



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**

FROM CONCEPT TO CONSTRUCTION

Amanda Fritz, Commissioner  
Paul L. Scarlett, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** May 1, 2014  
**To:** Interested Person  
**From:** Jennifer Kenny, Land Use Services, 503-823-7011  
[jennifer.kenny@portlandoregon.gov](mailto:jennifer.kenny@portlandoregon.gov)

## **NOTICE OF A TYPE I PROPOSAL IN YOUR NEIGHBORHOOD**

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 21 days, **we need to receive your written comments by 5 p.m. on May 15, 2014.** Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 14-141526 HR, in your letter. It also is helpful to address your letter to me, Jennifer Kenny.

### **CASE FILE NUMBER: LU 14-141526 HR – SOLAR PANELS**

**Applicant:** Richard N Rosenhaft  
2335 NE 24th Avenue / Portland, OR 97212-4827

**Representative:** Katie Martin / Neil Kelly Company  
804 N Alberta Street / Portland, OR 97217

**Site Address:** 2335 NE 24<sup>th</sup> Avenue

**Legal Description:** BLOCK 6 LOT 6-8, IRVINGTON  
**Tax Account No.:** R420401110  
**State ID No.:** 1N1E26DA 08500  
**Quarter Section:** 2832  
**Neighborhood:** Irvington, contact Dean Gisvold at 503-284-3885.  
**Business District:** North-Northeast Business Assoc, contact Joice Taylor at 503-445-1321.  
**District Coalition:** Northeast Coalition of Neighborhoods, contact Claire Adamsick at 503-388-9030.

**Other Designations:** Contributing Resource in the Irvington Historic District, which was listed in the National Register of Historic Places on October 22, 2010.

**Zoning:** R5, Single Dwelling Residential 5000, with Historic Resource Overlay  
**Case Type:** HR, Historic Resource Review  
**Procedure:** Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

**Proposal:** The applicant is requesting Historic Resource Review approval for a proposal to install solar panel arrays on a rear-facing slope of the house roof and toward the rear of the side-facing half of the garage's gable roof, which is setback 80' from the street. The intent of the installation is to minimize visibility from the street. Historic Resource Review is required because the proposal is for non-exempt exterior alterations in a historic district.

**Approval Criteria:** In order to be approved, this proposal must comply with the approval criteria specified in the Portland Zoning Code (Title 33 of the Portland City Code). The approval criteria are:

- 33.846.060 G – Other Approval Criteria

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on April 15, 2014 and determined to be complete on **April 22, 2014**.

#### **Decision Making Process**

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and either:

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

**We will mail you a copy of our decision only if you comment in writing to us at the City of Portland Bureau of Development Services, 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201.** There will be no public hearing.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. You may also find additional information about the City of Portland and City Bureaus, as well as a digital copy of the Portland Zoning Code, by visiting the City's homepage on the Internet at [www.portlandonline.com](http://www.portlandonline.com).

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

**Appeal Process If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem OR 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues which may provide the basis for an appeal to LUBA must be raised in writing before the deadline for comments, or you may not be able to raise that issue in an appeal. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.**

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

**Enclosures:** Zoning Map, Site Plan, Elevations



# ZONING



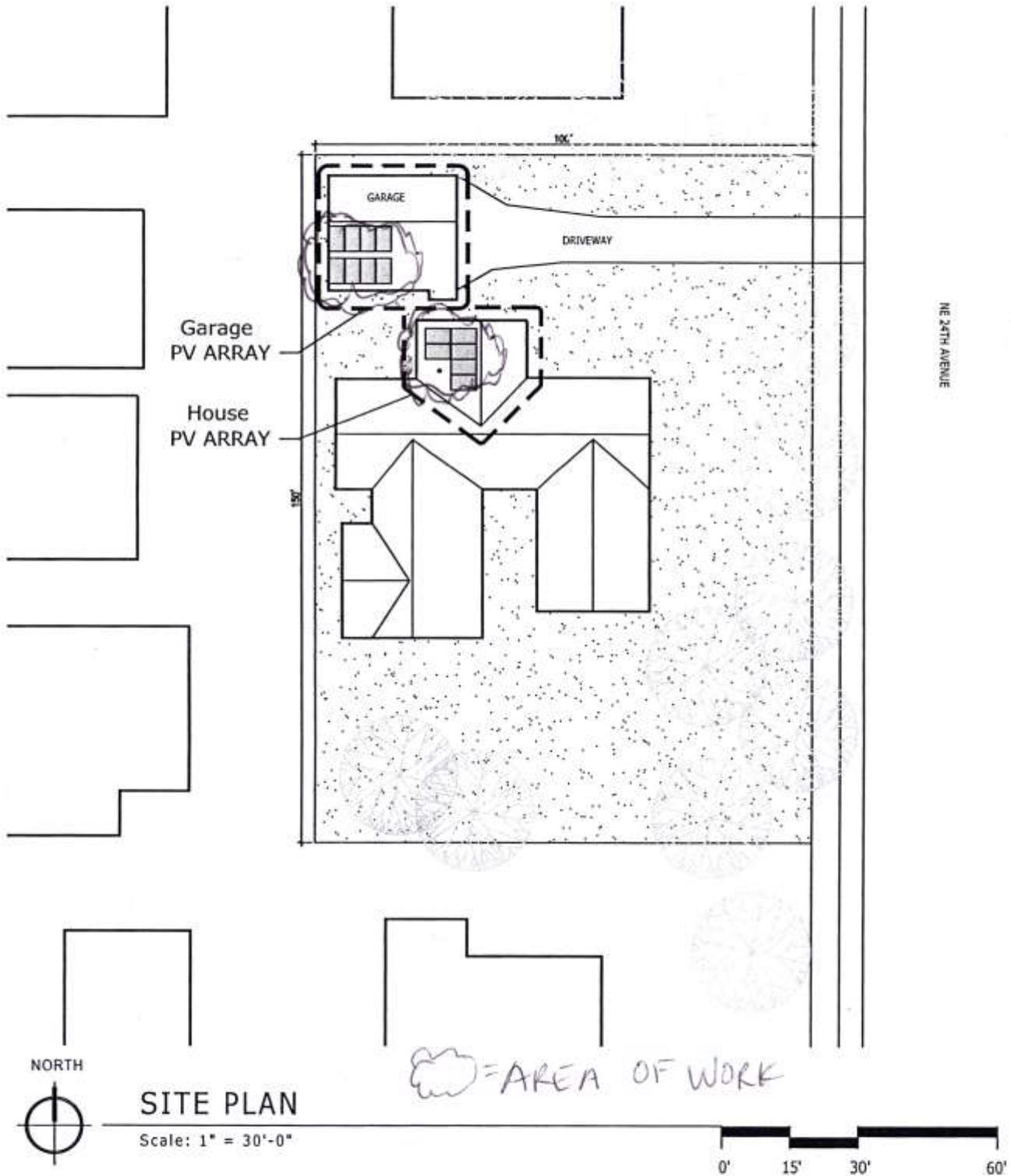
Site



NORTH

This site lies within the:  
IRVINGTON HISTORIC DISTRICT

File No. LU 14-141526 HR  
 1/4 Section 2832  
 Scale 1 inch = 417 feet  
 State\_Id 1N1E26DA 8500  
 Exhibit B (Apr 21, 2014)



**SITE PLAN**

Scale: 1" = 30'-0"

*AREA OF WORK*

DATE: APRIL 4, 2014  
 DRAWING: SITE PLAN/ PROJECT INFORMATION  
 REVISION:

Dwg. NO.:  
**1**

*LU 14 - 141526 HR*



**ENLARGED ROOF PLAN - HOUSE**

Scale: 1/4" = 1'-0"

ROSENHAFT RESIDENCE  
 2335 NE 24TH AVENUE  
 PORTLAND, OR 97212

Dwg. NO.:	3
DATE:	APRIL 4, 2014
DRAWING:	ENLARGED ROOF PLAN
REVISION:	

**Mr. Sun Solar**  
 A Neil Kelly Company  
 804 N. Alberta Street  
 Portland, OR 97217  
 TEL: 503-288-7461  
 CCB# 1663

LM14-141526 HR



**ENLARGED ROOF PLAN - GARAGE**  
 Scale: 1/4" = 1'-0"

DATE: APRIL 4, 2014	DWG. NO.: 2
DRAWING: ENLARGED ROOF PLAN	
REVISION:	

ROSENHAFT RESIDENCE  
 2335 NE 24TH AVENUE  
 PORTLAND, OR 97212



804 N. Alberta Street  
 Portland, OR 97217  
 TEL: 503-288-7461  
 CCB# 1663

L114-141526 HR