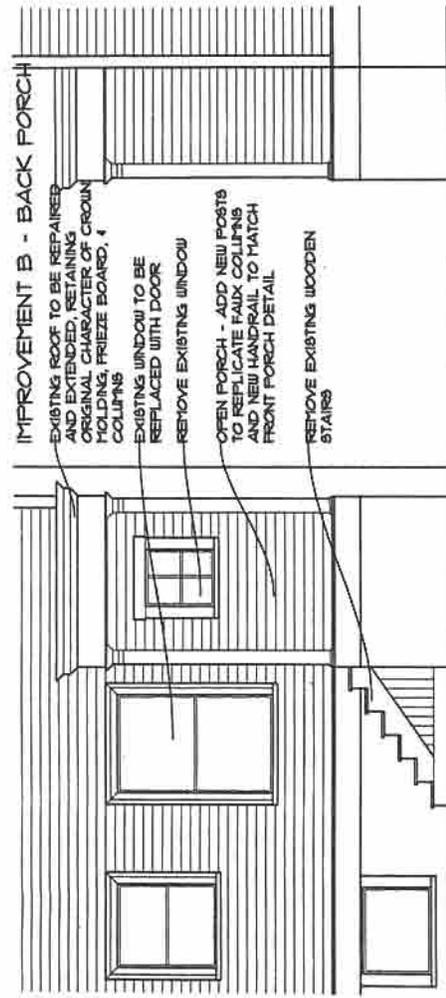
Approved

City of Portland - Bureau of Development Services

Planner: *Cheryl T. F.*

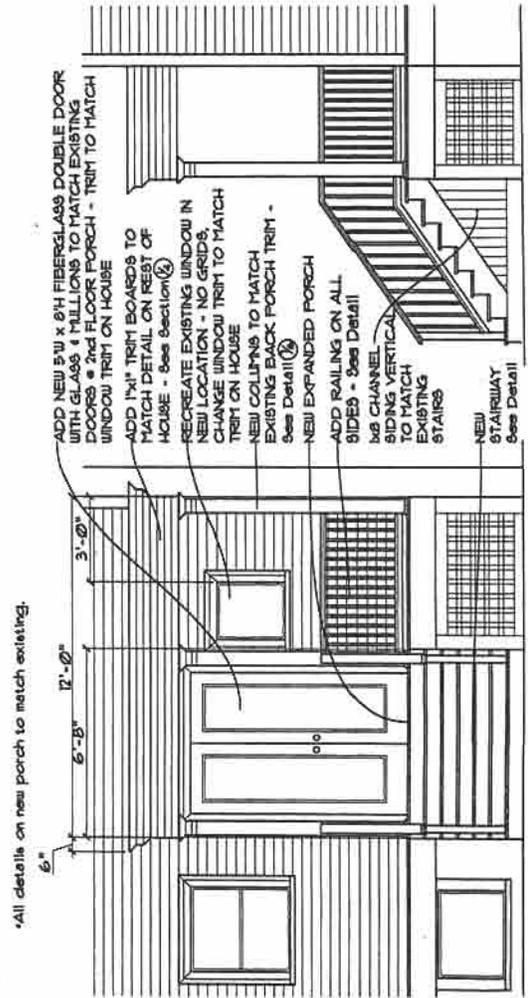
Date: *9/18/08*

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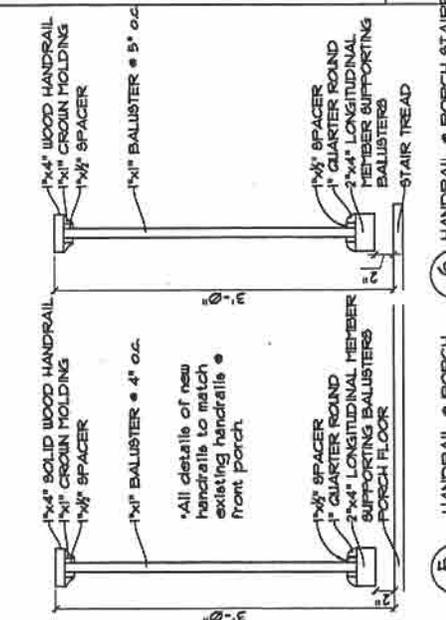
1 BACK PORCH ELEVATION NORTH - EXISTING 1/4" = 1'-0"

2 BACK PORCH WEST - EXISTING 1/4" = 1'-0"



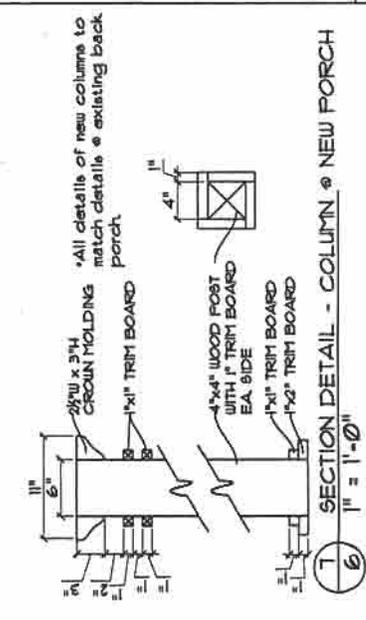
3 BACK PORCH ELEVATION NORTH - NEW WORK 1/4" = 1'-0"

4 BACK PORCH WEST - NEW WORK 1/4" = 1'-0"

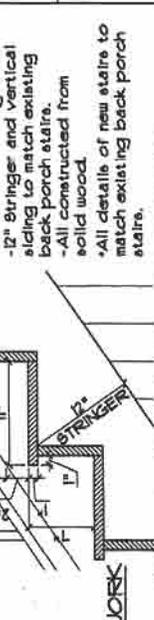


5 HANDRAIL @ PORCH 1/4" = 1'-0"

6 HANDRAIL @ PORCH STAIRS 1/4" = 1'-0"



7 SECTION DETAIL - COLUMN @ NEW PORCH 1/4" = 1'-0"



8 SECTION DETAIL - PORCH STAIRS 1/4" = 1'-0"

Stair Details:
-1" Rise, 1" Run
-1" Tread overhang
-12" Stringer and vertical siding to match existing back porch stairs.
-All constructed from solid wood.

All details of new stairs to match existing back porch stairs.

Nancy Richmond, LLDA
Interior Design
1314 NW Irving St, #209
Portland, Oregon 97209
503-221-1721
Fax: 503-294-0140

DESIGN REVIEW
MADA & JAMES BRUCE
RESIDENCE REMODEL
2343 NW Lovejoy
Portland, Oregon

DATE: August 7, 2008

REV:

SHEET: 6

14 08-144842 H77 ERM-C6