



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

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Date: December 26, 2014
To: Interested Person
From: Amanda Rhoads, Land Use Services
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NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has **approved** a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision, including the written response to the approval criteria and to public comments received on this application, are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 14-195980 DZ **REMODEL OF EXISTING TACO BELL ON BURNSIDE**

GENERAL INFORMATION

Applicant: Terry Novak / Novak Architecture
6975 SW Sandburg St, Suite 100
Portland, OR 97232

Owner: Nancy L Huntzinger
111 W 39th St #A
Vancouver, WA 98660-1974

Tenant: Bernd Hoffman / HHJC, LLC
111 W 39th St
Vancouver, WA 98660

Site Address: 2079 W BURNSIDE ST

Legal Description: BLOCK 30 TL 13400, KINGS 2ND ADD
Tax Account No.: R452304930
State ID No.: 1N1E33CA 13400
Quarter Section: 3027
Neighborhood: Northwest District, contact John Bradley at 503-313-7574.
Business District: Nob Hill, contact Mike Conklin at 503-226-6126.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Plan District: Central City - Goose Hollow
Zoning: CXd - Central Commercial with a "d" Design Overlay Zone
Case Type: DZ - Design Review
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant seeks Design Review approval for renovations to the existing Taco Bell restaurant at the corner of West Burnside St. and NW 21st Ave., in the Central City Plan District and Goose Hollow Subdistrict. The renovations subject to review include the following work:

- Removal of the existing mansard roof;
- Repair of existing exterior insulated finishing system (EIFS) panels and addition of new EIFS where the mansard roof is removed;
- Retaining but squaring off the existing tower elements at the two pedestrian entries and at the drive-through window;
- Adding new canopies at the two entries and the drive-through window
- Addition of an aluminum slat wall system with surface-mounted white LED lights behind the slats. The system wraps the south half of the building;
- Six new building sconces to replace existing light fixtures;
- New freestanding canopy by the existing menu board;
- New freestanding height restriction bar located in the drive-through lane; and
- Removal and repair of existing storefront doors and windows, followed by re-installation in their original locations.

No changes are proposed to the existing free-standing sign or existing menu board or order confirmation board. Although new drive-through facilities are prohibited in the Goose Hollow Subdistrict (Zoning Code Section 33.510.240), the subject site is an existing drive-through facility that is considered nonconforming development (Zoning Code Section 33.258.070). No changes are proposed to the drive-through; it will remain as is. The proposed improvements would not trigger nonconforming upgrades for other regulations based on the reported value of improvements.

The proposed signage is exempt from Design Review as per Zoning Code Section 33.420.041.F because each proposed sign is under 32 square feet and the total amount of signage proposed does not exceed the maximum allowed signage of 36.5 square feet. Design Review is required because the proposal is for exterior alterations within the Central City Plan District – Goose Hollow Subdistrict.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- Central City Fundamental Design Guidelines
- Goose Hollow District Design Guidelines

ANALYSIS

Site and Vicinity: The 15,000-square-foot corner site fronts a major east/west commercial and vehicular traffic corridor in downtown Portland, West Burnside Street. It also fronts NW 21st Ave., which is a smaller, neighborhood commercial corridor. It is located at the northwestern edge of the Central City Plan District and Goose Hollow Subdistrict. The site is adjacent to the southern edge of the Alphabet Historic District.

Existing development includes a one-story Taco Bell restaurant with associated parking lot to the east and north. Commercial and multi-dwelling development make up W. Burnside in this area. In the immediate vicinity to the north of W. Burnside is a variety of residential development, from high density (such as high-rise apartment buildings) to medium density (converted houses with several apartment units) to one-unit dwellings. One block to the southeast is Providence Park.

The site is located within the Northwest Pedestrian District. West Burnside Street at the site is classified as a Regional Main Street, Major City Traffic Street, Major Transit Priority Street, a

Local Service Walkway, and Local Service Bikeway. NW 21st Ave. is classified as a Local Service Walkway and Bikeway.

Zoning: The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together. Development is intended to be pedestrian-oriented with a strong emphasis on a safe and attractive streetscape.

The “d” Design Overlay Zone promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

Land Use History: City records indicate that prior land use reviews include the following:

- **LUR 97-00889 DZ, AD** was a 1997 Design Review approval for the conversion of the existing building from a Kentucky Fried Chicken to a Taco Bell. The review included an Adjustment to reduce perimeter landscaping along the east property line from 5 feet deep with shrubs that are 3 feet high and 95% opaque year-round to landscaping that is 3 feet deep with shrubs that are 6 feet high and 95% opaque year-round. While there are evergreen shrubs planted along the east property line, they do not create an opaque screen in all locations and do not appear to be 6 feet tall. A condition of approval for the current Design Review will require that this part of the 1997 approval of the Modification to setbacks and perimeter landscaping for parking areas is fulfilled before final certificate of occupancy.
- **LUR 91-00365 DZ** was a 1991 Design Review approval for the installation of a pre-manufactured freezer unit at the rear of the existing building.

Public Review: A “Notice of Proposal in Your Neighborhood” was mailed **November 13, 2014**.

Agency Review: A Life Safety (Building Code) Plans Examiner has responded with no specific issues or concerns, but with the suggestion that the applicant come into the Development Services Center with the plans and discuss them with a Plans Examiner. No other bureau responses were requested with this Tier E Design Review.

Neighborhood Review: One written response to the proposal has been received from the Executive Committee for Planning for the Northwest District Association. The letter stated support for the project because it improves the appearance of the site, despite the committee's expressed lack of support for what they term “corporate branded architecture.” The letter also noted that the nonconforming upgrades triggered by Zoning Code Section 33.258 should be required to be completed if it is determined that the project's value exceeds the current trigger of \$148,700. Finally, a request was made that “the wattage to the internally lit scrim/rain screen be kept to a minimum so as to avoid car driver distraction along Burnside and to tone down the general appearance of the building.”

Staff Response: The original proposal included over 111 square feet of signage on three façades of the building (which would have required a Modification), along with another “swoosh” element mounted to that was not considered signage but would have been mounted in much the same way. Most of these signs were proposed to be lit. Limiting the signage on the building has had the effect of calming down the light on the

pedestrian as well as the driving environment along West Burnside. Additional information is provided in the findings below.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design district guidelines.

Findings: The site is designated with “d” design overlay zoning; therefore, the proposal requires Design Review approval. Because of the site’s location, the applicable design guidelines are the Central City Fundamental and Goose Hollow Special Design Guidelines.

Goose Hollow District Design Guidelines and Central City Fundamental Design Guidelines

The Goose Hollow District is envisioned to be a predominantly urban residential, transit-oriented community located on the western edge of the Central City between Washington Park and Downtown Portland. When riding light rail through the West Hills tunnel to the Central City, it is the first neighborhood experienced before entering downtown Portland. The Urban Design Vision celebrates the sense of arrival from the west at Jefferson Street Station and Collins Circle, and from the north at the Civic Stadium Station and Fire Fighter’s Park. This is done by integrating the history of the community with its special natural and formal (man-made) characteristics.

The Central City Fundamental Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland’s character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Goose Hollow District Design Goals

The Goose Hollow District Design Goals are specific to the Goose Hollow District. These urban design goals and objectives are to:

- Enhance mixed-use, transit-oriented development around the light rail stations to make it a pedestrian-friendly station community.
- Provide open spaces to accommodate active public life.
- Strengthen connections to adjacent neighborhoods through light rail, bike and pedestrian access and assure a safe and pleasant bike/pedestrian environment.
- Preserve and enhance the community’s history and architectural character.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within all of the Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City’s districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City’s districts and the Central

City as a whole;

6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish, and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

Findings for A4 and A5: The proposed modifications to the development are modest in scope, leaving the site and footprint of the building untouched. However, the cosmetic upgrades will be the first the building has seen since a 1997 review approved the change of tenant from a Kentucky Fried Chicken to a Taco Bell. The predominant part is a backlit aluminum slat wall system that wraps the front of the building. The move is in keeping with the corporate Taco Bell design standards, but the building will be unified by the changes and the effect is a modern, clean structure that will reflect the modern character of new commercial development occurring along West Burnside in the area. The limited signage proposed on the building, which is not consistent with the corporate standard, reflects Portland's care in addressing signs in the night sky. *These guidelines are met.*

A5-3. Enhance West Burnside Street. Enhance West Burnside Street as a boulevard by extending and improving its boulevard treatment and its environment for pedestrians west of the Park Blocks. This guideline may be accomplished by any or all of the following:

- a. Buffering and separating the sidewalk from vehicular traffic by introducing street trees, plantings and protective bollards;
- b. Enhancing the pedestrian promenade along Burnside and making it a linear focus for safe pedestrian activity by widening the space used by pedestrians and locating sidewalk cafes and food vendors in the wider pedestrian space;
- c. Maintaining visual contact and surveillance between the inside of buildings and the adjacent public right-of-way space of West Burnside Street;
- d. Punctuating ground floors of buildings with many destination points such as entries for pedestrians and display windows;
- e. Locating driveways and garage entrances on side streets where feasible, rather than crossing sidewalks along West Burnside; or
- f. Providing pedestrian scale to buildings fronting the street by using awnings and/or balconies along the street.

Findings for A5-3: The proposed alterations will create a more unified modern commercial development along West Burnside, coinciding with significant changes and additions at the Fred Meyer site a block away and upgrades to the Uptown Shopping Center at NW 23rd Ave. in recent years. The aluminum slat wall is not unlike wood slat accents and wood slat doors used at this nearby shopping center. Thus the building's presence and identity will be strengthened on West Burnside Street. Repaired storefront glazing in existing openings maintains the visual connections between the building interior and its surroundings. The new metal canopies, sidewalk level lighting, decorative aluminum and lighting elements and minimal signage provide a pedestrian scale to the site, enhancing its appearance. *These guidelines are therefore met.*

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore

buildings and/or building elements.

Findings: The proposal calls for the remodeling of an existing building, repairing the existing exterior insulating finishing system (EIFS) panels and repairing the existing storefronts, while modernizing the appearance. Existing building systems will remain intact and will be structurally and visually rehabilitated and upgraded as required. *This guideline is therefore met.*

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

B1-1. Provide Human Scale to Buildings along Walkways. Provide human scale and interest to buildings along sidewalks and walkways.

Findings for A8, B1 and B1-1: Reuse of existing areas of glazed storefront maintain the visual and physical connection into the building's active interior spaces from the site's primary pedestrian pathway, helping to activate the sidewalk and draw people into the building. The new aluminum slat wall material wrapping the south façade of the building with lighting behind creates an energetic, dynamic design that engages the pedestrian scale. The new canopies also add a sense of scale to the building wall by breaking the façade into smaller elements. The site is keeping all existing mature trees and landscaping on site, which contributes to creating a pedestrian-friendly environment along West Burnside. Along NW 21st, the existing landscape trellis will remain, adding greenery and a softer edge to this longer façade. *These guidelines are therefore met.*

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

B6. Develop Weather Protection. Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

B6-1. Provide Outdoor Lighting at Human Scale. Provide outdoor lighting at a human scale to encourage evening pedestrian activity.

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

Findings for B2, B6 and B6-1: The two main entrances of the building – one facing Burnside and one facing the parking lot – will both have metal canopies for weather protection. Six new 18-inch-tall cylinder lights will be mounted to the building to replace existing lights, shining light against the building up and down. These lights will be located on either side of the two pedestrian entrances on the south and east, as well as further north on the east façade to prevent dark areas on the pedestrian path adjacent to the parking lot. The backlighting on the slat wall will also create a glow that will help pedestrians find their way at night. Mechanical equipment will remain on the roof, out of the pedestrian environment. *These guidelines are met.*

B7. Integrate Barrier-Free Design. Integrate access systems for all people with the building's overall design concept.

Findings: The main pedestrian entrance on the south façade is at a slight slope up from the sidewalk grade. There is an ADA ramp from the sidewalk to the entrance on the east side. This is not proposed to be changed; the building will remain accessible to all people. *This guideline is met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for C2, C3, C4, and C5: The proposed Taco Bell remodel uses high quality materials that promote permanence such as an aluminum slat wall, aluminum and glass storefronts, and metal canopies. The existing EIFS panels are being repaired with others added to match in the area where the mansard roof is being removed. EIFS is not a preferred material but retaining existing material on a site rather than replacing it is preferable and better meets Criterion A6 above. The proposed updated design scheme will coordinate with the other new commercial development in the area. The design will be unified and will have a simple expression with limited signage. The well-articulated, detailed façade complements the integrity and scale of existing buildings in the area. *These guidelines are therefore met.*

C1-2. Integrate Signs and Awnings. Integrate signs and awnings to be complementary and respectful of a building's architecture. This guideline may be accomplished by any or all of the following:

- a. Placing signs and awnings to fit with and respect a building's architecture.
- b. Avoiding large, excessively illuminated or freestanding signs that contribute to visual clutter; or
- c. Integrating with a building's design an exterior sign program/system for flexible sidewalk level space that accommodates changing tenants.

C13. Integrate Signs. Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings for C1-2 and C13: The proposed signs are less than 32 square feet each, and together do not exceed the total allowed 36.5 square feet of sign area, as determined by length of primary building wall (Sign Code 32.32.020 and Table 2). Therefore, the signs are not subject to Design Review. The amount of signage included in the project now is significantly less than initially proposed. A condition of approval will keep signs and other elements, such as the lit "swoosh" originally proposed, off of the slat wall system. Given the energy of the backlit slat wall, little additional signage, especially lit signage, will be needed to draw attention to the structure. Further, the existing freestanding sign will remain in its current location. *With the condition of approval preventing future signage from being located on the slat wall architectural element, these guidelines are met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The Design Review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. Remodeling the existing Taco Bell as proposed will improve and modernize the overall appearance of the site. The lighting behind the proposed slat wall will create a dramatic feature on this corner building, appropriate for this part of W. Burnside.

Although the proposed signs are exempt from Design Review, it may be noted that the proposed new signage is modest and well-integrated with the proposed exterior alterations.

ADMINISTRATIVE DECISION

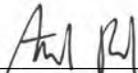
Design Review approval to a remodel the existing Taco Bell at West Burnside St. and NW 21st Ave., in the Goose Hollow Subdistrict of the Central City Plan District, including the following elements:

- Removal of the existing mansard roof;
- Repair of existing exterior insulated finishing system (EIFS) panels and addition of new EIFS where the mansard roof is removed;
- Retaining but squaring off the existing tower elements at the two pedestrian entries and at the drive-through window;
- Adding new canopies at the two entries and the drive-through window
- Addition of an aluminum slat wall system with surface-mounted white LED lights behind the slats. The system wraps the south half of the building;
- Six new building sconces to replace existing light fixtures;
- New freestanding canopy by the existing menu board;
- New freestanding height restriction bar located in the drive-through lane; and
- Removal and repair of existing storefront doors and windows, followed by re-installation in their original locations.

Approval is per the approved site plans, Exhibits C.1 through C.13, signed and dated December 24, 2014, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 14-195980 DZ." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. No signs or other features may be mounted or attached to the aluminum slat wall system.
- C. Existing landscaping along the east property line must be enhanced to meet the 1997 Modification approval (LUR 97-00889 DZ AD) that this reduced-depth landscape area have shrubs that are 6 feet high and 95% opaque year-round.

Staff Planner: Amanda Rhoads

Decision rendered by:  **on December 24, 2014**
By authority of the Director of the Bureau of Development Services

Decision mailed: December 26, 2014

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on August 11, 2014, and was determined to be complete on **November 7, 2014**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on August 11, 2014.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: March 6, 2015.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on January 9, 2014** at 1900 SW Fourth Ave. Appeals can be filed at the Development Services Center Monday through Wednesday and Fridays between 8:00 am to 3:00 pm and on Thursdays between 8:00 am to 12:00 pm. After 3:00 pm Monday through Wednesday and Fridays, and after 12:00 pm on Thursdays, appeals must be submitted at the reception desk on the 5th floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21

days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **January 12, 2014 – the day following the last day to appeal.**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

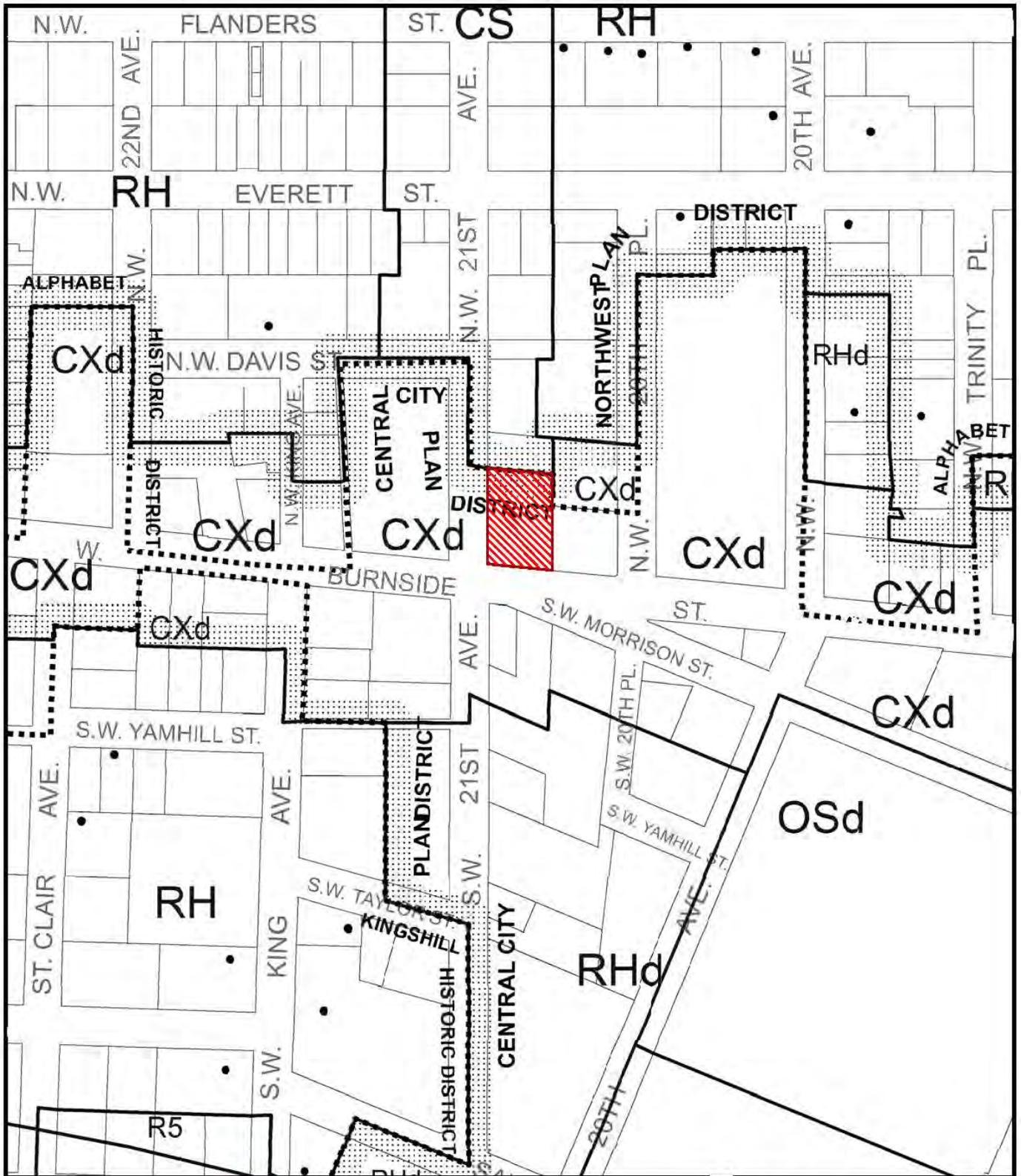
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Original Narrative, August 11, 2014
 - 2. Response to Incomplete Letter, October 21, 2014
 - 3. Response to Memo, November 3, 2014
 - 4. Original Site Plan, Full-Sized
 - 5. Original Building Elevations, Full-Sized
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. West Elevation and Existing Building Photos (attached)
 - 3. Other Elevations (attached)
 - 4. Canopy and Height Restriction Bar Details
 - 5. Roof Plan
 - 6. Slat Wall System Elevations
 - 7. Slat Wall System Sections
 - 8. Drive-Through Detail
 - 9. Other Drive-Through Details
 - 10. Wall Sections
 - 11. Construction Details
 - 12. Exterior Lighting
 - 13. Full-Size Drawings of C.1-C.5
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 7. Life Safety (Building Code) Plans Examiner
- F. Correspondence:
 - 1. John Bradley, Chair of Northwest District Association Planning, December 4, 2014, in support
- G. Other:
 - 1. Original Land Use Application and Receipt
 - 2. Incomplete Letter, September 9, 2014
 - 3. Update to Incomplete Letter, September 10, 2014
 - 4. Memorandum, October 24, 2014

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



Site

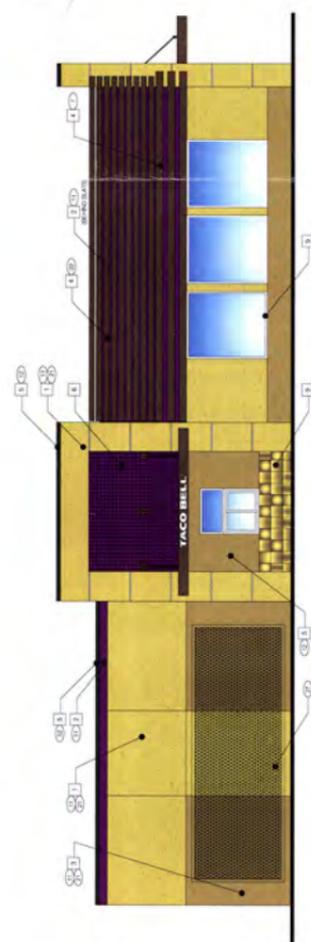
This site lies within the:
**CENTRAL CITY PLAN DISTRICT-
 GOOSE HOLLOW**



NORTH

File No.	LU 14-195980 DZ
1/4 Section	3027
Scale	1 inch = 200 feet
State_Id	1N1E33CA 13400
Exhibit	B (Aug 12, 2014)

City of Portland - Bureau of Development Services
 This approval applies only to the reviews requested and is subject to the
 zoning of approval. Additional zoning requirements may apply.
 Date: **12/14/14**



1 WEST ELEVATION

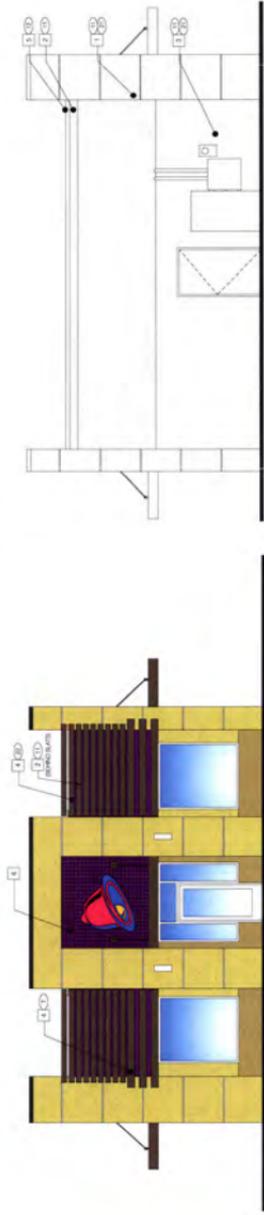
FINISH	AREA	MATERIALS	COLOR	CONTACT INFORMATION
1	WALL PANELS	SHIMON WALLS	SHIMON WALLS	SHIMON WALLS
2	WALL COLOR	SHIMON WALLS	SHIMON WALLS	SHIMON WALLS
3	ROOF	SHIMON WALLS	SHIMON WALLS	SHIMON WALLS
4	ROOF	SHIMON WALLS	SHIMON WALLS	SHIMON WALLS
5	ROOF	SHIMON WALLS	SHIMON WALLS	SHIMON WALLS
6	ROOF	SHIMON WALLS	SHIMON WALLS	SHIMON WALLS
7	ROOF	SHIMON WALLS	SHIMON WALLS	SHIMON WALLS
8	ROOF	SHIMON WALLS	SHIMON WALLS	SHIMON WALLS
9	ROOF	SHIMON WALLS	SHIMON WALLS	SHIMON WALLS
10	ROOF	SHIMON WALLS	SHIMON WALLS	SHIMON WALLS

2 MATERIALS LEGEND AND NOTES

- 1. GREENLINE
- 2. SHIMON WALLS
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- 100. SHIMON WALLS



Approved
 City of Portland - Bureau of Development Services
 Date 12/14/14
 By AA/ML
 This approval applies only to the reviews requested and is subject to all applicable zoning and building code requirements. Additional zoning requirements may apply.



1 SOUTH ELEVATION
 Scale: 1/8" = 1'-0"

2 NORTH ELEVATION
 Scale: 1/8" = 1'-0"

SEE A2.0 FOR MATERIALS LEGEND AND KEY NOTES

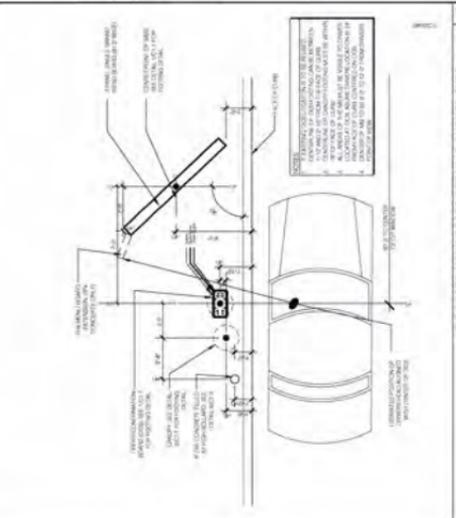
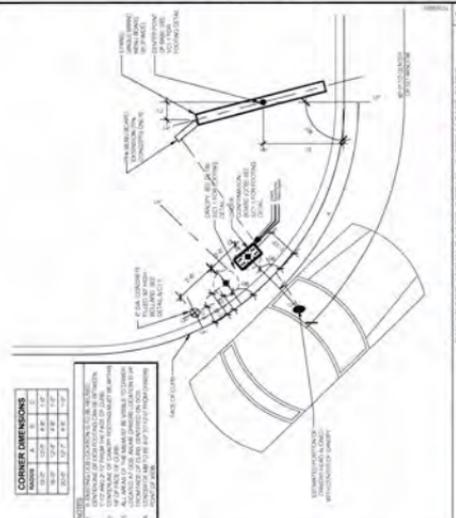
3 EAST ELEVATION
 Scale: 1/8" = 1'-0"

PROJECT NAME	HHJC, LLC
PROJECT NO.	19886
DATE	12/14/14
DESIGNER	WOODS BATES ARCHITECTURE INC.
CLIENT	HHJC, LLC
PROJECT ADDRESS	2077 W BLANCK RD
CITY	PORTLAND, OREGON
STATE	OREGON
COUNTY	CLATSOP
PROJECT TYPE	REMODEL
DATE	12/14/14
SCALE	1/8" = 1'-0"
PROJECT NO.	19886
PROJECT NAME	HHJC, LLC



EXTERIOR ELEVATIONS

A2.1



CORNER DIMENSIONS

MINORS	A	B	C	D
1	12' 0"	12' 0"	12' 0"	12' 0"
2	12' 0"	12' 0"	12' 0"	12' 0"
3	12' 0"	12' 0"	12' 0"	12' 0"
4	12' 0"	12' 0"	12' 0"	12' 0"
5	12' 0"	12' 0"	12' 0"	12' 0"
6	12' 0"	12' 0"	12' 0"	12' 0"
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19	12' 0"	12' 0"	12' 0"	12' 0"
20	12' 0"	12' 0"	12' 0"	12' 0"

NOT USED 3/27/14 17

NOT USED 3/27/14 18

NOT USED 3/27/14 3

NOT USED 3/27/14 11

NOT USED 3/27/14 15

NOT USED 3/27/14 4

NOT USED 3/27/14 12

NOT USED 3/27/14 19

NOT USED 3/27/14 5

NOT USED 3/27/14 13

NOT USED 3/27/14 20

NOT USED 3/27/14 6

NOT USED 3/27/14 14

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NOT USED 3/27/14 22

NOT USED 3/27/14 28

Taco Bell
EXTERIOR SPECIFICATION



Decorative Lighting

PROJECT:

Taco Bell



ACCUSERV

LIGHTING & EQUIPMENT

3865 Produce Rd
Suite 208
Louisville, KY 40218
Toll Free: 877-707-7378
Phone: 502-961-0096
Fax: 502-961-0357
Web: www.accu-serv.com

Type T3



Item # 05247-051 / 05247-052

Classification: Up / Down (2) light Wet location wall mounted cylinder with top cap

Dimensions: Diameter - 6"
Height - 18"
Depth - 8 7/8"

Finish: Bronze

Lamp Type: (2) 18w PAR38 LED

"Approved"
City of Portland - Bureau of Development Services
Date 12/24/14
This approval applies only to the reviews requested and is subject to change of approval. Additional zoning requirements may apply.

Location Exterior

Leadtime TBD

E # - E52809190

Lamp Type:



CASE NO. LU 14-195980 D2
EXHIBIT C-12