



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

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Date: February 8, 2013
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NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in the version located on the BDS website: <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the district coalition and then scroll to the relevant neighborhood and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 12-203941 DZ

Main Entrance Improvements at Lloyd Center Mall

GENERAL INFORMATION

Applicant: Dennis Henderson, Glimcher Lloyd Venture LLP (503-528-8515)
2201 Lloyd Center | Portland, OR 97232

Representative: Melissa Bagg, Waterleaf Architecture (503-228-7571)
419 SW 11th Ave #200 | Portland, OR 97205

Owner: LC Portland LLC
180 East Broad St | Columbus, OH 43215

Site Address: 2201 Lloyd Center

Legal Description: BLOCK 152&153&160&161 TL 500, HOLLADAYS ADD; BLOCK 160&161&172&173 TL 7200, HOLLADAYS ADD; BLOCK 172&173 TL 7100, HOLLADAYS ADD; BLOCK 174 INC PT VAC STS LOT 1&2 LOT 7 EXC PT IN ST, HOLLADAYS ADD; BLOCK 174 INC PT VAC ST LOT 3 INC PT VAC ST LOT 4 EXC PT IN ST LOT 5 EXC PT IN STS; LOT 6 EXC PT IN ST, HOLLADAYS ADD; BLOCK 174 INC PT VAC ST LOT 8 EXC PT IN ST, HOLLADAYS ADD; BLOCK 175 TL 6500, HOLLADAYS ADD; BLOCK 176 LOT 1-6 TL 6400, HOLLADAYS ADD; BLOCK 201-204 TL 13100, HOLLADAYS ADD; BLOCK 223&224 TL 12700, HOLLADAYS ADD; BLOCK 225&226 TL 12800, HOLLADAYS ADD; LOT 1, PARTITION PLAT 1999-146

Tax Account No.: R396210170, R396211500, R396211610, R396211690, R396211710, R396211760, R396211770, R396211880, R396213980, R396215790, R396215960, R649795810

State ID No.: 1N1E35BA 00500, 1N1E35AB 07200, 1N1E35AB 07100, 1N1E35AB 06900, 1N1E35AB 07000, 1N1E35AB 06800, 1N1E35AB 06500, 1N1E35AB 06400, 1N1E26CD 13100, 1N1E26CD 12700, 1N1E26CD 12800, 1N1E35BA 00101

Quarter Section: 2831, 2832, 2931, 2932

Neighborhood: Lloyd District Community Association, Michael Jones at 503-265-1568

Business District: Lloyd District Community Assoc. Gary Warren at 503-905-3318
NE Broadway BA, Murray Koodish at info@nebroadway.com

Plan District: Central City Plan District; Lloyd Subdistrict

Zoning: Central Commercial base zone (CX); design (d) overlay zone

Case Type: Design Review (DZ)

Procedure: Type II (an administrative decision with appeal to the Design Commission)

Proposal: The applicant requests Design Review approval for exterior improvements to the existing main entry bay located on the north façade of Lloyd Center, an indoor shopping mall. This proposal is the second of a larger multi-phase project to renovate the north façade of the mall. The proposal includes the following:

- The existing decorative pilaster at the east edge of the existing entry bay will be removed. (The decorative pilaster at the west edge of the entry bay was approved recently for removal through LU 12-173249 DZ.) Removing the decorative pilaster will reveal an original terrazzo column, which will be reconditioned.
- Existing stucco and tile cladding located at both sides of the existing entrance will be removed and replaced with new ceramic wall panels.
- The existing entry doors, windows, and adjacent tile cladding will be removed and replaced with a new system of automatic sliding aluminum doors with transom windows above. The soffit of this recessed entry area will be clad in metal panels.
- A new canopy comprised of steel and etched or fritted glass will be installed at the entry bay. A small linear light-emitting diode (LED) fixture will be located on the backside of the canopy.
- Existing cladding located above the mall entrance will be removed to accommodate a new decorative façade element consisting of large glass panels facing north, projecting about 2'-3½" from the building wall, and enclosed on the sides with metal panels. The glass panels will be fritted or etched with a rose graphic.
- Two die-cast aluminum light poles will be installed on the existing sidewalk adjacent to the entry bay. The poles and the light fixtures will be cylindrical, with the lights oriented vertically.
- Two rectangular concrete planter boxes will be placed on the existing sidewalk, adjacent to the entry bay.

Because the proposal is for non-exempt exterior alterations to an existing building on a site with design overlay zoning in the Central City Plan District, Design Review is required prior to the issuance of building permits.

Note: Signage lettering will be etched or fritted on the glass panels. The signage lettering is about 27'-6" long x 3'-5" tall. This signage is exempt from Design Review per 32.12.020.C in the City of Portland Sign Code.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33 (Portland Zoning Code). The relevant criteria are the *Central City Fundamental Design Guidelines* and the *Special Design Guidelines for the Design Zone of the Lloyd District of the Central City Plan*.

ANALYSIS

- I. Site and Vicinity:** The subject site is Lloyd Center, a shopping mall that opened in 1960. It is located on a super-block bounded by NE Multnomah Street, NE 9th Avenue, NE Halsey Street, and NE 15th Avenue in the Lloyd District neighborhood. When Lloyd Center first opened, it was one of the largest shopping malls in the United States. The mall was originally an open-air shopping environment. In the 1990s, it was renovated and fully enclosed. The mall contains over 100 retail tenants and is anchored by three major department stores. Structured parking and surface parking lots directly abut the mall on a portion of all four street frontages.

The immediately surrounding vicinity primarily contains retail, offices, and surface parking lots. The western edge of Lloyd Center abuts a portion of the neighborhood dominated by office towers. A skybridge connects Lloyd Center mall to Lloyd Center Tower, an office building located across NE 9th Avenue. Across NE Multnomah Street to the south, there is a multi-screen movie theater and associated surface parking lot. Holladay Park, the neighborhood's largest public space, is also located across NE Multnomah. North of the mall,

there is a super-block bounded by NE Halsey Street, NE 10th Avenue, NE Weidler Street, and NE 15th Avenue. There is a north-south pedestrian path located near the mid-point of the super-block, where NE 12th Avenue would be located. The pedestrian path provides access between Lloyd Center Mall and the Broadway/Weidler commercial corridor. The path underwent major renovations in the early 2000s, when a distinct paving design, new street furniture, and public art pieces were installed.

The subject site is served well by public transportation. Stops for several TriMet bus routes are located on streets surrounding the site, and there is a station for the Metropolitan Area Express (MAX) light-rail train (Red, Blue, and Green Lines) located nearby at NE Holladay Street and NE 11th Avenue. The newly opened Central Loop line of the Portland Streetcar has two stops nearby: on NE 7th Avenue near Multnomah, and on NE 7th near Halsey.

The portion of the subject site where the proposed work will occur is located on the NE Halsey Street frontage, near the intersection of NE 14th Avenue. According to the City of Portland's Transportation System Plan (TSP), both streets are classified as local service bikeways, and the site is located within the Lloyd Pedestrian District.

II. Zoning:

The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together.

The Design (d) overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design overlay zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, Design Review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

III. Land Use History: City records indicate the following land use reviews at the site since 1991:

- LUR 91-00633 DZ (reference file # LU 91-008888 DZ): Design Review approval, with one condition, for vestibule alterations at a restaurant.
- LUR 91-727 DZ (reference file # LUR 91-008982 DZ): Design Review approval for an entry canopy.
- LUR 94-00508 DZ (reference file # LUR 94-011410 DZ): Design Review approval for a microwave antenna.
- LUR 94-00707 DZ (reference file # LUR 94-011609 DZ): Design Review approval for a new sign, decorative tile medallions above existing storefront windows, and a new merchandise pick-up area for customers.
- LUR 01-00084 DZ (reference file # LUR 01-007483 DZ): Design review approval for exterior alterations at north façade of mall, where it directly abuts public sidewalk on NE Halsey Street.
- LU 06-172317 DZM: Design Review approval for two new signs for Nordstrom department store. Approval of one Modification to allow each sign to exceed the 100-square-foot limit of the Sign Code (Title 32).
- LU 12-173249 DZ: Design Review approval for exterior alterations on the north façade, as follows: removal of existing decorative pilaster at west edge of mall entrance; new aluminum storefront system with stone veneer base; large aluminum storefront window at upper portion of façade; steel canopies with insets comprised of awning fabric; LED fixtures located at backside of canopies; three stainless steel decorative cornice elements; six rectangular planter boxes composed of steel or concrete; four aluminum lightpoles; double exit doors made of metal.

IV. Agency Review: A *Notice of Proposal in Your Neighborhood* was mailed on November 27, 2012. The Life Safety/Building Code Section of the Bureau of Development Services responded with comments and with no objections to the proposal (Exhibit E-1).

V. Neighborhood Review: A *Notice of Proposal in Your Neighborhood* was mailed on November 27, 2012. No written comments in response to the proposal have been received from the neighborhood association (Lloyd District Community Association) or notified property owners.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design district guidelines.

Findings: The site is designated with design overlay zoning (d). Therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental and Lloyd District Special Design Guidelines.

Special Design Guidelines for the Design Zone of the Lloyd District of the Central City Plan and Central City Fundamental Design Guidelines

The Lloyd District is a unique, multi-dimensional neighborhood in the Central City, with special features and assets found nowhere else in Oregon.

With the recent completion of the Oregon Convention Center, the District now serves as the "front door for Oregon and our city." The District as a whole is emerging as a special area in the state and the region, and the way it is developed will determine its comfort and continued use.

The purpose of design review is to carry out the urban design vision for the District by emphasizing unique district assets in a manner that is respectful, creative, supportive, and compatible with all its areas. Although the District is a complex urban environment, it can become a cohesive whole with the use of these design principles.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Lloyd District Design Goals

The following goals and objectives define the urban design vision for new development and other improvements in the Lloyd District:

- Encourage the special distinction and identity of the Lloyd District;
- Integrate the sub-areas of the District for a visual and functional coherence of the whole; and

- Improve the safety, convenience, pleasure, and comfort of pedestrians.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project. Central City and Lloyd District Guidelines are addressed concurrently.

A2. Emphasize Portland Themes.

When provided, integrate Portland-related themes with the development's overall design concept.

Findings for A2: In the *Central City Fundamental Design Guidelines* document, the background statement for this design guideline states that "proposals that integrate roses as part of the overall design help to reinforce the rose as Portland's most recognizable theme." The proposed decorative glass panels will be etched or fritted with a large rose graphic. *Therefore this guideline is met.*

A4. Use Unifying Elements.

Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

C4. Complement the Context of Existing Buildings.

Complement the context of existing buildings by using and adding to the local design vocabulary.

Findings for A4, C4: Lloyd Center mall is part of a larger retail area in the Lloyd District neighborhood. This retail area extends to and blends with the Broadway/Weidler commercial corridor that runs east-west through the neighborhood. The proposed alterations integrate design elements of nearby buildings in this larger retail area. Existing ground-floor retail spaces located on NE Halsey Street and Weidler Street feature metal storefront systems with ample glazing, masonry accents, and metal canopies. The proposal continues this pedestrian-oriented, humanly scaled design vocabulary. In addition, the proposal includes the installation of large glass panels at the upper portion of the façade, which will replace a solid, blank wall. Nearby storefronts feature similar decorative elements which serve to highlight main entrances and strengthen visitors' sense of arrival. Lastly, the proposal includes planters to highlight the existing sidewalk as a pedestrian path. Using landscaping to highlight walkways is evident in other parts of this retail area, such as the existing path through the subject parking lot, which features evenly spaced planters and trellises, and the existing pedestrian-only NE 12th Avenue path between Weidler Street and Halsey Street, which features evenly spaced concrete planters. Thus the proposal complements the context of existing buildings in the area and continues the local design vocabulary. *Therefore these guidelines are met.*

A5. Enhance, Embellish, and Identify Areas.

Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

A5-1. Develop Identifying Features.

Encourage the inclusion of features in the design of projects that give projects identity and a sense of place or significance within the District.

Findings for A5, A5-1: Lloyd Center mall is part of a larger retail area in the Lloyd District neighborhood. This retail area extends to the Broadway/Weidler commercial corridor that runs east-west through the neighborhood. An increasingly cohesive identity of pedestrian orientation and human scale is emerging in this area, due to recent urban design projects and storefront renovations.

- Recent projects in the area have utilized urban design elements such as planters and lighting to highlight pedestrian pathways and serve as a visual and physical buffer between pedestrians and automobile movement. The proposal continues this trend by including lightpoles and rectangular planters on the sidewalk, flanking the mall entrance.
- Recent projects in the area have used a particular palette of materials for pedestrian-oriented architectural features. The proposal uses this palette by including metal lightpoles with a clean-lined, Modern aesthetic, and a main entrance comprised of a steel canopy, masonry accents, and metal doors and windows with expansive clear glazing.
- On recently renovated storefronts in the area, distinct architectural elements are used to highlight main entrances. The proposal achieves this as well, through inclusion of a large decorative glass element that projects from the building wall.

By integrating these qualities and features, the proposal contributes to the area's sense of place in the larger Lloyd District. *Therefore these guidelines are met.*

A5-6. Incorporate Landscaping as an Integral Element of Design.

Incorporate landscaping as an integral element of design which is supportive of both the built and natural environment.

Findings for A5-6: There are planters with trellises located along the existing pedestrian path that is aligned with NE 14th Avenue and runs from NE Halsey Street to the north façade of the mall. Just as these planters highlight the location of the pedestrian path, the two proposed planters will work in concert with the four easterly adjacent planters recently approved through LU 12-173249 DZ, to highlight the location of the existing sidewalk that abuts and runs parallel to the mall façade. The planters are an innovative way to add landscaping to the existing parking lot, which is actually the upper level of structured parking that extends below grade, making conventional in-ground landscaping difficult. *Therefore this guideline is met.*

A5-8. Integrate the Lloyd Center Shopping Center into the Lloyd District.

- Through inviting pedestrian access and clear visual connections for both vehicles and people, integrate by linking the Lloyd Center with residential areas to the east and west, office areas along Multnomah Street, Holladay Park, and Holladay Street transit stops.
- Improve and extend the Center's pedestrian access to the north.
- Establish pedestrian access through the shopping center that connects with development in surrounding subdistricts.

Findings for A5-8: Currently, the north façade of Lloyd Center mall is fairly monolithic, with few features to break up the blank stucco façade. The alterations recently approved through LU 12-173249 DZ, which bring windows and canopies to the portion of façade directly west of the mall's main entrance, comprise the first step in reducing the mall's monolithic appearance. This current proposal is the second step in this endeavor. The proposal will replace a portion of blank wall with large fritted or etched glass panels bearing a decorative rose graphic. The new canopy, lightpoles, and planters will bring additional

diversity to pedestrians' experience of the facade. These design elements will highlight the mall entrance, making it more humanly scaled and inviting for people arriving on foot. *Therefore this guideline is met.*

A6. Reuse/Rehabilitate/Restore Buildings.

Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings for A6: Lloyd Center opened in 1960 as an open-air shopping mall. Like other open-air shopping malls built around the same time, it was characterized by pedestrian amenities such as decorative fountains, landscaping, covered walkways, and a variety of seating areas. After the mall was enclosed and renovated in the 1990s, the exterior environment of the mall became more auto-oriented, with few pedestrian amenities remaining. By incorporating a canopy, sidewalk lighting, planters, and a new entry with small-scale masonry accents and increased glazing, the proposal increases the site's pedestrian orientation, helping to restore this prominent characteristic of the original development. *Therefore this guideline is met.*

A8. Contribute to a Vibrant Streetscape.

Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

Findings for A8: The proposal will replace a portion of existing blank wall with large fritted or etched glass panels featuring a rose graphic. The proposal also includes replacement of the existing entry doors with a new automatic sliding entry door system that nearly doubles the amount of glazing. By indicating the existence of an active interior, the new entry system and decorative glass panels will create a visual connection across the parking lot to the public sidewalk on NE Halsey Street. *Therefore this guideline is met.*

B1. Reinforce and Enhance the Pedestrian System.

Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

B3. Bridge Pedestrian Obstacles.

Bridge across barriers and obstacles to pedestrian movement by connecting the pedestrian system with innovative, well-marked crossings and consistent sidewalk designs.

Findings for B1, B3: The proposal strengthens the pedestrian access system of the Lloyd Center site, which is located on a super-block. Part of this access system is an existing sidewalk that runs from the public sidewalk on NE Halsey Street, along the east façade of Ross department store, along the north façade of the mall, to the mall entrance. The new lightpoles, planters, glazed entry door system, and canopies will work in concert with the new lightpoles, planters, storefront system, and canopies recently approved just west of the mall entrance (through LU 12-173249 DZ) to make a portion of this access system more visually prominent. The lightpoles and planters will differentiate the sidewalk from the abutting parking lot, signaling the presence of a safe access system for pedestrians seeking to enter the mall without contending with automobile movement. *Therefore these guidelines are met.*

B2. Protect the Pedestrian.

Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

Findings for B2: The proposed lighting is part of a carefully considered lighting plan, which began with exterior alterations recently approved through LU 12-173249 DZ. The lighting plan is comprised of three sources. The previously approved Design Review included: 1. LED fixtures located at the backside of new canopies and oriented to the sidewalk below; 2. new lightpoles that visually delineate the sidewalk from the abutting parking lot and indicate a safe path of travel for pedestrians; and 3. increased glazing on the mall façade that allows light from the building interior to emanate to the exterior environment. This current Design Review is consistent with this three-part plan. The new canopy will have the same type of LED fixture; two new lightpoles flanking the mall entrance will be installed on the sidewalk; and the new entry system will vastly increase the amount of glazing. *Therefore these guidelines are met.*

B7. Integrate Barrier-Free Design.

Integrate access systems for all people with the building's overall design concept.

Findings for B7: In comparison to the existing conventional double-door entry, the new entry system will have automatic sliding doors. The automatic sliding doors will make the mall entrance more easily accessible for people with physical disabilities. *Therefore this guideline is met.*

B1-2. Incorporate Additional Lighting.

Incorporate project lighting in a manner that reinforces the pedestrian environment and which provides design continuity to an area by enhancing the drama and presence of architectural features.

C12. Integrate Exterior Lighting.

Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

Findings for B1-2, C12: The new lightpoles reinforce the pedestrian environment by highlighting the presence of the sidewalk that runs alongside the north façade of the mall. For pedestrians on NE Halsey Street, the lightpoles will indicate the presence of a parallel on-site pedestrian path that can be used to access the mall entrance and traverse the Lloyd Center site.

The new lightpoles also help to provide design continuity by using materials similar to the other new design features. The new lightpoles, entry system, canopies, entry soffit panels, and panels enclosing the new projecting glass element are all comprised of metal, specifically steel or aluminum.

The proposal also includes a small LED fixture on the canopy. The fixture will be tucked at the backside of the canopy where it cannot be seen. It will provide subtle pedestrian-oriented lighting for the sidewalk environment directly abutting the north façade.

Therefore these guidelines are met.

B4. Provide Stopping and Viewing Places.

Provide safe, comfortable places where people can stop, view, socialize and rest. Ensure that these places do not conflict with other sidewalk uses.

B6. Develop Weather Protection.

Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

B6-1. Provide Pedestrian Rain Protection.

Rain protection is encouraged at the ground level of all new and rehabilitated commercial buildings located adjacent to primary pedestrian routes. In required retail opportunity

areas, rain protection is strongly recommended.

Findings for B4, B6, B6-1: The new entry canopy will project about 6'-6" from the building wall. The canopy will protect pedestrians from adverse weather as they enter and exit the mall. The canopy will also make the existing sidewalk a comfortable area where pedestrians can view activity occurring inside the building. The new planters and lightpoles will also make the sidewalk a comfortable stopping and viewing place by acting as a buffer to separate pedestrians from automobile movement in the abutting parking lot. *Therefore these guidelines are met.*

C2. Promote Quality and Permanence in Development.

Use design principles and building materials that promote quality and permanence.

Findings for C2: The proposal employs materials that impart a sense of permanence, as follows:

- The new decorative entry element will be comprised of glass panels enclosed on the sides with metal panels with at least a 20-gauge thickness.
- The new entry system will be made of aluminum.
- The new panels flanking the entry system will be ceramic.
- The new canopy will be painted steel with an inset of etched or fritted glass panels.
- The planters will be made of concrete.
- Die-cast aluminum will be used for the pole portion of the lightpoles, and the lights themselves will be housed in white acrylic cylinders.
- The LED fixtures will have extruded aluminum housing, die-cast end caps, and stainless steel screws.
- The restored column at the ground floor will be precast terrazzo.

With regard to durability and design compatibility, all of these materials are consistent with the existing exterior of the building, as well as the original Modern architecture of Lloyd Center and the recently refurbished buildings of the surrounding retail area. *Therefore this guideline is met.*

C10-1. Use Masonry Materials.

Except for window glazing, use masonry types of materials as the predominant exterior material for building walls. Use modular stone or masonry materials on the building base or first floor of buildings whenever possible.

Findings for C10-1: The proposal includes the uncovering and restoration of an original precast terrazzo column. In addition, the entry system will be flanked by new ceramic wall panels. *Therefore this guideline is met.*

C10-2. Design Exterior Building Walls that are Transparent in Glazed areas and Sculptural in Surface.

Design exterior building walls that are transparent or translucent in the glazed areas and which are textural, sculptural and articulated in surface character.

Findings for C10-2: The new automatic sliding door system will be transparent to allow views into and out of the building's entry vestibule. Solid areas of the ground floor will be textural and articulated in surface character. Ceramic wall panels will flank the entry system, and an original precast terrazzo column will be uncovered and restored. *Therefore this guideline is met.*

C10-3. Use Light Colors.

The use of light color values is preferred for the predominant exterior building materials. Darker value materials should be used to accent or articulate the design.

Findings for C10-3: The new ceramic wall panels flanking the entrance and the new canopy will be white or slightly off-white. At the ground level, the existing decorative

pilaster flanking the entry to the east will be removed to reveal an original precast terrazzo column, which is darker in color. This column and the recently restored terrazzo columns west of the entry will articulate the façade by dividing it into evenly spaced bays and creating an easily perceptible sense of visual rhythm across the façade. *Therefore this guideline is met.*

C3. Respect Architectural Integrity.

Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C5. Design for Coherency.

Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for C3, C5: The proposal will render a unified appearance for the mall's main entrance. The restored terrazzo column directly east of the entrance and the recently restored terrazzo column to the west (approved through LU 12-173241 DZ) will work in conjunction with the new ceramic panels and the new canopy to frame the entrance at the ground-floor level. At the upper portion of the façade, the new glass panels will also frame the entrance and distinguish it as a distinct part of the north façade.

The proposed alterations employ a unified palette of primarily glass, metal, and masonry materials. The new decorative entry element and canopy will have glass panels; the sliding door system, canopy supports, lightpoles, LED fixture, soffit cladding, and sides of the glass-panel decorative element will be made of metal; and the cladding panels adjacent to the entrance, the restored column, and the planter box will be masonry. The proposal is consistent with the existing exterior of the building, as well as the original Modern architecture of Lloyd Center and the recently refurbished buildings of the surrounding retail area.

Therefore these guidelines are met.

C8. Differentiate the Sidewalk-Level of Buildings.

Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

Findings for C8: The proposal will add a sidewalk-level canopy and increased glazing at the entrance. The proposal also includes removal of an existing decorative pilaster, to reveal an original precast terrazzo column. The color and materiality of the column, in concert with the color and materiality of the other restored terrazzo columns on the north façade approved recently through LU 12-173249 DZ, will add definition to the sidewalk level of the building. In addition, the new decorative glass panels at the upper portion of the façade will visually divide the expansive façade into two distinct levels. *Therefore this guideline is met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposed alterations introduce humanly scaled design features that make the north façade of Lloyd Center mall more inviting and interesting for pedestrians. The new decorative element of projecting glass panels will highlight the main entrance and strengthen visitors' sense of arrival. The proposal will make a positive contribution to the emerging cohesive identity of the Lloyd Center retail area. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of the following exterior alterations at Lloyd Center Mall in the Lloyd Subdistrict of the Central City Plan District:

- Removal of the existing decorative pilaster at the east edge of the mall entrance, in order to restore an original terrazzo column;
- New system of automatic sliding doors with transom windows above;
- Metal panel cladding on the soffit of the recessed entry area;
- Entry canopy made of steel and etched or fritted glass;
- New decorative façade element consisting of etched or fritted glass panels, with a rose graphic; enclosed on the sides with metal panels;
- Two aluminum lightpoles; and
- Two rectangular concrete planter boxes.

Approval per the approved plans and drawings, Exhibits C-1 through C-8, signed and dated February 6, 2013, subject to the following condition:

- A. As part of the building permit application submittal, each of the four required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C-1 through C-8. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 12-203941 DZ. No field changes allowed."

Staff Planner: Kate Marcello

Decision rendered by:  on February 6, 2013

By authority of the Director of the Bureau of Development Services

Decision mailed: February 8, 2013

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on November 9, 2012, and was determined to be complete on **November 21, 2012.**

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on November 9, 2012.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless extended by the applicant, **the 120 days will expire on March 21, 2013.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on February 22, 2013** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **February 25, 2013**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

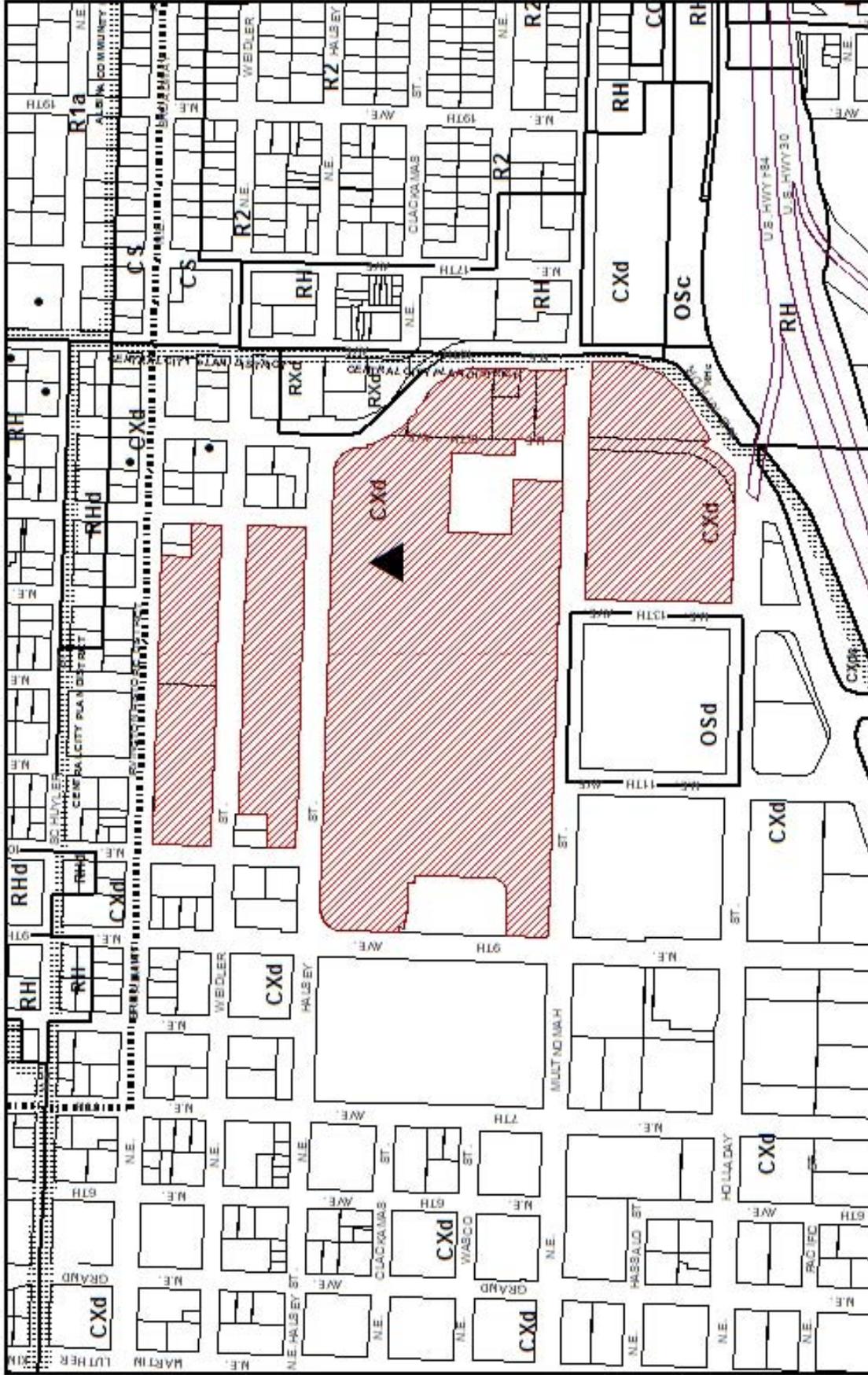
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement/Narrative
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Enlarged Site Plan
 - 3. North Elevation Drawing (attached)
 - 4. Section Drawing (attached)
 - 5. Three-Dimensional Rendering
 - 6. Enlarged Images of Lightpoles and LED Fixture
 - 7. Cutsheet for Lightpoles
 - 8. Cutsheet for LED Fixture
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Response:
 - 1. Life Safety/Building Code Section of BDS
- F. Correspondence: None received.
- G. Other
 - 1. Original Land Use Review Application
 - 2. Site Photographs

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING

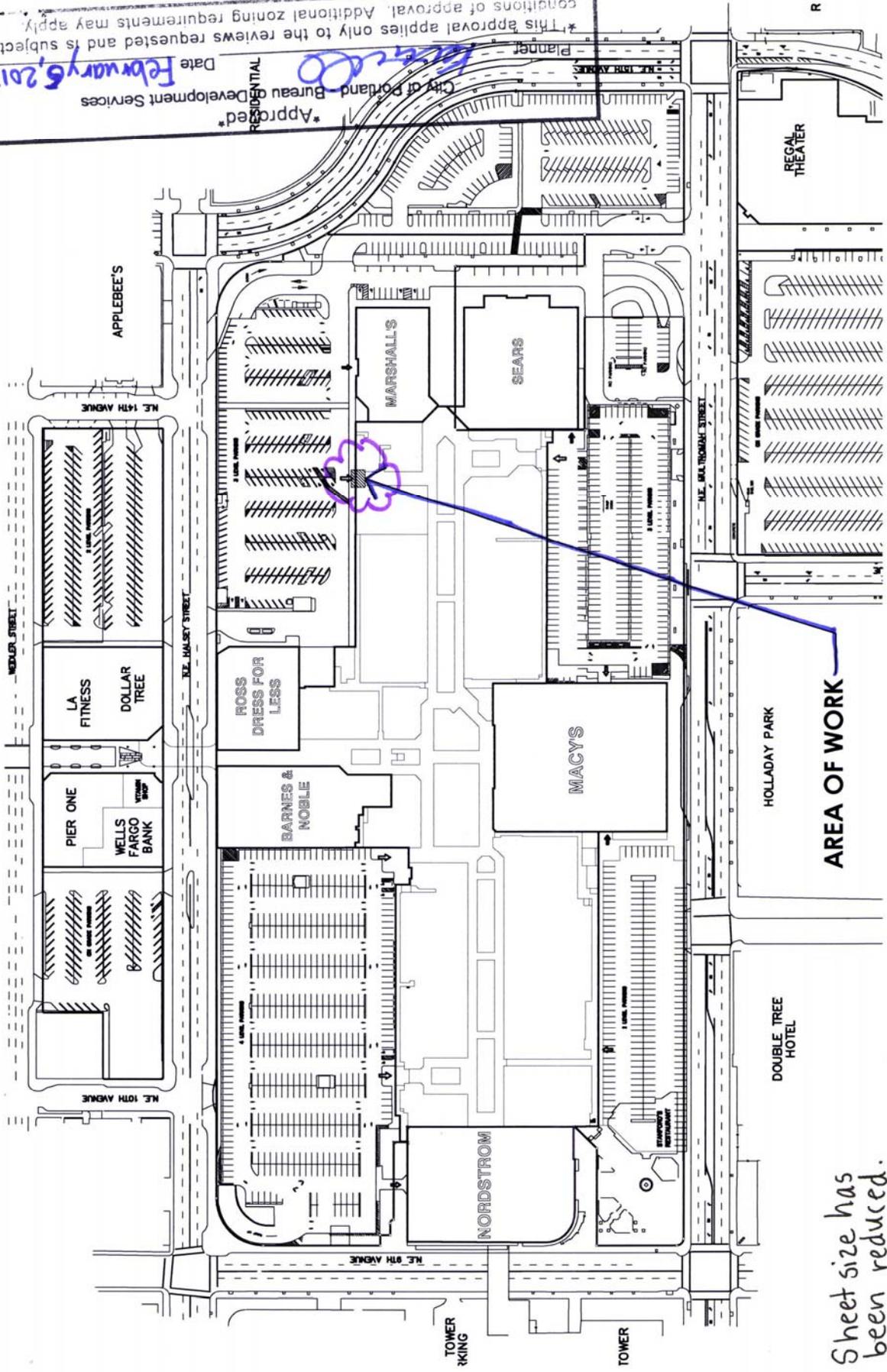
-  Site
-  Historic Land mark
-  Project Area

This site lies within the:
CENTRAL CITY PLAN DISTRICT



File No. LU 12-203941 DZ
 1/4 Section 2831, 2832, 2931, 2932
 Scale 1 inch = 400 feet
 State_Id 1N1E35BA 101
 Exhibit B (Nov 09, 2012)

*Approved
 City of Portland - Bureau of Development Services
 Date February 6, 2013
 Planner
 *This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



Sheet size has been reduced.

Lloyd Center Mall

site plan
 november 2012
 scale: 1" = 200'



waterleaf

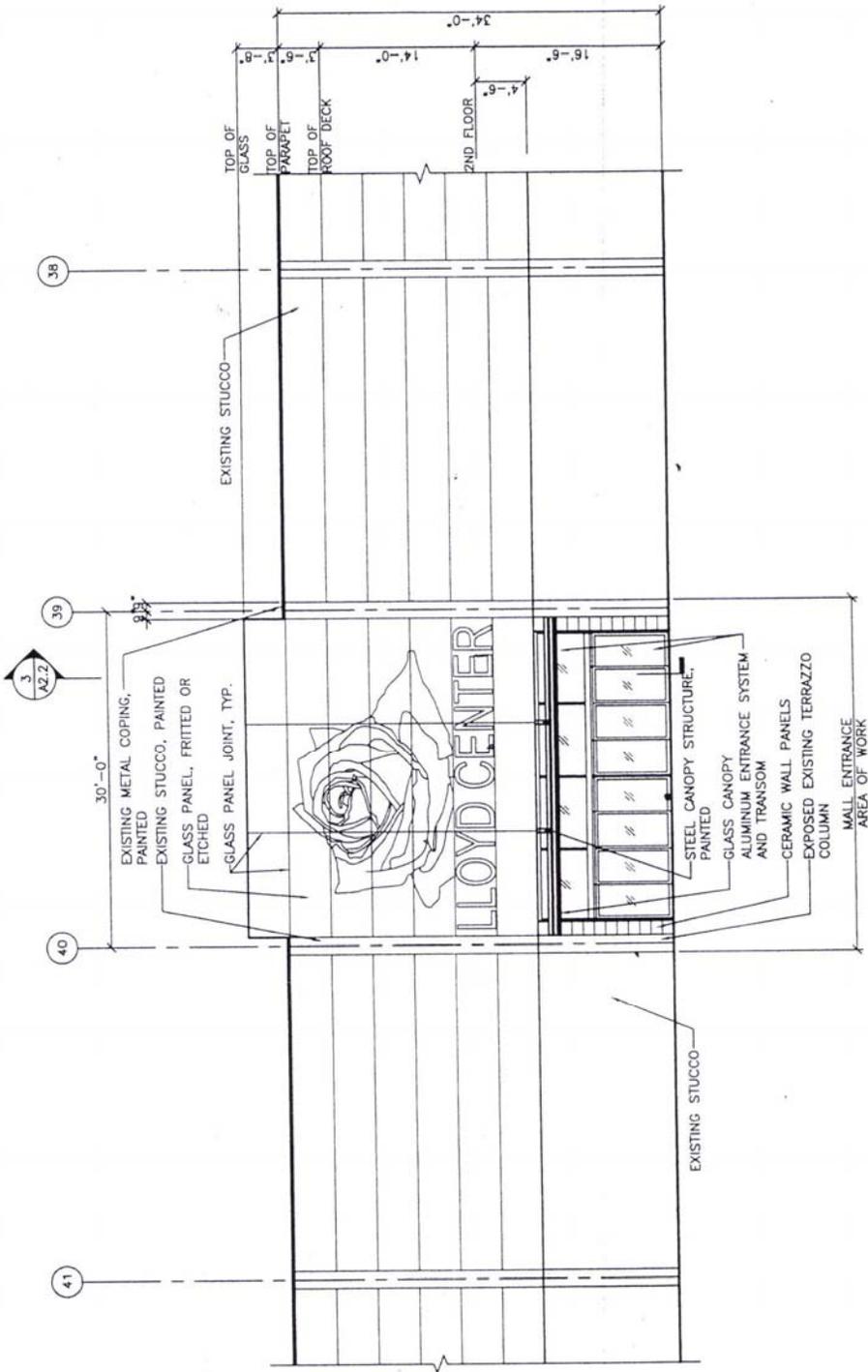


419 SW 11th Ave Suite 200
 Portland, Oregon 97205
 Phone: 503/228-7571
 Fax: 503/273-8891

Glimcher
 case number: LU 12-203941 DZ

Exhibit C-1

architecture, interiors & planning



PROPOSED NORTH ELEVATION - NE HALSEY STREET FACADE

LU 12-203941 DZ

Exhibit C-3

2
A2.2

Scale: 3/32" = 1'-0"
Reduced sheet size.



Approved

City of Portland - Bureau of Development Services

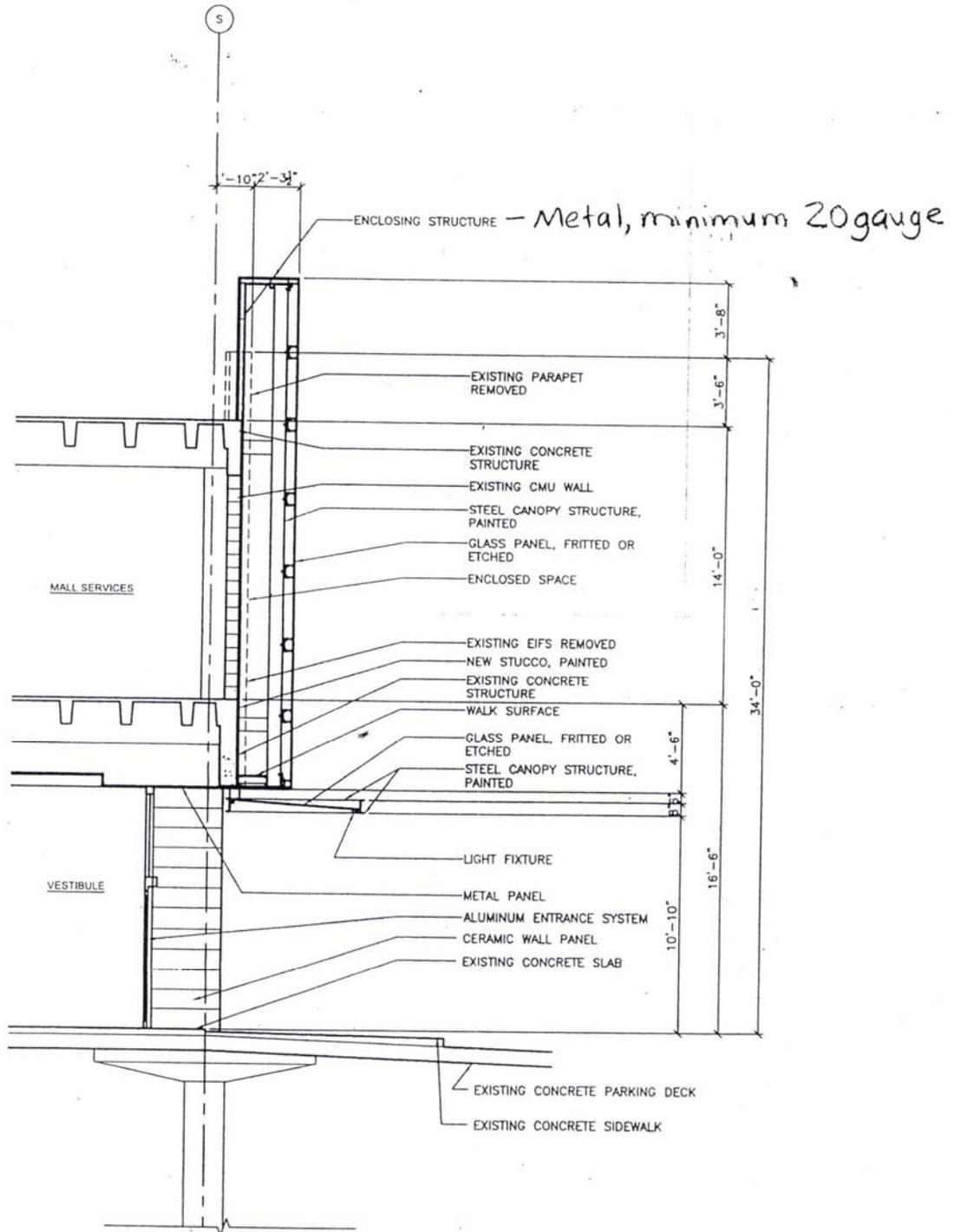
Planner *Kateell* Date *February 6, 2013*

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

Approved
City of Portland - Bureau of Development Services

Planner *Katrina* Date *February 6, 2013*

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



3 BUILDING SECTION
A2.2 Reduced sheet size.
Scale: 1/8" = 1'-0"

LU 12-203941 DZ
Exhibit C-4