



City of Portland
Bureau of Development Services
Land Use Services Division

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Portland, Oregon 97201
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www.portlandonline.com/bds

Date: June 9, 2008
To: Interested Person
From: Kate Marcello, Land Use Services
503-823-9162 / kate.marcello@ci.portland.or.us

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 08-120237 DZ **EXTERIOR ALTERATIONS AT HARRISON SOUTH TOWNHOUSES**

GENERAL INFORMATION

Applicant/Architect: Steven Routon
5160 SW Tualata Lane / Lake Oswego, OR 97035
(503) 620-6713

Owner: Harrison Tower LLC (Contact: Tyler Rodrigue)
1 Lagoon Drive, Suite 200
Redwood City, CA / 94065-1562
(650) 802-1800

Site Address: 222 SW HARRISON ST

Legal Description: BLOCK B LOT 2 TL 1100, SOUTH AUDITORIUM ADD
Tax Account No.: R777500620
State ID No.: 1S1E03CB 01100
Quarter Section: 3229
Neighborhood: Downtown Cmty Assoc., contact Jennifer Geske at 503-750-9843.
Business District: Downtown Retail Council, contact Portland Business Alliance at 503-224-8684.

District Coalition: None
Plan District: Central City - Downtown, South Auditorium
Zoning: Central Residential with design overlay (RXd)
Case Type: Design Review (DZ)
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal: The applicant requests Design Review approval for exterior alterations to existing townhouses of Harrison South. Most of the alterations (1-3 below) are being made so the townhouses will comply with current seismic and life-safety requirements. The townhouses are divided among three buildings. One building ("Building A") is located on the 3rd Avenue pedestrian path, with the front doors of the townhouses facing the path. The second building

("Building B") is located at the edge of Lovejoy Fountain Park, with the front doors of the townhouses facing north toward the existing Harrison South Tower. The third building ("Building C") is located just east of Building B. The proposed alterations include the following:

1. For required seismic upgrades, four new 6'-0"-long painted concrete structural buttresses will be installed at the southwest corner of the site. Two buttresses will be located on the south façade of Building A, and two will be located on the west façade of Building B. To accommodate the buttresses on Building B, an existing concrete stair will be re-located about 5'-0" to the west.
2. For required seismic upgrades, structural frames composed of painted steel wide flanges and cedar beams inset adjacent to the flanges will be installed at two locations: between Building A and the building adjacent to the north, and between Building B and Building C.
3. A painted steel handrail will be added to the existing concrete stair walkways leading to the front doors of the townhouses in all three buildings. Currently, each stair walkway has a handrail on only one side; however, current life-safety requirements call for a handrail on both sides. The new handrails will exactly match the existing ones.
4. A transom window will be added above the entry door at each townhouse. The windows will match the existing transom windows found on other townhouses in the Harrison development.
5. A condensing unit will be installed on the rooftop at each townhouse. There will be three units on Building A, four on Building B, and two on Building C. Each unit will be 2'-2" long x 2'-2" wide x 2'-0" tall, mounted on a 0'-4"-high curb. Each unit will extend 1'-10" above the building parapet.

Because the proposal is for exterior alterations to an existing building in the Central City Plan District, Design Review is required.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- Chapter 33.825 Design Review
- Chapter 33.580 South Auditorium Plan District
- *Central City Fundamental Design Guidelines*

ANALYSIS

Site and Vicinity: The site is located on the block bounded by SW Harrison Street to the north, SW 2nd Avenue to the east, SW Hall Street and Lovejoy Fountain Park to the south, and SW 3rd Avenue to the west. In the South Auditorium District, SW 2nd and 3rd Avenues and Hall Street are dedicated paved pedestrian paths. Automobiles are prohibited on these paths.

The townhouse units and abutting residential tower are known collectively as Harrison South. Harrison South, along with the Harrison East and Harrison West towers and townhouses to the north, were known collectively as the Portland Center Apartments until 2005, when the entire complex was sold to Reliance Development. Harrison East and West have been converted to condominiums. The Harrison South tower and most of the townhouses will remain apartments, although some of the townhouses will be office space.

Established in 1960, South Auditorium was the first urban renewal district executed by the Portland Development Commission, with funds from the US Department of Housing and Urban Development. To accommodate redevelopment of the area, an ethnically heterogeneous, working-class neighborhood containing 336 families, 289 businesses, and 445 buildings was demolished.

Completed in 1965, Portland Center Apartments was the first high-rise residential project in the South Auditorium District. It was designed in the mid-century Modern style by Skidmore

Owings & Merrill architecture firm. The district also includes two small parks with fountains – Pettygrove Park, abutting Harrison West to the north, and Lovejoy Fountain Park, abutting Harrison South to the south. These two parks and the district’s landscape of trees, lighting, and pedestrian paths were designed by landscape architect Lawrence Halprin and architect Charles Moore. The district also contains office buildings, some small-scale retail, and other high-rise residential towers.

The City of Portland established the South Auditorium Plan District to protect the unique character of the South Auditorium urban renewal district, which expired in 1974. The Zoning Code standards of the Plan District focus on maintaining the original character of the district through landscaping requirements, tree preservation, screening of rooftop mechanical equipment, and signage requirements.

With regard to transportation, the City of Portland Transportation System Plan classifies SW Harrison Street as a Regional Transitway/Major Transit Priority Street and a City Bikeway. SW Hall Street and SW 2nd and 3rd Avenues are dedicated pedestrian paths in the South Auditorium District. The east- and westbound Portland Streetcar run along SW Harrison Street adjacent to the site. TriMet bus route #43 is also located on SW Harrison. Additionally, several TriMet bus routes are located on SW Naito Parkway, 1st Avenue, and 4th Avenue nearby. Lastly, the site is located in the Downtown Pedestrian District.

Zoning: The Central Residential (RX) zone is a high-density multi-dwelling zone that allows the highest density of dwelling units of the residential zones. The maximum size of buildings and intensity of use are regulated by floor area ratio limits and other site development standards. The major types of new housing development will be medium- and high-rise apartments and condominiums, often with allowed retail, institutional, or other service-oriented uses.

The design (d) overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

Land Use History: City records indicate seven prior land use reviews for this site.

1. LU 85-004560 DZ (reference file # DZ 24-85): Design Review Approval to remove canopies and trellis.
2. LUR 93-010284 DZ (reference file # 93-00285 DZ): Design Review approval for new free-standing planters and urns, new monument sign, and alterations to courtyard area adjacent to 222 SW Harrison St. Approval for Modification to increase allowable sign area at 111 SW Harrison St from 10 square feet to 77 square feet.
3. LUR 94-011275 DZ (reference file # 94-00373 DZ): Design Review approval to replace existing concrete canopies with steel canopies.
4. LUR 95-012484 DZ (reference file # 95-00591 DZ): Design Review approval for signage improvements, security fencing, garage door, and awning.
5. LUR 98-015873 DZ (reference file # 98-00567 DZ): Design Review approval for above-ground emergency generator tank.
6. LU 07-135758 DZ: Design Review approval for alterations to porte-cochere and main entrance of Harrison South residential tower.
7. LU 08-109557 DZ: Design review approval for a new glass vestibule at the entrance to one of the townhouse units, to accommodate wheelchair turning radius area; required as an accessibility improvement because the unit is being used as the leasing office for Harrison South.

Agency Review: A *Notice of Proposal in Your Neighborhood* was mailed on May 9, 2008. The following Bureaus have responded with no issues or concerns:

- Portland Fire & Rescue;

- Portland Water Bureau;
- Bureau of Environmental Services;
- Bureau of Transportation Engineering & Development;
- Urban Forestry Division of Portland Parks & Recreation;
- Site Development Section of the Bureau of Development Services; and
- Life Safety (Building Code) Section of the Bureau of Development Services.

Neighborhood Review: A *Notice of Proposal in Your Neighborhood* was mailed on May 9, 2008. No written comments in response to the proposal have been received from the neighborhood association (Downtown Community Association) or notified property owners.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of in-fill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d); therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental Design Guidelines.

Central City Fundamental Design Guidelines

These guidelines provide the constitutional framework for all design review areas in the Central City.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central City Plan Design Goals

This set of goals has been developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and

desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A4. Use Unifying Elements.

Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish, and Identify Areas.

Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

C4. Complement the Context of Existing Buildings.

Complement the context of existing buildings by using and adding to the local design vocabulary.

Findings for A4, A5, C4: The proposal continues the design concept of the existing Harrison high-rise development. It draws from the steel-and-cedar frame/trellis concept that was recently added at the porte-cocheres of the towers and the walkways entering the development from the adjacent public pathways. Rather than taking the strictly utilitarian approach often employed for seismic upgrades, which can result in obtrusive elements that diminish the character of existing buildings, the proposal employs the Harrison development's steel-and-cedar design feature to accomplish the upgrades. Similarly, the new concrete buttresses at the southwest corner of the townhouses also constitute seismic upgrades that are accomplished by using the local design vocabulary. This sort of "infrastructure as amenity" design principle enhances the surrounding area and visually connects the townhouses to the rest of the development.

Additionally, the proposal includes the installation of a transom window above the entry door at each townhouse. This will unify the townhouses with the other townhouses of the Harrison development, which all have transom windows above their entry doors.

Therefore these guidelines are met.

A6. Reuse/Rehabilitate/Restore Buildings.

Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings for A6: The proposal calls for seismic and building-code upgrades to the townhouses, which will enable their re-use well into the future. *Therefore this guideline is met.*

A7. Establish and Maintain a Sense of Urban Enclosure.

Define public rights-of-way by creating and maintaining a sense of urban enclosure.

C1. Enhance View Opportunities.

Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity. Size and place new buildings to protect existing views and view corridors. Develop building façades that create visual connections to adjacent public spaces.

C6. Develop Transitions between Buildings and Public Spaces.

Develop transitions between private development and public open space. Use site design features such as movement zones, landscape element, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.

Findings for A7, C1, C6: The steel-and-cedar frames to be located between Buildings A and B and between Buildings B and C will foster a sense of urban enclosure and contribute to the gateway feel of the existing walkway. The frames act as an archway element, imbuing a sense of arrival as one walks north toward the tower and deeper into the inner courtyard-style area of the Harrison South development. The frames make the walkways into stronger transition zones between the private space of the development and the public space of the pedestrian

walkway and adjacent Lovejoy Fountain. The steel-and-cedar frames foster a gateway-type element but are light enough not to obstruct views of the tower or the fountain. *Therefore these guidelines are met.*

A8. Contribute to a Vibrant Streetscape.

Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

B1. Reinforce and Enhance the Pedestrian System.

Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through super-blocks or other large blocks.

Findings for A8, B1: The proposal includes the addition of a transom window above the entry door at each townhouse. By increasing transparency on the front facades of the townhouses, the windows strengthen the visual connection between the townhouse interiors and adjacent pathways. The new handrails will give definition to the building frontage zone by adding another repetitive element of articulation to the front facades of the townhouses. The steel-and-cedar frames will add definition to the movement zone of the walkways entering the development by acting as a gateway-type feature. *Therefore these guidelines are met.*

B2. Protect the Pedestrian.

Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

C11. Integrate Roofs and Use Rooftops.

Integrate roof function, shape, surface materials, and colors with the building's overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective stormwater management tools.

Findings for B2, C11: The proposal includes a condensing unit on the rooftop of each townhouse. There will be three units on Building A, four on Building B, and two on Building C. Each unit will be 2'-2" long x 2'-2" wide x 2'-0" tall, mounted on a 0'-4"-tall curb. Each unit will extend 1'-10" above the building parapet. The units will be located as far as possible from roof edges. The units' relatively small size and their location away from roof edges protect views of the Harrison South tower, Lovejoy Fountain, and the surrounding landscape. As opposed to locating the units on the ground or on the patios of the townhouses, which would be visually and aurally obtrusive, placing the units on the rooftops ensures that they will not detract from the pedestrian environment. *Therefore these guidelines are met.*

B7. Integrate Barrier-Free Design.

Integrate access systems for all people with the building's overall design concept.

Findings for B7: A steel handrail will be added to the existing concrete stair walkways leading to the front doors of the townhouses in all three buildings. Currently, each stair walkway has a handrail on only one side; however, current life-safety requirements call for a handrail on both sides. The new handrails will make the stair walkways easier to traverse for people with physical disabilities. *Therefore this guideline is met.*

C2. Promote Quality and Permanence in Development.

Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity.

Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C5. Design for Coherency.

Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for C2, C3, C5: The proposal uses design principles that promote a sense of permanence. The steel-and-cedar frame/trellis concept that was recently added at various locations on the high-rise towers and other townhouses is being drawn upon to accomplish necessary seismic upgrades. This integrates the seismic upgrades with the character of the development and establishes them as a permanent part of the development's design. Similarly, the concrete buttresses being added at the southwest corner of the townhouses also constitute seismic upgrades that are fully integrated with the character of the existing development, promoting them as permanent design features.

The proposal also employs building materials that impart a sense of permanence. The frames will be composed of steel and cedar that are similar to the existing steel-and-cedar features of the Harrison development; the buttresses will be concrete that matches the existing buttresses; the rooftop condensing units will be made of metal; the new transom windows will be metal and exactly match the existing transom windows on other townhouses; and the new handrails will be steel to match the existing handrails. These durable materials are compatible with the existing townhouses and contribute to their design coherency, allowing them to remain a unified composition.

Therefore these guidelines are met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal uses high-quality materials that are integrated with the design concept of the existing townhouses, allowing the development to remain a coherent composition. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of concrete buttresses, steel-and-cedar frames, transom windows, and handrails, per the approved site plans, Exhibits C-1 through C-9, signed and dated 06/06/08, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C-1 through C-9. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 08-120237 DZ. No field changes allowed."

Decision rendered by:  on June 5, 2008
By authority of the Director of the Bureau of Development Services

Decision mailed: June 9, 2008

Staff Planner: Kate Marcello

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on April 4, 2008, and was determined to be complete on April 18, 2008.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on April 4, 2008.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on June 23, 2008** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for

property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **June 24, 2008 – (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

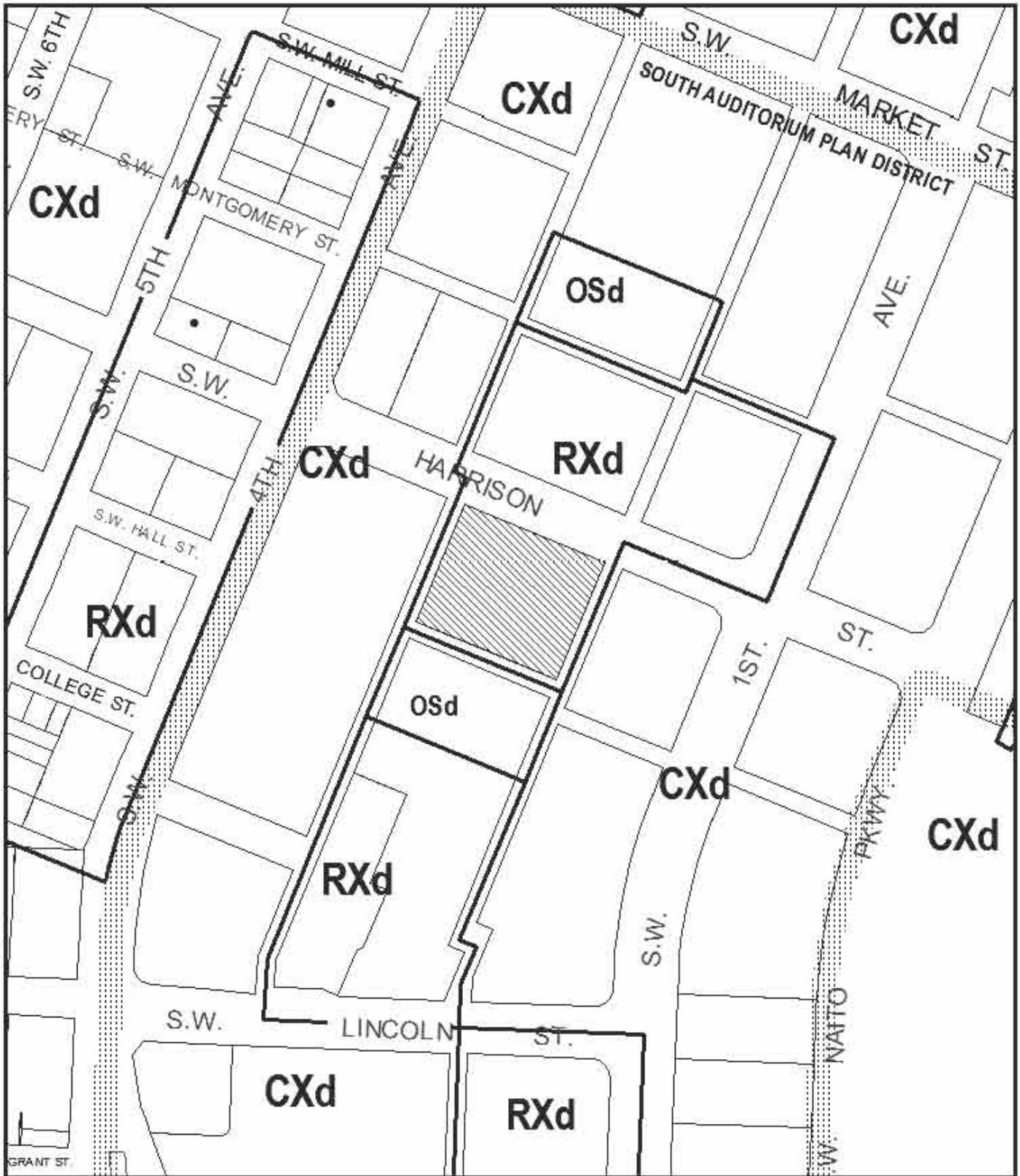
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (*attached*)
- C. Plans/Drawings:
 - 1. Site/Roof Plan (*attached*)
 - 2. Perspective Drawing (*attached*)
 - 3. North Elevation Drawing (*attached*)
 - 4. South Elevation Drawing (*attached*)
 - 5. West Elevation Drawing (*attached*)
 - 6. Enlarged Elevation of Steel-and-Cedar Frame (*attached*)
 - 7. Drawing of Steel-and-Cedar Frame at Building Wall
 - 8. Specification Sheet for Condensing Units
 - 9. Drawing of Section at Steel-and-Cedar Frame
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
None received.
- F. Correspondence:
None received.
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).



ZONING



Site



Historic Landmark



NORTH

This site lies within the:
CENTRAL CITY/SOUTH AUDITORIUM PLAN DISTRICT

File No. LU 08-120237 DZ

1/4 Section 3229

Scale 1 inch = 200 feet

State_Id 1S1E03CB 1100

Exhibit B (Apr 10,2008)

Approved

City of Portland - Bureau of Development Services

Planner Kathleen Date 6-5-08

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

Harrison South Town Homes
Registered Architects
222 S W Harrison
Portland Oregon
STEVEN ROUNTON
ARCHITECT/LIC
5109 Tualata Lane
97003
Phone (503) 620-6713

AI

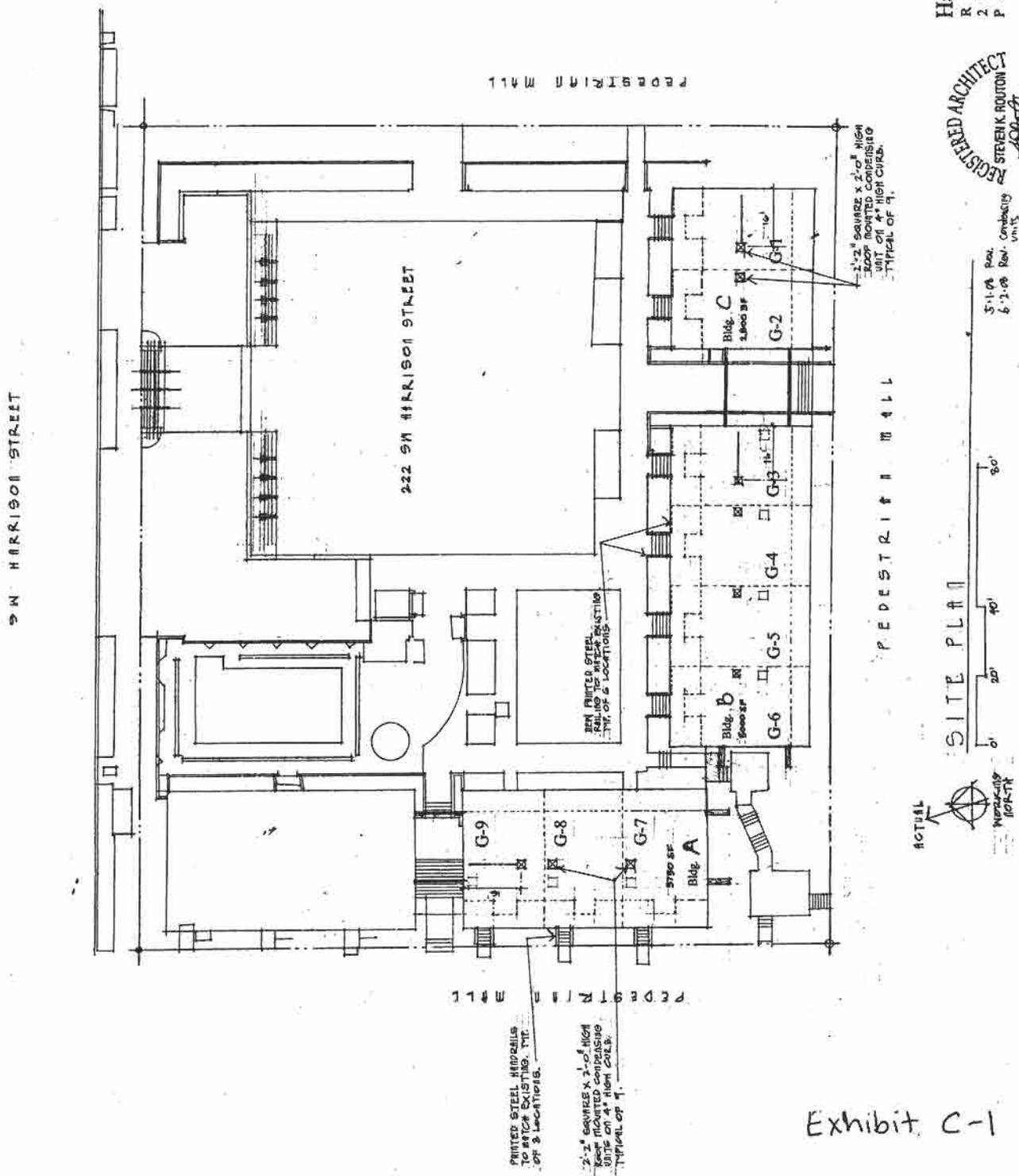


Exhibit C-1

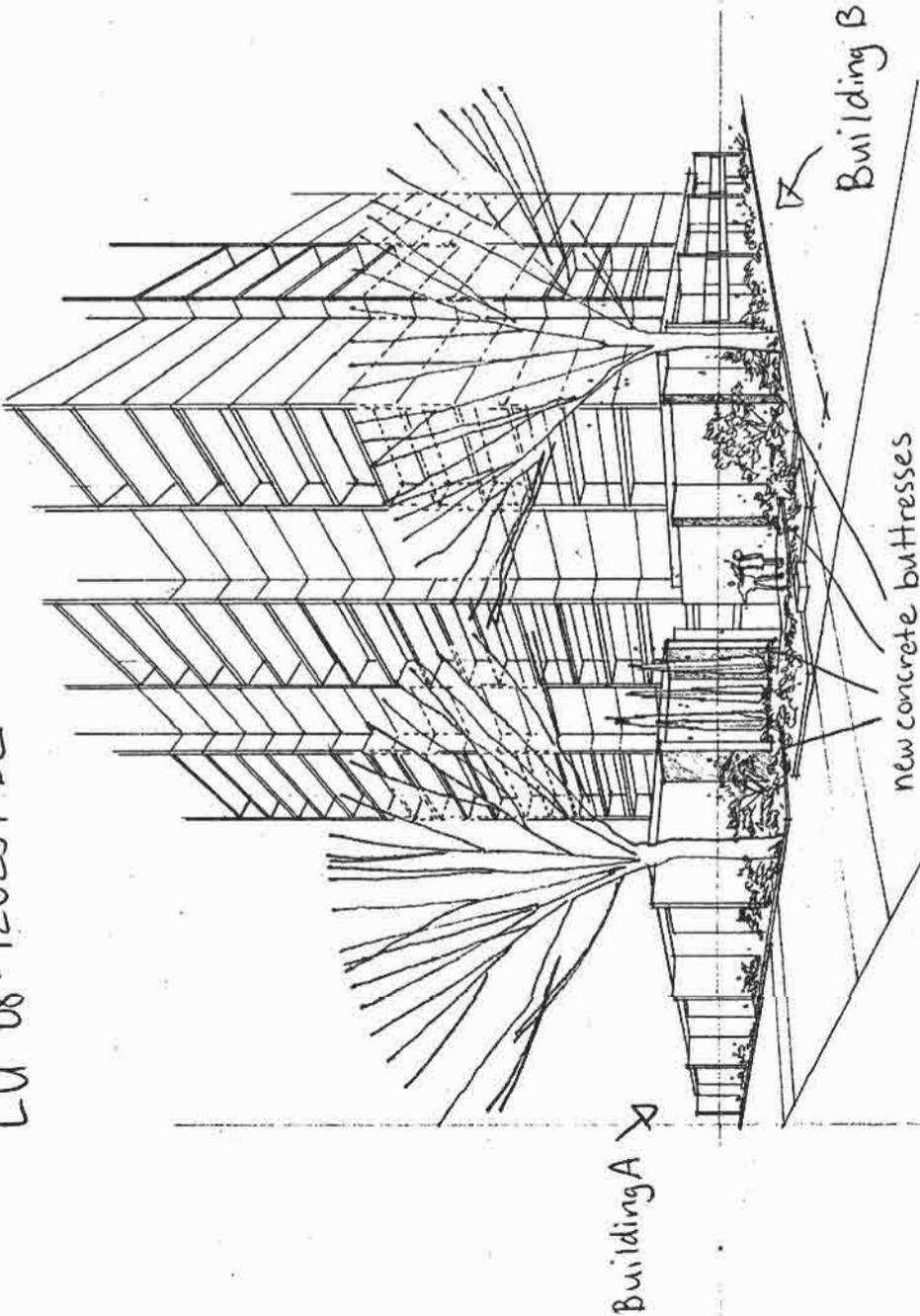
Approved

City of Portland - Bureau of Development Services

Planner Kathleen Date 6-5-08

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

LU 08-120237 DZ



PERSPECTIVE VIEW FROM SOUTHWEST

Harrison South Townhomes
Exterior Renovations
222 S W Harrison
Portland Oregon

STEVEN ROUNTON
ARCHITECT/LLC
5160 tuatata lane
97030
tele (503) 620-6713
skrchitect@verizon.net

3-28-08
R.A. Rev.

Exhibit C-2

LU 08-120237 DZ

Approved

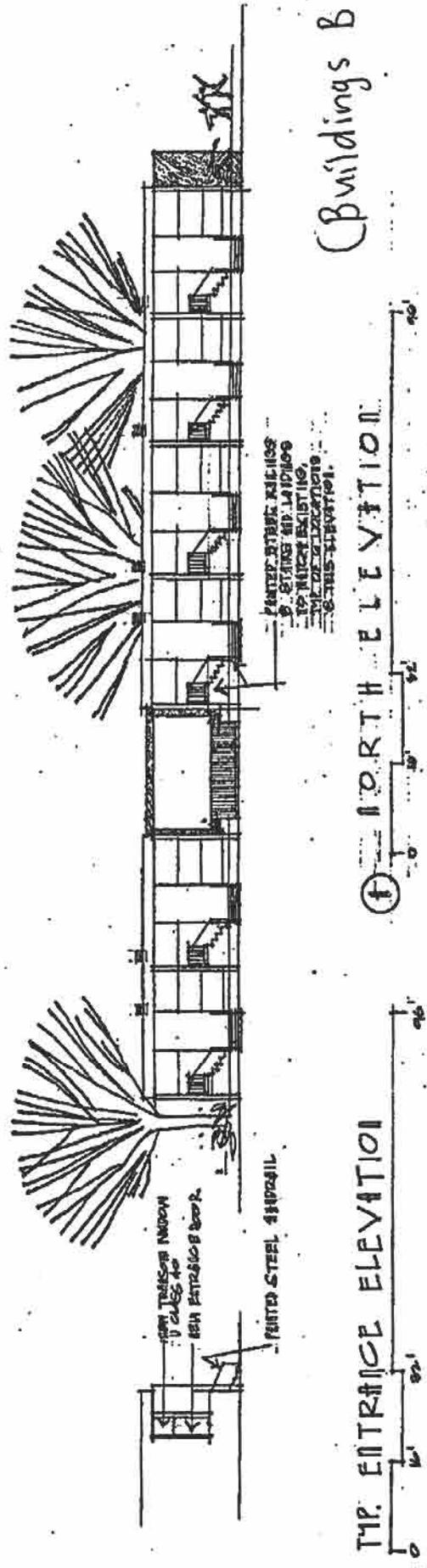
City of Portland - Bureau of Development Services

Planner *Kathleen*

Date

6-5-08

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



(Buildings B and C)

* "New entrance door" not part of Design Review. Considered replacement in kind.

Exhibit C-3

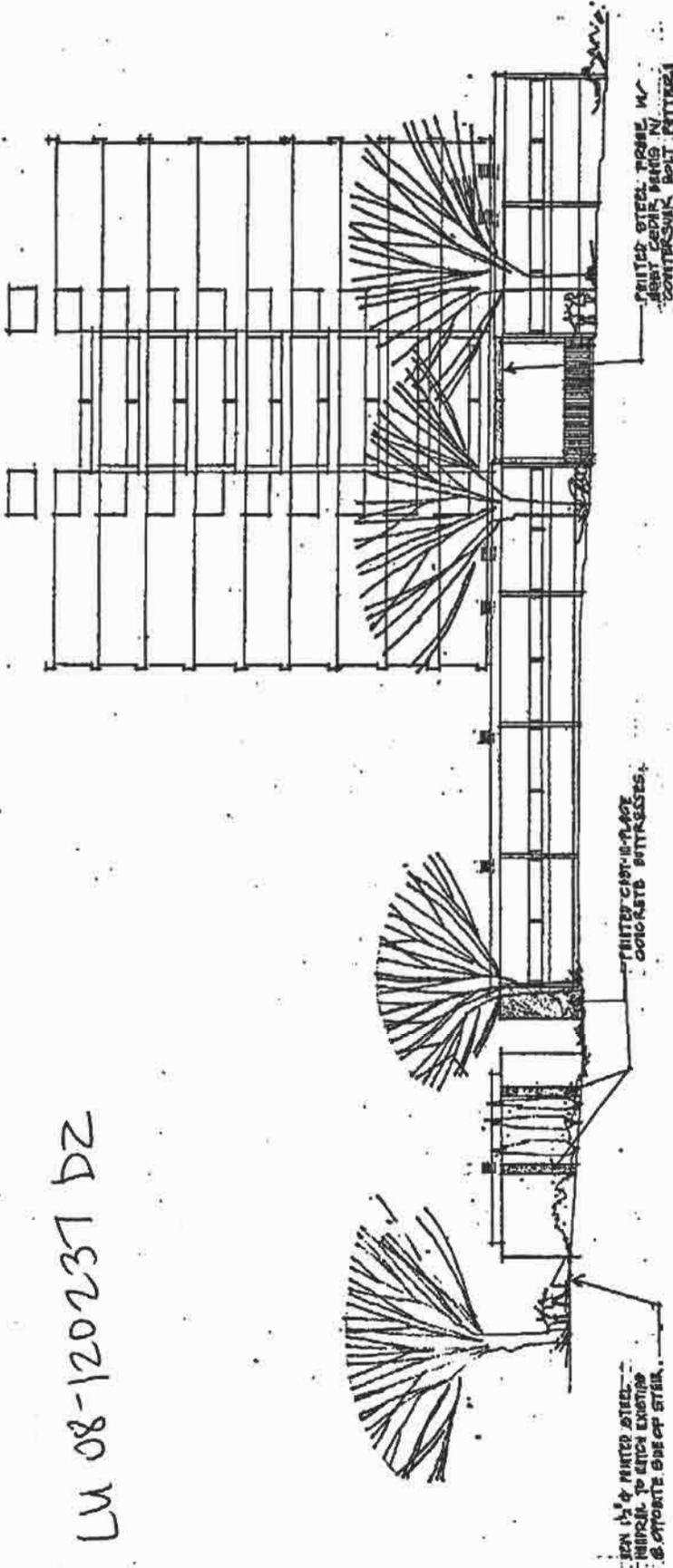


Harrison South Town Homes
R o s e v a t i o n s
2 2 2 S W H a r r i s o n
P o r t l a n d O r e g o n

Steven Routhon
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97030-3533
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starrhills@verizon.net

A23

LU 08-120237 DZ



© SOUTH ELEVATION

(Buildings B and C)

Exhibit C-4

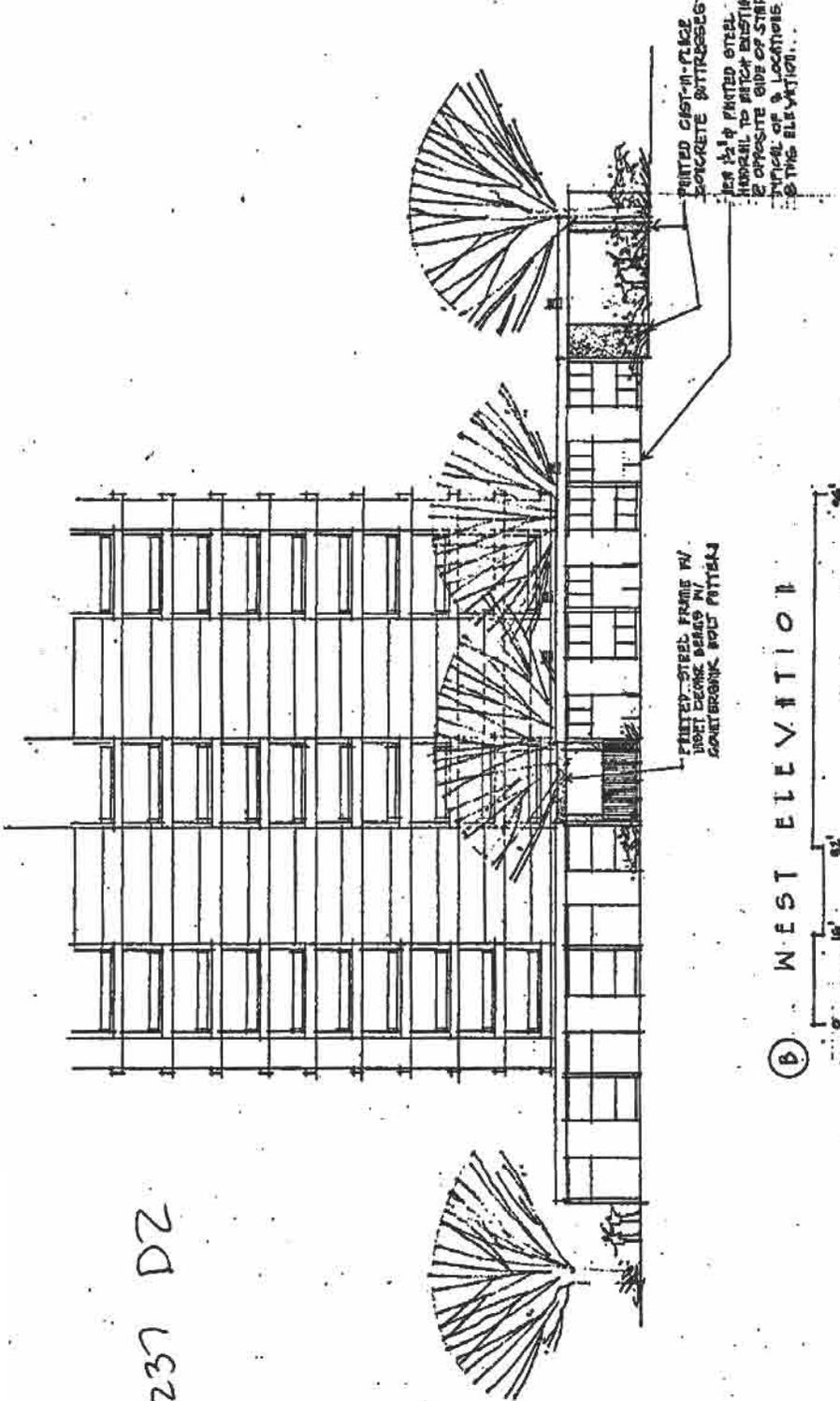
Approved
 City of Portland - Bureau of Development Services
 Planner Kathleen Date 6-5-08
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



Harrison South Town Homes
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A22

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(B) WEST ELEVATION

(Building A)

Exhibit C-5

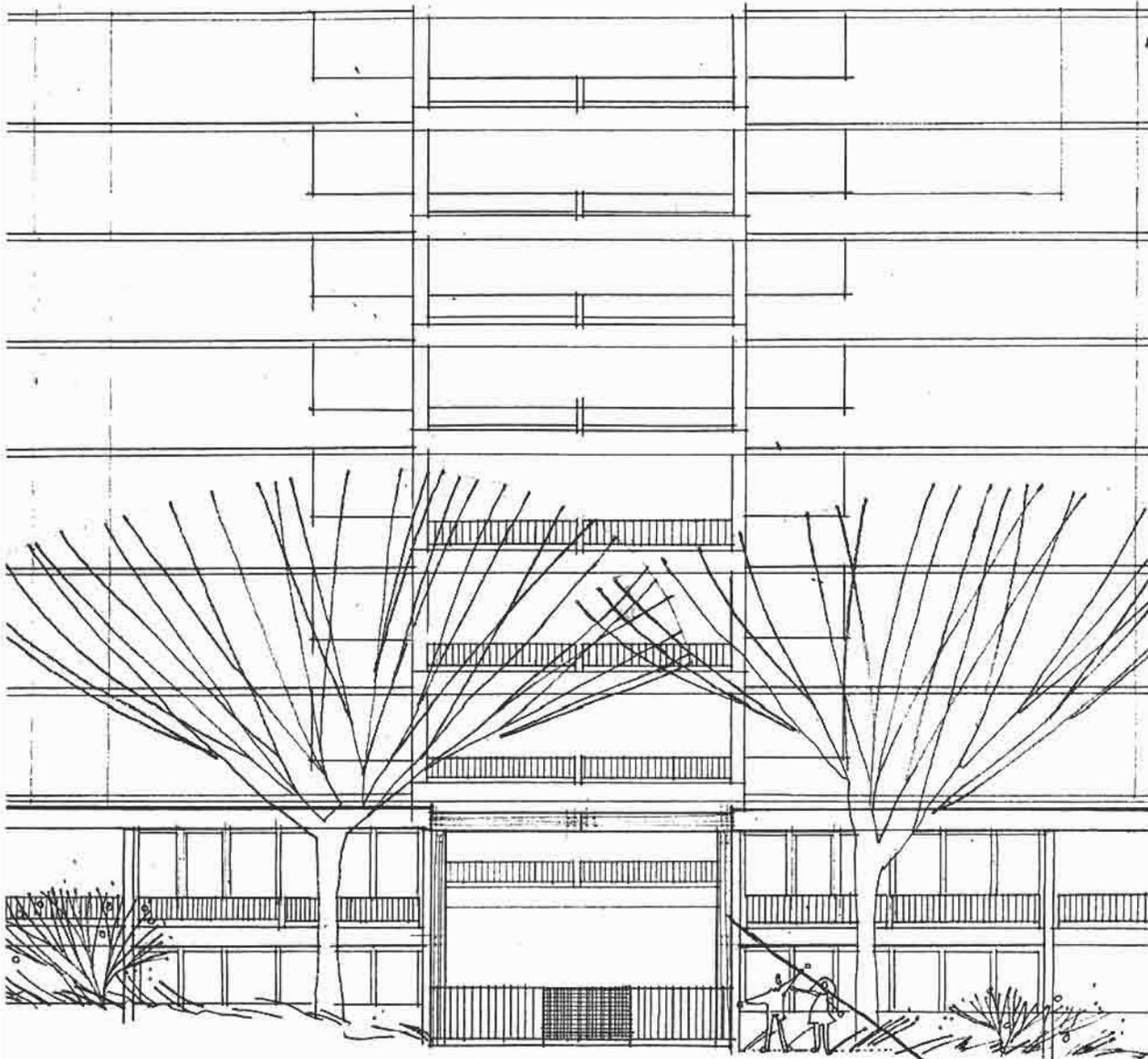
Approved
 City of Portland - Bureau of Development Services
 Planner *Carth...* Date 6-5-08
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



Harrison South Town Homes
 Registered Architects
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A24



ENLARGED SOUTH ELEVATION

Painted Steel Wide Flange with Inset Cedar

Harrison South Town Homes
 Renovations
 222 S W Harrison
 Portland Oregon

steven routon
 ARchitect / llc
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Approved

City of Portland - Bureau of Development Services

Planner Kathleen Date 6-5-08

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