



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

Amanda Fritz, Commissioner
Paul L. Scarlett, Director
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www.portlandoregon.gov/bds

Date: November 13, 2013
To: Interested Person
From: Kathleen Stokes, Land Use Services
503-823-7843 / Kathleen.Stokes@portlandoregon.gov

NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood that requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. Copies of the site plan, elevation drawings and zoning map are attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on December 4, 2013.** Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 13-214441 AD, in your letter. It also is helpful to address your letter to me, Kathleen Stokes.

CASE FILE NUMBER: LU 13-214441 AD

Applicants/Owners: John Cline and Debbie Gardiner
9909 SE Clatsop St
Portland OR 97266

Site Address: 9909 SE CLATSOP ST

Legal Description: BLOCK 2 LOT 7, MILLENNIUM PARK ESTATES
Tax Account No.: R571100580
State ID No.: 1S2E21DD 05100
Quarter Section: 3840

Neighborhood: Lents, contact Cora Potter at 503-823-4550.
Business District: None
District Coalition: East Portland Neighborhood Office, contact Richard Bixby at 503-823-4550.

Plan District: Johnson Creek Basin - South
Zoning: R7 (R7000, Medium Density Single-Dwelling Residential)

Case Type: Adjustment
Procedure: Type II, administrative decision with appeal to Adjustment Committee.

Proposal: The applicants are proposing to build an addition, in order to provide a second garage at the rear of the house. The garage would be 645 square feet in area and would take the place of an existing 567 square-foot deck that is currently located at the northwest corner of the building. The removal of the deck and the addition of the new garage would bring the overall building coverage for the site to 3,439 square feet.

The Portland Zoning Code, Title 33, limits building coverage in the single-dwelling zones to an amount that is based on the size of the site. In this case, the allowed building coverage for this 10, 217 square-foot property is 3,032 square feet. Exceptions to this standard are approved

through an Adjustment Review, if all of the relevant approval criteria are met or if the criteria can be met through conditions of approval. Therefore, the applicants are requesting approval of an Adjustment to Code Section 33.110.225 to allow the maximum building coverage to be increased from 3,032 square feet to 3,520 square feet.

Building coverage is the area that is covered by buildings or other roofed structures. A roofed structure includes any structure more than 6 feet above grade at any point, and that provides an impervious cover over what is below. Building coverage also includes uncovered horizontal structures such as decks, stairways and entry bridges that are more than 6 feet above grade. Eaves are not included in building coverage.

The building coverage standards, together with the height and setback standards control the overall bulk of structures. They are intended to assure that taller buildings will not have such a large footprint that their total bulk will overwhelm adjacent houses. Additionally, the standards help define the character of the different zones by limiting the amount of buildings allowed on a site.

Relevant Approval Criteria: To be approved, this proposal must comply with the approval criteria of 33.805.040 A.-F., Adjustments, cited below.

- A.** Granting the adjustment will equally or better meet the purpose of the regulation to be modified; and
- B.** If in a residential zone, the proposal will not significantly detract from the livability or appearance of the residential area, or if in a OS, C, E, or I zone, the proposal will be consistent with the classifications of the adjacent streets and the desired character of the area; and
- C.** If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone; and
- D.** City-designated scenic resources and historic resources are preserved; and
- E.** Any impacts resulting from the adjustment are mitigated to the extent practical; and.
- F.** If in an environmental zone, the proposal has as few significant detrimental environmental impacts on the resource and resource values as is practicable.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on October 10, 2013 and determined to be complete on November 8, 2013.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

APPEAL PROCESS

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Adjustment Committee. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

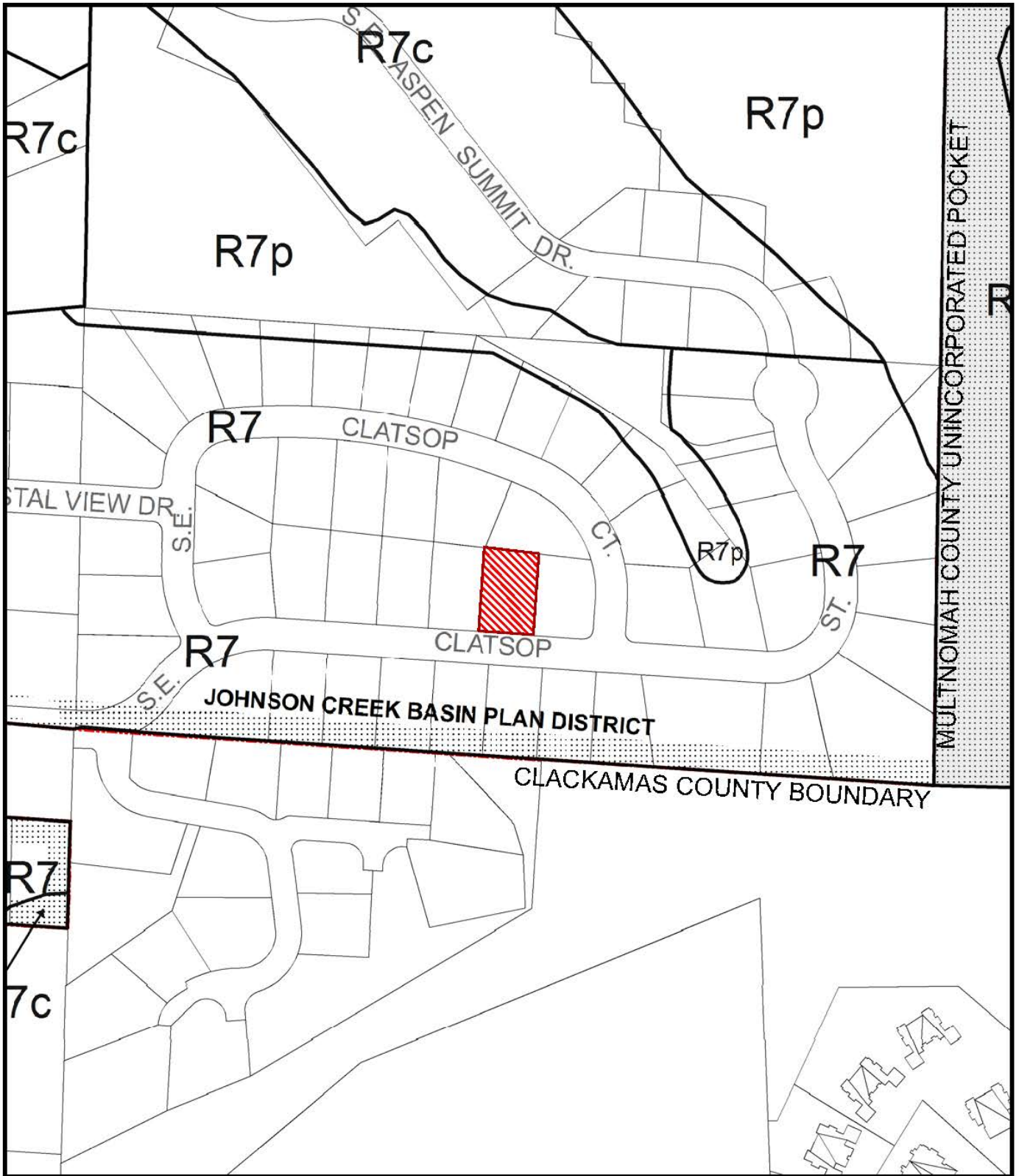
APPEAL OF THE FINAL CITY DECISION

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St. NE, Suite 330, Salem, OR 97301. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map
Site Plan
Elevation Drawings



ZONING



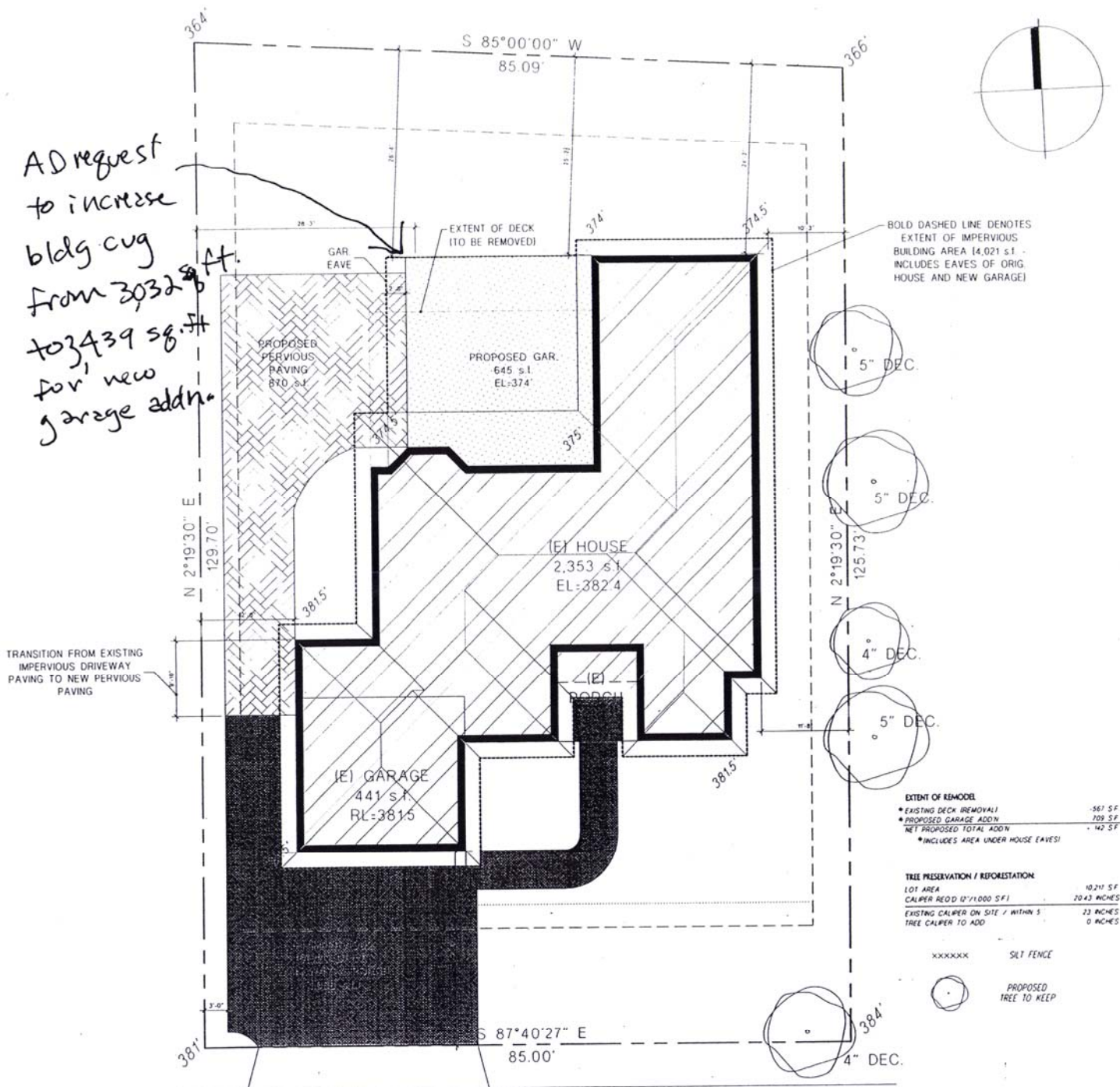
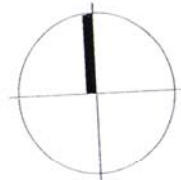
Site



This site lies within the:
JOHNSON CREEK BASIN SOUTH PLAN DISTRICT

File No.	<u>LU 13-214441 AD</u>
1/4 Section	<u>3840</u>
Scale	<u>1 inch = 200 feet</u>
State_Id	<u>1S2E21DD 5100</u>
Exhibit	<u>B (Oct 16, 2013)</u>

AD request
to increase
bldg covg
from 3032 sq.ft.
to 3439 sq.ft.
for new
garage addn.



EXTENT OF REMODEL

*EXISTING DECK REMOVAL	- 567 SF
*PROPOSED GARAGE ADDN	+ 109 SF
NET PROPOSED TOTAL ADDN	+ 442 SF
*INCLUDES AREA UNDER HOUSE EAVES!	

TREE PRESERVATION / REFORESTATION

LOT AREA	10,217 SF
CALPER RECD 12"/1,000 SF	2043 INCHES
EXISTING CALPER ON SITE / WITHIN 5'	73 INCHES
TREE CALPER TO ADD	0 INCHES

XXXXXX SILT FENCE
 PROPOSED TREE TO KEEP

FRONT YARD COVERAGE (40% MAX)

DRIVEWAY	805 SF
FRONT YARD	705 SF
PERCENTAGE	37.68%

IMPERVIOUS COVERAGE (PROPOSED)

HOUSE PLUS ADDN GAR INCL PORCHES & EAVES	4,021 SF
EXIST'G DRIVE, WALK & PORCH (MINUS EAVES)	1,068 SF
TOTAL	5,089 SF
PERCENTAGE OF 10,217 s.f. LOT AREA	49.81%

LOT COVERAGE OF EXIST'G BLDG

LOT AREA	10,217 SF
ALLOWABLE (1,250 SF - 15% x 5,000 SF)	3,032 SF
*BUILDING AREA	3,261 SF
RESULTING COVERAGE	OVER BY 329 SF
*INCLUDES PORCHES AND DECK OF 567 s.f. INO EAVES!	

LOT COVERAGE INCLUDING GARAGE ADDITION

LOT AREA	10,217 SF
ALLOWABLE (1,250 SF - 15% x 5,000 SF)	3,032 SF
*BUILDING AREA	3,439 SF
RESULTING COVERAGE	OVER BY 407 SF
*INCLUDES PORCHES & ADDN GARAGE OF 645 s.f. INO EAVES!	

LU 13-
214 441 AD

S.E. CLATSOP STREET

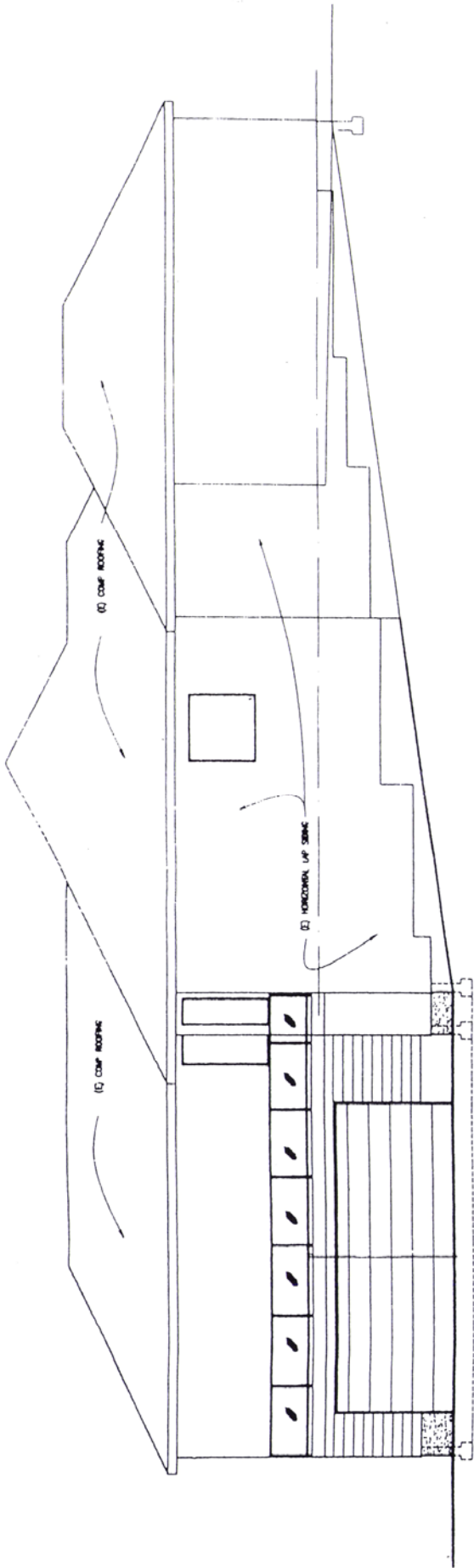
CITY OF PORTLAND, OR
RESIDENCE AT 9909 SE CLATSOP ST

CLINE RESIDENCE GARAGE ADDITION

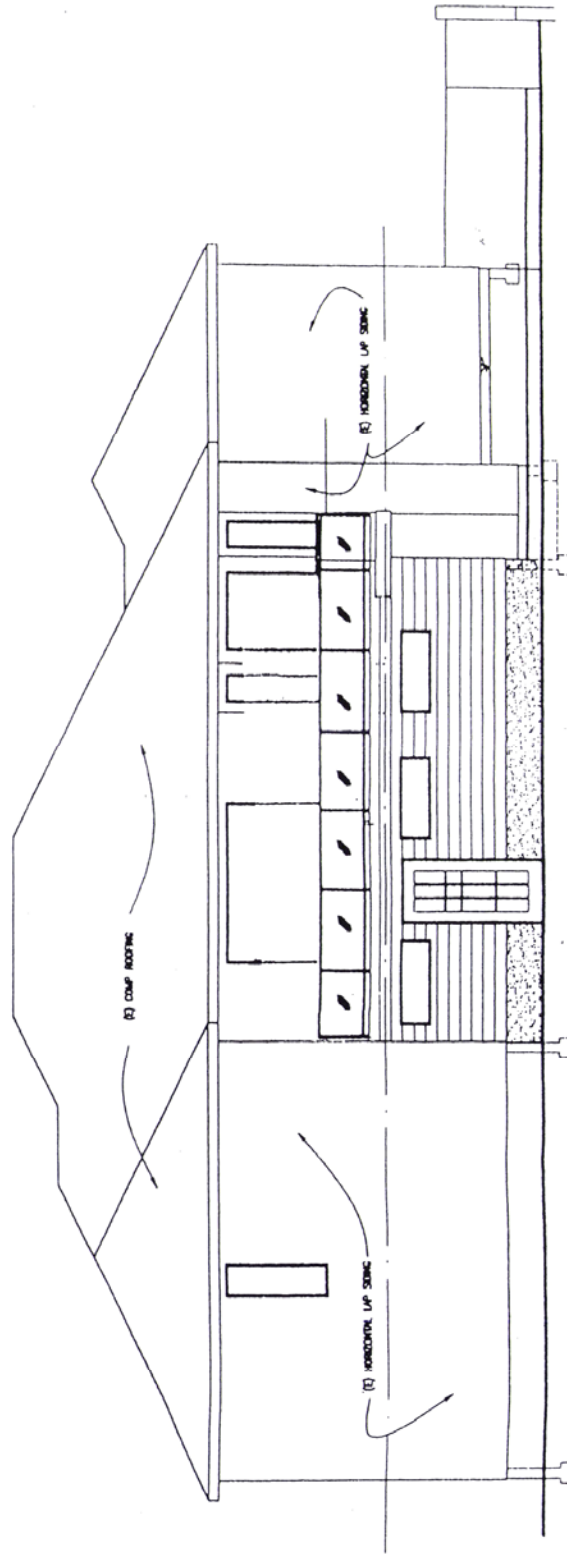
ALAN MASCORD DESIGN ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC INFORMATION, OR THE SITE RESPONSIBILITY OF THE BUILDING PERMITS. ALL SITE CONDITIONS INCLUDING ANY TREE PERMITS ON THE SITE AND NOTIFY THE OWNERS OF ANY POTENTIAL FIELD MODIFICATIONS.

ALAN MASCORD DESIGN ASSOCIATES, INC.
1400 NE 10th St., Portland, OR 97232
503.281.1111 FAX: 503.281.1112

Mascord
COLLECTION



Left Side (west side) Elevation



Rear Side (north side) Elevation

9909 SE Clatsq

LW 13-214441 AD