



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**

FROM CONCEPT TO CONSTRUCTION

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Date: June 6, 2013

From: Sylvia Cate, Land Use Services  
503-823-7771 / [Sylvia.Cate@portlandoregon.gov](mailto:Sylvia.Cate@portlandoregon.gov)

## **REQUEST FOR RESPONSE**

**Case File: LU 13-150689 CU**  
**Pre App: PC # 12-148837**

This notice is being sent to all service and technical review agencies for their input on the proposal described below. Neighborhood Associations also receive this advance notice via e-mail. Your timely response, as indicated below, will help the assigned planner determine if applicable approval criteria can be met, or what conditions might be required.

- The approval criteria are listed below. Although we are interested in any comments you may have, please consider your response in terms of these criteria.
- All agencies are encouraged to use this as an opportunity to inform the applicant of any additional requirements that may be imposed by your agency during building permit phase – especially those that would significantly affect the proposal.
- Please note in your response which requirements are specifically associated with the applicable land use review approval criteria, and which requirements you have the independent authority to impose at time of building permits.
- Neighborhood Associations are encouraged to submit comments by the deadline noted below. To comment, you may write to Sylvia Cate at 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201. You can also fax your comments to me at (503) 823-5630. After the staff report is published, please submit your comments to the Hearings Officer at 1900 SW Fourth Ave., Suite 3100, Portland, OR 97201 and fax them to 503-823-4347.

The Bureau of Development Services recommendation will be published ten days before the scheduled hearing date. You will also receive a Notice of Public Hearing for this proposal, with hearing date and time confirmed, mailed twenty days prior to the hearing.

- **Please send your response to BDS no later than: July 8, 2013** – (If I receive comments after this date, I may not have enough time to include them in the staff report).
- **We must publish our report by: July 19, 2013**
- **A public hearing before the Hearings Officer is tentatively scheduled for July 29 or 31, 2013 . An email to assigned city staff will confirm the time certain once it is scheduled.**

**Applicant:** Alan Wood, Main Contact / West Hills Montessori  
4920 SW Vermont Street / Portland OR 97219

**Applicant/Owner:** West Hills Schools Inc  
4920 SW Vermont St / Portland, OR 97219-1024

**Designer:** Ryan Zink / Zink Design Services, LLC  
3111 Cottonwood Ct / West Linn OR 97068

**Site Address:** 4906 SW VERMONT ST

**Legal Description:** TL 4700 0.14 ACRES, SECTION 19 1S 1E; TL 4800 0.02 ACRES, SECTION 19 1S 1E; TL 5000 1.31 ACRES, SECTION 19 1S 1E; TL 4900 0.38 ACRES, SECTION 19 1S 1E

**Tax Account No.:** R991190910, R991194370, R991194520, R991195160

**State ID No.:** 1S1E19AA 04700, 1S1E19AA 04800, 1S1E19AA 05000, 1S1E19AA 04900

**Quarter Section:** 3724

**Neighborhood:** Maplewood, contact Claire Carder at 503-880-6503.

**Business District:** None

**District Coalition:** Southwest Neighborhoods Inc., contact Leonard Gard at 503-823-4592.

**Zoning:** R7, Single Dwelling Residential 7,000

**Case Type:** CU, Conditional Use

**Procedure:** Type III, with a public hearing before the Hearings Officer. The decision of the Hearings Officer can be appealed to City Council.

**Proposal:**

The West Hills Montessori School has operated in this location since 1968 and operates under an approved Conditional Use. The School is proposing to expand the existing campus in order to include a house the school has owned since 1985, to be used as administrative offices for the school staff. No new development is proposed, nor does the school anticipate any increases in enrollment or staffing levels.

Because the request expands the Conditional Use to a site not originally included in the Conditional Use approval, a Type III Conditional Use review is required for this request.

**Approval Criteria:**

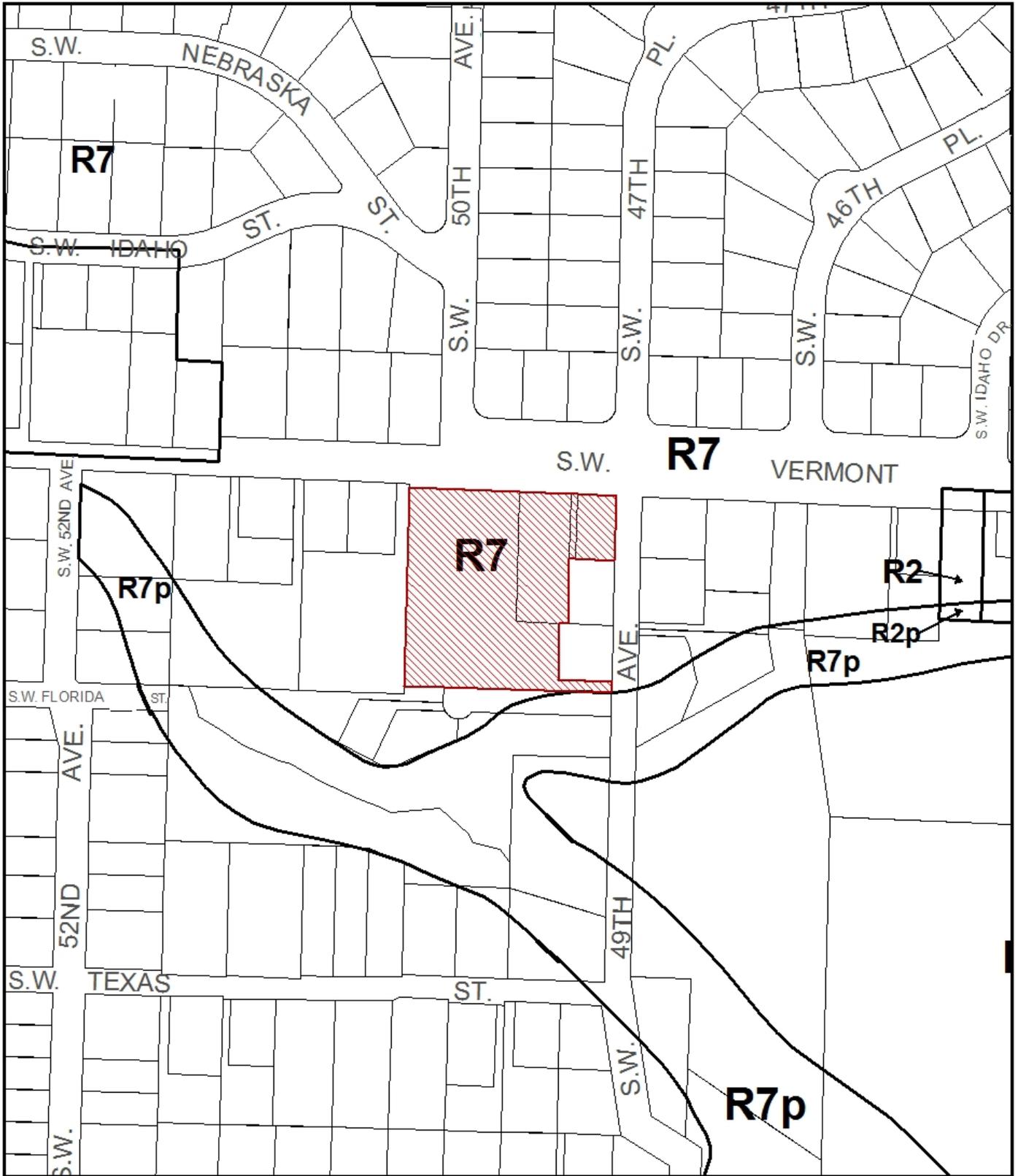
In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are:

- 33.815.105, Institutional Uses in R Zones

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was filed, provided that the application is complete at the time of filing, or complete within 180 days. This application was filed on May 8, 2013 and determined to be complete on June 4, 2013.

It is important to submit all evidence to the Hearings Officer. City Council will not accept additional evidence if there is an appeal of this proposal.

Enclosures: Zoning Map, Site Plan



# ZONING



File No.	<u>LU 13-150689 CU</u>
1/4 Section	<u>3624,3724</u>
Scale	<u>1 inch = 200 feet</u>
State_Id	<u>1S1E19AA 5000</u>
Exhibit	<u>B (May 10,2013)</u>

