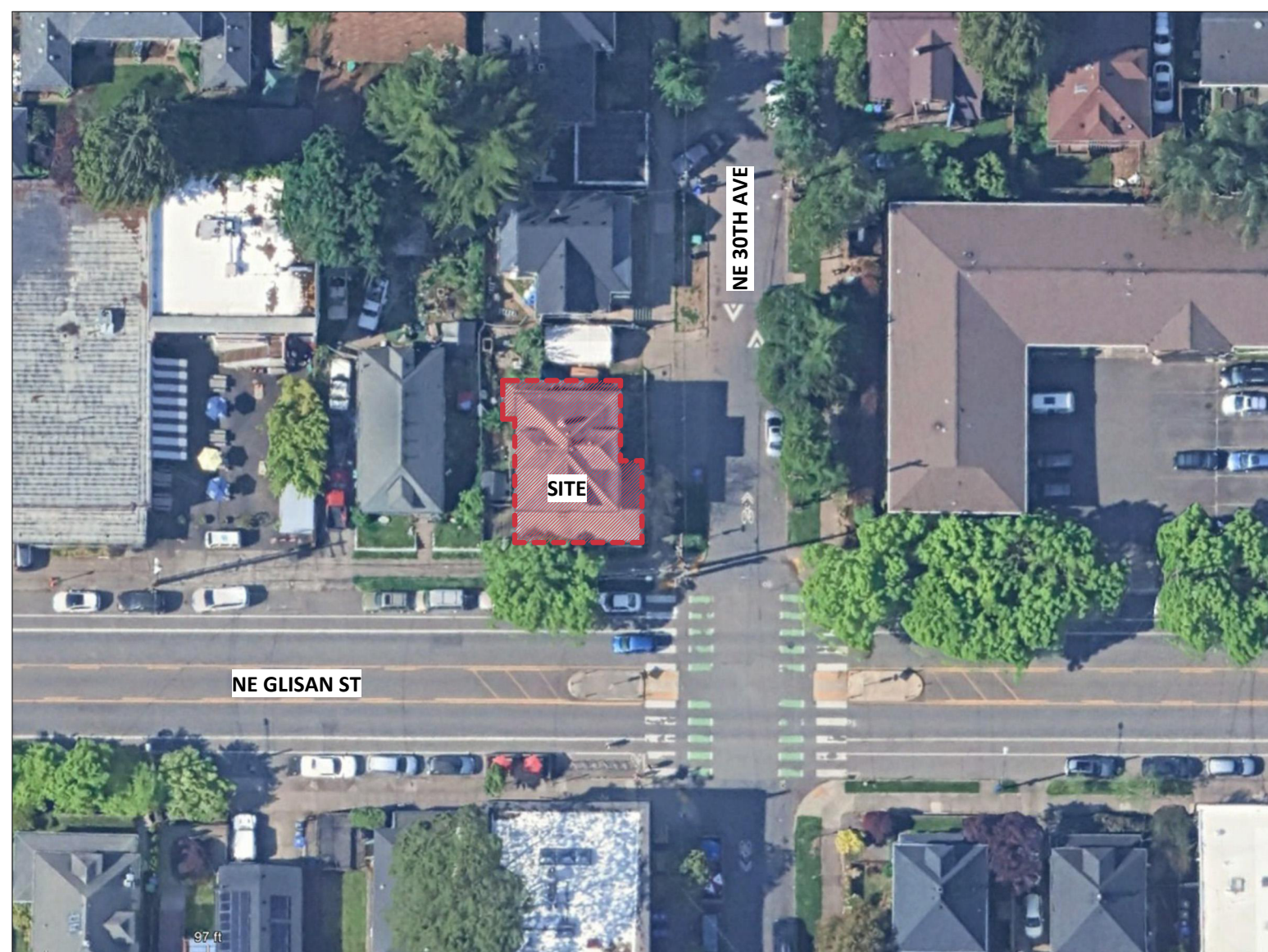


Location Plan



Aerial Plan

**HATCH LEGEND**

	CONCRETE		EARTH
	MASONRY		GRAVEL
	MORTAR		INSULATION - RIGID
	CONCRETE BLOCK		INSULATION - SEMI-RIGID
	TERRA COTTA		INSULATION - BATT
	PLASTER		INSULATION - CLOSED CELL
	GYPSUM BOARD		ASPHALT
	ALUMINUM		WOOD - FINISH
	STEEL		WOOD - CONTINUOUS
	INDICATES EXISTING		WOOD - BLOCKING

# Commercial Conversion TI

## Laurelhurst Asset Management

2953 NE Glisan Street

### PROJECT INFORMATION

**PROJECT ADDRESS:** 2953 NE GLISAN ST  
PORTLAND, OR 97232

**DESCRIPTION:** COMMERCIAL CONVERSION

**PROPERTY ID:** R177525

**TOTAL SITE AREA:** 0.07 acres (2,900 SQ FT)

### SYMBOL LEGEND

	PROPERTY LINE		CENTER LINE
	KEYNOTE TAG		NORTH ARROW
	GRIDS		LEVEL HEAD
	SPOT ELEVATION		DOOR TAG
	REVISION TAG		MATERIAL TAG
	WALL TAG		CEILING TAG
	HORIZONTAL ASSEMBLY TAG		WINDOW TAG
	DRAWING TITLE		DRAWING TITLE
	BUILDING ELEVATION TAG		BUILDING ELEVATION TAG
	WALL SECTION TAG		BUILDING SECTION TAG
	DETAIL TAG		DETAIL TAG
	INTERIOR ELEVATION TAG		INTERIOR ELEVATION TAG
	ROOM TAG		ROOM TAG

### PROJECT DIRECTORY

**OWNER/TENANT** Laurelhurst Asset Management  
1001 SE Water Ave, Suite 217  
Portland, OR 97214  
Contact: John Liu  
Phone: (503) 206-8773  
E-Mail: johnliu@laurelhurstasset.com

**ARCHITECT** Peter Meijer Architect, PC  
2232 SE Clinton Street  
Portland, OR 97202  
Contact: Skylla Leavitt  
Phone: (458) 278-7559  
E-Mail: skylla@pmapdx.com

### PERMIT SET

1/29/2026

# APPEAL REFERENCE DRAWINGS

### SHEETS

<b>00 GENERAL</b>		
G001	PROJECT INFORMATION	•
G006	CODE ANALYSIS & OCCUPANCY COUNT	•
G007	CODE ANALYSIS, APPEAL & REVIEW	•
G110	SITE PLAN & ELEVATIONS	•
G111	FIRE & LIFE SAFETY - PLANS	•
G112	FIRE & LIFE SAFETY - PLANS	•
G200	ACCESSIBILITY DIAGRAMS	•
<b>03 ARCHITECTURAL</b>		
A111	FLOOR PLANS	•

### GENERAL NOTES

- WORK SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES IN FORCE AT TIME OF BUILDING PERMIT ISSUANCE.
- THE CONTRACTOR, SUBCONTRACTORS, ASSOCIATED VENDORS AND SUPPLIERS MUST READ, UNDERSTAND AND COMPLY WITH ALL APPLICABLE PROVISIONS OF THE CONSTRUCTION DOCUMENTS FOR THE PROJECT.
- UNLESS OTHERWISE NOTED, PLAN DIMENSIONS SHOWN ARE:
  - AT INTERIOR PARTITIONS: TO THE FACE OF GYPSUM
  - AT COLUMNS: TO THE CENTERLINE OF COLUMN
  - AT CONCRETE OR CMU: TO FACE OF CONCRETE OR CMU
  - AT EXTERIOR WALL: TO THE FACE OF MASONRY
  - DOORS NOT LOCATED BY DIMENSION ON PLANS SHALL BE FOUR INCHES FROM FACE OF ADJOINING PARTITION OR OTHER OBSTRUCTION TO STRIKE JAMB EDGE OF DOOR OPENING. UNLESS OTHERWISE NOTED, NOTIFY OWNER IF REQUIRED CLEARANCES ARE NOT AVAILABLE.
- VERIFY ALL DIMENSIONS, EXISTING CONDITIONS ON THE JOB PRIOR TO PROCEEDING WITH THE WORK.
- PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, OR CODES, REGULATIONS, OR RULES OF JURISDICTIONS HAVING AUTHORITY.
- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.
- REPETITIVE FEATURES ARE NOT INDICATED IN THE DRAWINGS EVERYWHERE THAT THEY OCCUR SHALL BE PROVIDED AS IF DRAWN IN FULL. NOT ALL OCCURRENCES OF A FEATURE ARE NOTED IN EVERY CASE.
- DO NOT SCALE DRAWINGS; REQUEST CLARIFICATION FOR DIMENSIONS THAT ARE NOT APPARENT.

- ISSUED
- ◊ REVISED
- ✕ DELETED
- ISSUED FOR REFERENCE ONLY

### ABBREVIATIONS

(E)	EXISTING	FOS	FACE OF STUDS	P	PAINT
(N)	NEW	FR	REFRIGERATOR/FREEZER	PC	PRECAST CONCRETE
AB	ANCHOR BOLT	FRMG	FRAMING	PL	PROPERTY LINE
ACT	ACOUSTICAL CEILING TILE	FRTW	FIRE RETARDANT TREATED WOOD	PLAM	PLASTIC LAMINATE
ADDL	ADDITIONAL	FS	FLOOR SINK	PLWD	PLYWOOD
AFF	ABOVE FINISH FLOOR	FT	FOOT, FEET	PT	PAINT, PRESSURE TREATED
ALUM	ALUMINUM	FTG	FOOTING	PVG	PAVING
ANOD	ANODIZE(ED)	GA	GAGE	R	RADIUS, RISER
APPROX	APPROXIMATE	GALV	GALVANIZED, GALVANIC	RB	RUBBER/RESILIENT BASE
ARCH	ARCHITECT (URAL)	GAR	GAR	RCP	REFLECTED CEILING PLAN
BD	BOARD	GC	GENERAL CONTRACTOR	RD	ROOF DRAIN, ROAD
BCGW	BELOW GRADE WATERPROOFING	GEN	GENERAL	REQD	REQUIRED
BIO	BIOLOGICAL / BIOLOGICAL GROWTH	GL	GLASS/GLAZING	RF	REQUIRED FLOORING
BITUM	BITUMINOUS	GP	GYPSUM / GYPSUM VENEER PLASTER	RM	ROOM
BLDG	BUILDING	GRB	GRAB BAR	RMB	ROOF MEMBRANE
BLKG	BLOCKING	GRT	GROUT	RNG	RANGE
BM	BEAM	GWB	GYPSUM WALLBOARD	RO	ROUGH OPENING
BO	BOTTOM OF	GYP	GYPSUM	RR	ROBE RACK
BOT	BOTTOM	H	HIGH	RST	RUBBER STAIR TREADS
BR	BRICK	HB	HOSE BIBB	S	SOUTH
BRKN	BROKEN	HCT	HOLLOW CLAY TILE	SAM	SELF-ADHERING MEMBRANE
BT	BASE TRIM	HD	RANGE HOOD	SAM-HT	SELF-ADHERING MEMBRANE HIGH TEMP
C	CHANNEL	HDW	HARDWARE	SAM-MC	SELF-ADHERING MEMBRANE METAL CLAD
CB	CATCH BASIN	HM	HOLLOW METAL	SCHED	SCHEDULE
CF/OI	CONTRACTOR FURNISHED / OWNER INSTALLED	HORIZ	HORIZONTAL	SF	SQUARE FOOT (FEET)
CG	CORNER GUARD	HR	HOUR	SHT	SHEET
CL	CENTERLINE	HRL	HANDRAIL	SHTHG	SHEATHING
CLG	CEILING	HT	HEIGHT	SIM	SIMILAR
CLR	CLEAR	HVAC	HEATING, VENTILATION, AIR CONDITIONING	SK	SINK
CMU	CONCRETE MASONRY UNIT	IBC	INTERNATIONAL BUILDING CODE	SOG	SLAB ON GRADE
COAT	COATING	INCL	INCLUDING (ED)	SOR	SINGLE OCCUPANT TOILET
COL	COLUMN	INCL	INCLUDING (ED)	SP	STANDPIPE
CONC	CONCRETE	INFO	INFORMATION	SPKLR	SPRINKLER
CONT	CONTINUOUS	INSUL	INSULATION	SQ	SQUARE
CONTR	CONTRACT (OR)	INT	INTERIOR	SS	SANITARY SEWER, STANDING SEAM
COORD	COORDINATE / COORDINATION	JAN	JANITOR	SST	STAINLESS STEEL
COORD	COORDINATE / COORDINATION	JAN	JANITOR	ST	STAIRS, STREET
CPT	CERAMIC TILE	LD	LONG	STD	STANDARD
CT	CERAMIC TILE	LV	LAVATORY	STOR	STORAGE
DEMO	DEMOLISH, DEMOLITION	MASN	MASONRY	STRUCT	STRUCTURE (AL)
DEF	DEFICIENCY	MATL	MATERIAL	SUSP	SUSPEND(ED)
DET	DETERIORATED	MAX	MAXIMUM	SV	SHEET VINYL
DETL	DETAIL	MECH	MECHANICAL	T	TREAD
DF	DRINKING FOUNTAIN	METL	METAL	TC	TERRA COTTA
DIA	DIAMETER	MC	MEDICINE CABINET	TB	TACK BOARD
DM	DIMENSION	MCW	MICROWAVE	TFF	TOP OF FINISH FLOOR
DN	DOWN	MD	METAL DECKING	TFR	TRANSFORMER
DW	DISHWASHER	MFD	MANUFACTURED	THRU	THROUGH
DWG	DRAWING	MFR	MANUFACTURE (R)	TMPD	TEMPERED
E	EAST	MIN	MINIMUM, MINUTE	TOM	TOP OF MASONRY
EA	EACH	MISC	MISCELLANEOUS	TTD	TOILET TISSUE DISPENSER
EL	ELEVATION	MO	MASONRY OPENING	TYP	TYPICAL
ELEC	ELECTRIC (AL)	MP	METAL PANEL	UON	UNLESS OTHERWISE NOTED
ELEV	ELEVATOR	MR	MIRROR	UTIL	UTILITY
ENCL	ENCLOSE (URE)	MTD	MOUNTED	VEH	VEHICLE
EQ	EQUAL	NA	NOT APPLICABLE	VERT	VERTICAL
EQUIP	EQUIPMENT	NIC	NOT IN CONTRACT	VLB	VERTICAL LOUVER BLIND
ESP	ELEVATOR SUMP PUMP	NO	NOMINAL	VRFY	VERIFY
EW	EACH WAY	NOM	NOMINAL	VIF	VERIFY IN FIELD
EX	EXISTING	NTS	NOT TO SCALE	VPS	VENEER PLASTER SYSTEM
EXP	EXPANSION	OA	OVERALL	W	WEST, WIDE, WASHER
EXT	EXTERIOR	OC	ON CENTER	W/	WITH
FA	FLUID APPLIED FLASHING	OD	OUTSIDE DIAMETER	WO	WITHOUT
FD	FLOOR DRAIN	OF/CI	OWNER FURNISHED, CONTRACTOR INSTALLED	WC	WATER CLOSET
FDN	FOUNDATION	OF/OI	OWNER FURNISHED, OWNER INSTALLED	WCT	WAINSCOT
FEC	FIRE EXTINGUISHER CABINET	OH	OVERHANG	WD	WOOD, WOOD DOOR
FF	FINISH FACE	OPH	OPPOSITE HAND	WDC	ARCHITECTURAL WOOD CABINETS
FH	FUME HOOD	OPNG	OPENING	WDW	WINDOW
FIN	FINISH (ED)	OPP	OPPOSITE	WK	WALK OFF MATT
FLR	FLOOR	ORD	OVERFLOW ROOF DRAIN	WR	WEATHER RESISTANT, WATER REPELLENT
FOC	FACE OF CONCRETE	OVHD	OVERHEAD	WRB	WEATHER RESISTIVE BARRIER
FOF	FACE OF FINISH			WSCT	WAINSCOT
FOM	FACE OF MASONRY				



PETER MEIJER ARCHITECT, PC  
2232 SE Clinton Street  
Portland, OR 97202  
Phone: (503) 517-0283  
www.pmapdx.com

Consultant:

Stamp:



Commercial Conversion TI  
2953 NE Glisan Street

Owner:  
Laurelhurst Asset Management  
1001 SE Water Ave, Suite 217,  
Portland, OR 97214

Revisions:

No.	Description	Date

Project Number:

25-007

Issuance:

PERMIT SET

Issue Date:

1/29/2026

Drawn By:

SL

Checked By:

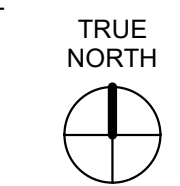
PM

Sheet Title:

PROJECT INFORMATION

Sheet Number:

G001



## GENERAL INFORMATION

### SUMMARY OF WORK

CHANGE OF OCCUPANCY FROM R-3 TO B (COFFEE SHOP), ACCESSIBLE ROUTE IMPROVEMENTS VIA PLATFORM LIFT (SEE DELEGATED DESIGN AND DEFERRED SUBMITTAL), CAFE KITCHEN EQUIPMENT PER PLAN REVIEW BY MULTNOMAH COUNTY HEALTH DEPARTMENT, FOOD PREPARATION LIMITED TO COLD ASSEMBLY AND REHEATING ONLY, NO FRYING, GRILLING, OR GREASE-PRODUCING COOKING PERMITTED.

### PROJECT ADDRESS

2953 NE GLISAN ST, PORTLAND, OR 97232

### BUILDING DESCRIPTION

COMMERCIAL CONVERSION

### ZONING

BASE CM2 - COMMERCIAL MIXED USE 2  
 OVERLAY d - DESIGN  
 BASE OVERLAY COMBINATION CM2g (MU-U)  
 COMP PLAN MIXED USE - URBAN CENTER  
 HISTORIC DISTRICT n/a  
 PLAN DISTRICT n/a  
 URBAN RENEWAL DISTRICT n/a  
 BUSINESS DISTRICT n/a

### APPLICABLE CODES (102.4)

DISCIPLINE	CODE TITLE	EDITION
BUILDING	OREGON STRUCTURAL SPECIALTY CODE (OSSC) BASED ON THE 2021 INTERNATIONAL BUILDING CODE (IBC) INTERNATIONAL EXISTING BUILDING CODE (IEBC) AS MODIFIED BY CHAPTER 34 OF THE 2022 OSSC CITY OF PORTLAND, CITY CODE (TITLE 24) CITY OF PORTLAND, ZONING CODE (TITLE 33)	2022 2021 2025 2025
MECHANICAL	OREGON MECHANICAL SPECIALTY CODE (OMSC) BASED ON THE 2021 INTERNATIONAL MECHANICAL CODE (IMC)	2022
PLUMBING	OREGON PLUMBING SPECIALTY CODE (OPSC) BASED ON THE 2021 UNIFORM PLUMBING CODE	2023
ELECTRICAL	OREGON ELECTRICAL SPECIALTY CODE (OESC) BASED ON THE 2023 NATIONAL ELECTRIC CODE (NEC) WITH STATE AMENDMENTS	2023
ENERGY	OREGON ZERO ENERGY READY COMMERCIAL CODE ANSI/ASHRAE/IES STANDARD 90.1	2025 2022
FIRE	PORTLAND FIRE CODE BASED ON THE 2021 INTERNATIONAL FIRE CODE AND THE 2022 OREGON FIRE CODE	2023
ACCESSIBILITY	OREGON STRUCTURAL SPECIALTY CODE (OSSC) ICC A117.1	2022 2017

## ADMINISTRATIVE REQUIREMENTS

CONSTRUCTION DOCUMENTS	LOCATION IN CONSTRUCTION DOCS
MEANS OF EGRESS: INDICATE LOCATION, CONSTRUCTION, SIZE AND CHARACTER OF ALL PORTIONS OF MEANS OF EGRESS.	G111 - G112
SITE PLAN: INDICATE BUILDING LOCATION RELATIVE TO LOT LINES, STREET GRADES, AND FINISHED GRADES.	G110

## PARKING REQUIREMENTS

CHAPTER 33 (PORTLAND ZONING CODE)				
BICYCLE PARKING (TABLE 266-6)				
	SHORT TERM SPACES REQUIRED	SHORT TERM SPACES PROVIDED	LONG TERM SPACES REQUIRED	LONG TERM SPACES PROVIDED
RETAIL SALES AND SERVICE	2, OR 1 PER 2,700 SF OF NET BUILDING AREA	NONE	2, OR 1 PER 3,800 SF OF NET BUILDING AREA	NONE
<b>TOTAL</b>		<b>PAY INTO BIKE PARKING FUND</b>		<b>PAY INTO BIKE PARKING FUND</b>
VEHICLE PARKING (SECTION 33.266.115) (TABLE 266-2)				
	MAX. ALLOWED	SPACES PROVIDED		
RETAIL SALES AND SERVICE	1 PER 200 SF OF NET BUILDING AREA	0		

## ACCESSIBILITY IMPROVEMENTS

OSSC CHAPTERS 11 AND 34 AND ANSI 117.1		
ACCESSIBLE UPGRADES (ORS 447.241)		VALUATION
ROUTE TO ALTERED AREA	ACCESSIBLE ROUTE TO ALTERED AREAS TO BE PROVIDED VIA PROPOSED PLATFORM LIFT (SEE DELEGATED DESIGN AND DEFERRED SUBMITTAL)	\$30,000
ENTRANCE	ENTRY DOOR MEETS ACCESSIBILITY REQUIREMENTS	\$1,000
RESTROOM	ONE UNISEX RESTROOM PROVIDED AT LEVEL 1; PARTIAL ACCESSIBILITY UPGRADES INCLUDING ACCESSIBLE LAVATORY	\$7,500
<b>TOTAL</b>	(25% OF \$138,500 PROJECT VALUATION REQUIRED)	<b>\$38,500 / 28%</b>

## INTERIOR ENVIRONMENT

OSSC CHAPTER 12 AND OMSC		
<b>VENTILATION OCCUPIED ROOMS</b>	PROVIDED PER 1202.5 NATURAL VENTILATION	
<b>KITCHEN</b>	MECHANICALLY VENTED PER SECTION 403.3.1.1	
<b>TOILET &amp; BATHROOMS</b>	MECHANICALLY VENTED PER SECTION 1202.5.2.1	
<b>LIGHTING NATURAL LIGHTING</b>	PROVIDED PER SECTION 1204.2 (NO CHANGES PROPOSED)	

## USE/OCCUPANCY(S)

CHAPTER 3	
COMMERCIAL: 'B' OCCUPANCY	
CHAPTER 6	
CONSTRUCTION CLASSIFICATION	V-B
SEPARATION OF OCCUPANCIES	NO SEPARATION REQUIREMENT
SPECIAL PROVISIONS	NONE
SPRINKLERED	NOT SPRINKLERED

## CONSTRUCTION TYPE, HEIGHT, + EXTERIOR WALL FIRE RESISTANCE REQ

CHAPTERS 6 & 7		
FIRE RESISTIVE REQUIREMENTS BASED ON CONSTRUCTION TYPE (TABLE 601)		
CONSTRUCTION TYPE: V-B	REQUIRED	PROPOSED
PRIMARY STRUCTURAL FRAME	0	0
BEARING WALLS - EXTERIOR	0	0
BEARING WALLS - INTERIOR	0	0
NONBEARING WALLS AND PARTITIONS - EXTERIOR	PER TABLE 705.5	PER TABLE 705.5
NONBEARING WALLS AND PARTITIONS - INTERIOR	0	0
FLOOR CONSTRUCTION	0	0
ROOF CONSTRUCTION	0	0

## OPENINGS IN EXTERIOR WALLS

CHAPTER 7										
ALLOWABLE AREA OF OPENINGS PER STORY (705.8)										
WALL LOCATION	NORTH (BASEMENT)	NORTH (LEVEL 1)	NORTH (LEVEL 2)	WEST (BASEMENT)	WEST (LEVEL 1)	WEST (LEVEL 2)	WEST (ATTIC)	SOUTH	EAST	
FIRE SEPARATION DISTANCE PROVIDED <sup>a</sup>	11' - 4 1/2"	11' - 4 1/2"	16' - 4"	12' - 4 1/2"	12' - 4 1/2"	12' - 4 1/2"	12' - 4 1/2"	60 FEET	40 FEET	
MAXIMUM AREA OF UNPROTECTED, NONSPRINKLERED OPENINGS <sup>b</sup>	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT	
EXISTING AREA OF ELEVATION	168 SF	248 SF	180 SF	158 SF	354 SF	223 SF	23 SF	N/A	N/A	
EXISTING AREA OF OPENINGS (UNPROTECTED)	22 SF (13%)	11 SF (5%)	22 SF (13%)	21 SF (14%)	49 SF (14%)	27 SF (12%)	4 SF (17%)	N/A	N/A	
PROPOSED AREA OF OPENINGS	NO CHANGES	NO CHANGES	NO CHANGES	NO CHANGES	NO CHANGES	NO CHANGES	NO CHANGES	NO CHANGES	NO CHANGES	

<sup>a</sup> DISTANCES ARE MEASURED TO CENTER OF RIGHT-OF-WAY OR PROPERTY LINE  
<sup>b</sup> BASED ON 705.8.1 EXCEPTION 2 FOR BUILDING PERMITTED TO HAVE UNLIMITED OPENINGS.

## MEANS OF EGRESS

OSSC CHAPTER 10			
MAX FLOOR AREA ALLOWANCE PER OCCUPANT FUNCTION OF SPACE	TABLE 1004.5 OCCUPANT LOAD FACTOR	DEAD ENDS (MAXIMUM)	SECTION 1020.4
ACCESSORY STORAGE, MECHANICAL, EQUIPMENT	300 GROSS	WITHOUT SPRINKLER SYSTEM GROUP B	20 FT
ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED	15 NET	LENGTH PROVIDED	SEE G111 TO G112
BUSINESS	150 GROSS		
EXIT ACCESS TRAVEL DISTANCE (MAXIMUM) WITHOUT SPRINKLER SYSTEM GROUPS B	TABLE 1017.2 200 FT	COMMON PATH OF EGRESS TRAVEL (MAXIMUM) WITHOUT SPRINKLER SYSTEM GROUP B	TABLE 1006.2.1 OL < 30 / OL > 30 100 FT / 75 FT
EXIT ACCESS DISTANCE PROVIDED	SEE G111 TO G112	COMMON PATH OF TRAVEL PROVIDED	SEE G111 TO G112

### STAIRWAY WIDTH (1011.2)

WIDTH: 36" SERVING LESS THAN 50 OCCUPANTS  
 HEADROOM: 80" MINIMUM  
**36" PROVIDED**

## PLUMBING FIXTURE REQUIREMENTS

	WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS		DRINKING FOUNTAINS	
	MALE REQUIRED	FEMALE PROVIDED	MALE REQUIRED	FEMALE PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
<b>LEVEL 2 (BUSINESS)</b>								
B (OFFICE) (7 OCCUPANTS)	1 PER 25 FOR THE FIRST 50 1 PER 50 FOR THE REMAINDER	1 WATER CLOSET	1 PER 40	1	0	1 EXISTING	0	0
<b>LEVEL 1 (RESTAURANT)</b>								
B (COFFEE SHOP) (44 OCCUPANTS)	1 PER 75	1 WATER CLOSET	1 PER 200	1	0	0	0	0
<b>LEVEL 0 (BUSINESS)</b>								
B (OFFICE / STORAGE) (5 OCCUPANTS)	1 PER 25 FOR THE FIRST 50 1 PER 50 FOR THE REMAINDER	1 WATER CLOSET	1 PER 40	1	0	1 EXISTING	0	0
<b>TOTAL</b>		<b>3 WATER CLOSETS</b>		<b>3 SINGLE USER RESTROOMS</b>	<b>3 LAVATORIES</b>	<b>3 LAVATORIES</b>	<b>0</b>	<b>2 EXISTING BATHTUBS</b>

## ALLOWABLE AND PROPOSED BUILDING HEIGHTS AND AREAS

CHAPTER 5			
BLDG HEIGHT / AREA (TABLES 504.3, 504.4, 506.2)	OCCUPANCY: B		
	OCCUPANCY	ALLOWABLE	EXISTING
BUILDING HEIGHT	B	40 FT	31 FT *
NUMBER OF STORIES	B	2	3
BUILDING AREA	B	36,000 SQFT	2,688 SQFT
CHAPTER 5			
BUILDING AREA	ALLOWABLE	EXISTING	PROPOSED
BASEMENT	9,000 SQFT	711 SQFT	711 SQFT
LEVEL 1	9,000 SQFT	812 SQFT	812 SQFT
LEVEL 2	9,000 SQFT	721 SQFT	721 SQFT
ATTIC	9,000 SQFT	444 SQFT	UNOCCUPIED
TOTAL	36,000 SQFT	2,688 SQFT	2,244 SQFT

\* EXISTING CONDITION TO REMAIN, NO INCREASES IN BUILDING HEIGHT PROPOSED.

# APPEAL REFERENCE DRAWINGS

## EXISTING OCCUPANCY

NAME	OCC	COMMENTS	AREA	LOAD FACTOR	OCC LOAD
<b>Basement</b>					
UNIT 3 - Kitchen	R-3		137 SF	200 GROSS	1
UNIT 3 - Bedroom	R-3		215 SF	200 GROSS	2
UNIT 3 - Bathroom	R-3		81 SF	200 GROSS	1
UNIT 3 - Circulation	R-3		84 SF	200 GROSS	1
Garage	R-3		157 SF	200 GROSS	1
Exterior Shed	UNOCC.		54 SF	0	0
Porch Crawlspace	UNOCC.		284 SF	0	0
			<b>1011 SF</b>		<b>6</b>
<b>Level 1</b>					
Entry Circulation	R-3	Redundant Room		200 GROSS	1
UNIT 1 - Kitchen	R-3		198 SF	200 GROSS	1
UNIT 1 - Living Room	R-3		340 SF	200 GROSS	2
UNIT 1 - Bedroom	R-3		227 SF	200 GROSS	2
UNIT 1 - Bathroom	R-3		28 SF	200 GROSS	1
Porch	R-3		287 SF	200 GROSS	2
			<b>1080 SF</b>		<b>9</b>
<b>Level 2</b>					
UNIT 2 - Kitchen / Dining	R-3		221 SF	200 GROSS	2
UNIT 2 - Living Room	R-3		194 SF	200 GROSS	1
UNIT 2 - Bedroom	R-3		128 SF	200 GROSS	1
UNIT 2 - Bathroom	R-3		63 SF	200 GROSS	1
UNIT 2 - Circulation	R-3		49 SF	200 GROSS	1
			<b>655 SF</b>		<b>6</b>
<b>Attic</b>					
UNIT 2 - Attic	R-3		442 SF	200 GROSS	3
			<b>442 SF</b>		<b>3</b>
<b>TOTALS ALL LEVELS</b>			<b>3188 SF</b>		<b>24</b>

## PROPOSED OCCUPANCY

NAME	OCC	COMMENTS	AREA	LOAD FACTOR	OCC LOAD
<b>Basement</b>					
Staff Break Room	B		137 SF	150 GROSS	1
Storage	B	ACCESSORY STORAGE	215 SF	300 GROSS	1
Bathroom	B		81 SF	150 GROSS	1
Circulation	B		84 SF	150 GROSS	1
GARAGE	B	ACCESSORY STORAGE	157 SF	300 GROSS	1
Exterior Shed	UNOCC.		54 SF	0	0
Porch Crawlspace	UNOCC.		284 SF	0	0
			<b>1011 SF</b>		<b>5</b>
<b>Level 1</b>					
Entry	B		68 SF	15 GROSS	5
*Counter Circulation	B		101 SF	150 GROSS	1
Dining	B		396 SF	15 NET	27
*Restroom	B		28 SF	150 GROSS	1
*Kitchen	B		198 SF	150 GROSS	2
*Porch Dining	B		116 SF	15 NET	8
*Porch Circulation	B		171 SF	0 NET	0
			<b>1078 SF</b>		<b>44</b>
<b>Level 2</b>					
Office	B		128 SF	150 GROSS	1
Kitchenette	B		223 SF	150 GROSS	2
Work Room	B		192 SF	150 GROSS	2
Bathroom	B		63 SF	150 GROSS	1
Circulation	B		49 SF	150 GROSS	1
			<b>655 SF</b>		<b>7</b>
<b>Attic</b>					
Attic	UNOCC.		442 SF	0	0
			<b>442 SF</b>		<b>0</b>
<b>TOTALS ALL LEVELS</b>			<b>3185 SF</b>		<b>56</b>

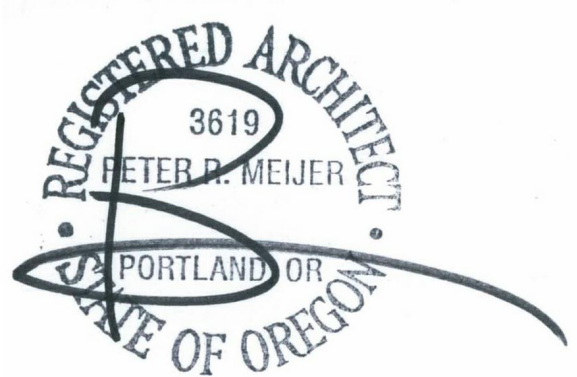
\*SPACE ACCESSED BY PUBLIC



PETER MEIJER ARCHITECT, PC  
 2232 SE Clinton Street  
 Portland, OR 97202  
 Phone: (503) 517-0283  
 www.pmapdx.com

Consultant:

Stamp:



Commercial Conversion TI  
 2953 NE Glisan Street

Owner:

Laurelhurst Asset Management  
 1001 SE Water Ave, Suite 217,  
 Portland, OR 97214

Revisions:

No.	Description	Date
1	CHECKSHEET 1	X/X/2026

Project Number:

25-007

Issuance:

PERMIT SET

Issue Date:

1/29/2026

Drawn By:

SL

Checked By:

PM

Sheet Title:

CODE ANALYSIS & OCCUPANCY COUNT

Sheet Number:

G006

## SEISMIC DESIGN REQUIREMENTS

CHAPTER 24.85

### OCCUPANT CHANGES

	EXISTING	PROPOSED	DIFFERENCE
BASEMENT	6	5	-1
LEVEL 1	8	44	+32
LEVEL 2	6	7	+1
ATTIC	3	0	-3
<b>TOTALS</b>	<b>23</b>	<b>52</b>	<b>+ 29</b>

### SUMMARY OF OCCUPANCY/AREA CHANGES

	EXISTING	PROPOSED	DIFFERENCE
<b>GROSS BUILDING AREA</b>	2,688 SQFT	2,244 SQFT	<b>-444 SQFT<sup>A</sup></b>
<b>NUMBER OF OCCUPANTS</b>	23 OCC	52 OCC	<b>+ 29 OCC</b>

<sup>A</sup>NO CHANGES TO BUILDING FOOTPRINT, AREA CHANGES ARE A RESULT OF ATTIC DESIGNATION AS UNOCCUPIED SPACE.

### AREA CHANGES TO A LOWER CLASSIFICATION

	R-2 to B	R-2 to UNOCCUPIED	TOTAL
BASEMENT	711 SQFT	0	711 SQFT
LEVEL 1	812 SQFT	0	812 SQFT
LEVEL 2	721 SQFT	0	721 SQFT
ATTIC	0	444 SQFT	444 SQFT
<b>TOTALS</b>	<b>2,244 SQFT</b>	<b>444 SQFT</b>	<b>2,688 SQFT</b>
<b>TOTAL AREA INCREASE TO A LOWER CLASSIFICATION</b>			<b>2,688 SQFT</b>
<b>PERCENT AREA CHANGE</b>			<b>100%</b>

### CHANGE OF OCCUPANCY OR USE

24.85.040  
OCCUPANCY CHANGE TO LOWER RELATIVE HAZARD CLASSIFICATION WILL REQUIRE SEISMIC IMPROVEMENTS WHERE THE CHANGE RESULTS IN AN INCREASE IN OCCUPANT LOAD OF MORE THAN 149 PEOPLE.

TOTAL INCREASE TO OCCUPANTS IS +29, LESS THAN +149. A MANDATORY UPGRADE IS NOT TRIGGERED DUE TO OCCUPANCY INCREASES.

## DEFERRED SUBMITTALS / DELEGATED DESIGN

ITEM	DEFERRED SUBMITTAL	DELEGATED DESIGN	NOTES
ACCESSIBLE PLATFORM LIFT	YES	YES	REQUIRES SEPARATE TRADE PERMIT

DEFERRED SUBMITTALS ARE NOT INCLUDED IN BUILDING PERMIT. DRAWINGS AND CALCULATIONS ARE REQUIRED TO BE STAMPED BY ENGINEER REGISTERED IN THE STATE OF OREGON, AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO SUBMITTING TO THE BUREAU OF DEVELOPMENT SERVICES FOR REVIEW.

## PERMIT HISTORY

### 2026-016553-000-00-PW

IVR NUMBER: 5236199  
PERMIT/CASE TYPE: Public Works Appeal Internal Alternative Review  
ISSUE DATE: n/a  
FINAL DATE: n/a  
STATUS: Intake  
WORK/CASE DESCRIPTION:  
Internal PWA - Review the Increase in Trips requirements through the SDC exemption for being less than 3,000 SQ FT.

### 2025-075070-000-00-PT PERMIT

IVR NUMBER: 5191240  
PERMIT/CASE TYPE: Plumbing Permit : Commercial or Multi-Family Dwelling/Structure : Addition/Alteration/Replacement  
ISSUE DATE: n/a  
FINAL DATE: n/a  
STATUS: Expired  
WORK/CASE DESCRIPTION:  
INSTALL NEW SEWER LINE AND PROPERTY

### 2025-080812-000-00-PT PERMIT

IVR NUMBER: 5197220  
PERMIT/CASE TYPE: Plumbing Permit : One or Two Family Dwelling/Structure : Addition/Alteration/Replacement  
ISSUE DATE: 10/03/2025  
FINAL DATE: n/a  
STATUS: Expired  
WORK/CASE DESCRIPTION:  
Sewer repair via CIPP from house to curb

### 2025-080873-000-00-UR PERMIT

IVR NUMBER: 5197284  
PERMIT/CASE TYPE: BES - Sewer Repair Permit : Commercial  
ISSUE DATE: 10/03/2025  
FINAL DATE: n/a  
STATUS: Issued  
WORK/CASE DESCRIPTION:  
CONTRACTOR TO CIPP (LINING) EXISTING LATERAL FROM PROPERTY LINE TO CURB/EDGE OF PAVEMENT PER COP ENB 4.33. LMK TECHNOLOGIES / PERMALINER TECHNOLOGIES.

## MULTNOMAH COUNTY HEALTH DEPARTMENT

### ENVIRONMENTAL HEALTH SERVICES - INSPECTIONS PROGRAM

PLAN REVIEW APPROVAL Approved for construction. See letter; provided for reference only.



### Health Department

#### Environmental Health Services – Inspections Program

Date: 01/15/2026

To:  
Kathryn Liu  
Massalia Books and Cafe  
2953 NE Glisan St Portland Oregon 97232

Re: 2953 NE Glisan St STE B Portland, OR 97232

Multnomah County Environmental Health has received and reviewed the plans for your food service facility. Approval of these plans are valid for 1 year. If a final inspection does not occur within that year, please contact our office as plans may be discarded and the review process closed out. It is approved for construction with the following items or conditions required for final approval:

- \* Provide adequate refrigeration units. Appropriate commercial equipment is required. "Pull down" refrigeration is required if hot foods are to be cooled.
- \* Protect food from coughs, sneezes and other contaminants by using walls, sneeze guards, utensil covers, etc. Sneeze guards must effectively protect food from coughs, sneezes and other contaminants.
- \* Provide employee lockers or other suitable storage areas for all personal items. Designate a proper break area, which can be in the customer seating area.
- \* Provide minimum 15-second operation on all metered hand sink faucets, if used. Install combination faucets only.
- \* Pre-rinse hose may not hang below flood level of sinks.
- \* Provide safety shielding on lights in all food preparation, dishwashing, storage, display and service areas.
- \* Install self-closing devices on all restroom doors. Provide a covered waste receptacle in each unisex or women's restroom.
- \* Provide soap and paper towels at all handwashing sinks.
- \* Provide smooth, durable and easily cleanable finishes on all floors, walls and ceilings subject to food splatter or moisture.
- \* Refinish any used equipment as needed to meet original design requirements.
- \* Do not install any food service equipment, food storage, and clean utensils under unprotected waste lines.
- \* Install commercial dishwashing systems only. Provide adequate sinks for pre-rinsing or pre-soaking utensils and equipment.
- \* Sinks are required to be free of difficult to clean internal corners and crevices. Three-compartment sinks must be large enough for the largest pot, pan, or utensil.
- \* Provide drain boards for pre-rinse sinks, dishwashers, pot sinks and culinary sinks. They must be self-draining and adequate to minimize the cross contamination of food, dishes, and utensils.
- \* Limit carpeting to dining areas only. Don't install it in any work area.
- \* Access to a restroom is required for employees during operating hours. Access for customers are also required if seating is provided. Contact the local building department for information on exceptions, variances, and alternative methods used to set occupancy limits.
- \* Provide adequate water heating capacity so that hot water will be available at all times of operation.
- \* Provide a mop sink as required.
- \* Provide proper storage for cleaners and all other toxic products.
- \* Provide for adequate cleaning by proper equipment installation.
- \* Mount all equipment, counters, and shelving on 6" legs, wheels, or on sealed platforms (pallets are not suitable unless completely sealed.)
- \* Space all stationary equipment with adequate cleaning space between and behind each unit, or seal the equipment to the adjacent walls or units.
- \* Mount all utility lines off of the floor with adequate cleaning space.
- \* Waste lines from soda dispensers are not to pass through ice bins. Service beverage lines and plates are not allowed in consumable-ice bins.
- \* Beginning in September of 2024, the City of Portland will require restaurants to set up and participate in a food scraps composting service with their hauler. Larger restaurants may be required to participate earlier based on the amount of food scraps generated. Visit the City of Portland business food scraps website to learn more, or connect with Portland staff at wasteinfo@portlandoregon.gov.

It is your responsibility to ensure compliance with local plumbing, building, zoning, and planning regulations and requirements. This approval allows you to apply for any required construction permits (building, plumbing, electrical, etc.) Deviation from the approved plan may result in redoing work prior to being granted an operational license. The license will be denied if the equipment or installations relating to critical violations are not proper. Owners/operators must be informed of Plan Review requirements.

Please call (503) 988-3400 any time you have questions and when ready for a pre-opening inspection. Submit your application for restaurant license prior to opening. Thank you.

Sincerely,

Richard Maher, REHS  
Restaurant Plans Examiner  
Multnomah County Environmental Health  
847 NE 19th Ave, Suite 350  
Portland, OR 97232  
Email - richard.l.maher@multco.us  
Direct - 503-329-0404

# APPEAL REFERENCE DRAWINGS

Multnomah County Health Department - Penalties and Enforcement  
Oregon Administrative Rule (OAR) 333-150 and 333-157

8-301.11 Prerequisite for Operation: A person may not operate a food establishment without a valid permit to operate issued by the regulatory authority. Restaurant licenses are only issued upon the completion of the field portion of the Plan Review.

- 333-157-45 Civil Penalties:
1. The Department or a Local Public Health Authority may impose civil penalties on any person for the following willful violations:
    - a. Operation of a restaurant without a current license to do so from the Department or the Local Public Health Authority (Multnomah County Health Department)
    2. for the purposes of section (1) of this rule, the term "willful" means intentional or deliberate
    3. the maximum civil penalty for violation of section (1) of this rule is \$500.00 per day of violation.

Restaurants that go through the Plan Review process MUST have a pre-opening inspection approval to operate. Currently operating restaurants that will remain open during remodel construction work must have approval prior to use of areas that were part of the remodel. Food service operations that open without approval by Multnomah county Health Department (MCHD) are subject to immediate closure or daily fines. To help avoid closure and/or fines make sure that your food service operation plan review is completed and restaurant is approved to operate.

#### REQUIRED ITEMS FOR PRE-OPENING INSPECTION

- Plumbing work is completed and hot and cold running water are available at all sinks
- All equipment must be in place and all coolers operating at or below 41 degrees F.
- All chemical dispensers and mechanical dishwashers must be set-up, calibrated and ready for use
- High temperature commercial dishwashers must have functioning booster units that allows the final rinse to reach at least 180 degrees F on the final dial gauge (160 degrees F at the tray level)

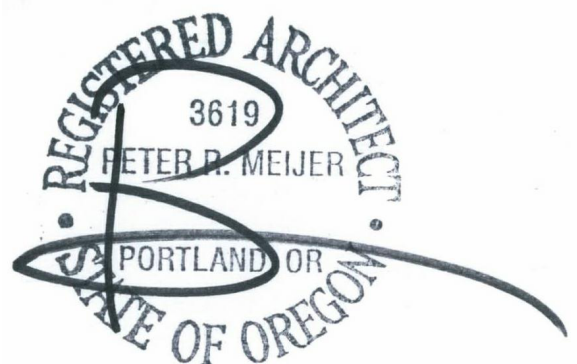
Any other questions please call MCHD Plan Review at (503) 988-3400



2232 SE Clinton Street  
Portland, OR 97202  
Phone: (503) 517-0283  
www.pmapdx.com

Consultant:

Stamp:



## Commercial Conversion TI

2953 NE Glisan Street

Owner:

Laurelhurst Asset Management  
1001 SE Water Ave, Suite 217,  
Portland, OR 97214

Revisions:

No.	Description	Date
1	CHECKSHEET 1	XX/2026

Project Number:

25-007

Issuance:

PERMIT SET

Issue Date:

1/29/2026

Drawn By:

SL

Checked By:

PM

Sheet Title:

CODE ANALYSIS, APPEAL  
& REVIEW

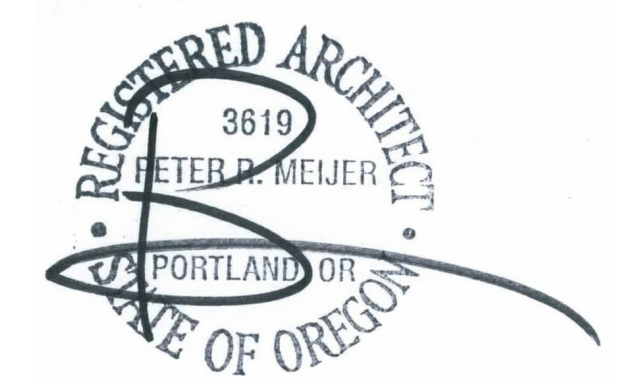
Sheet Number:

# G007



Consultant:

Stamp:



**Commercial Conversion TI**  
2953 NE Glisan Street

**Owner:**  
Laurelhurst Asset Management  
1001 SE Water Ave, Suite 217,  
Portland, OR 97214

**Revisions:**

No.	Description	Date
1	CHECKSHEET 1	XX/2026

**Project Number:**  
25-007

**Issuance:**  
PERMIT SET  
**Issue Date:**  
1/29/2026

**Drawn By:**  
SL  
**Checked By:**  
PM

**Sheet Title:**  
FIRE & LIFE SAFETY - PLANS

**Sheet Number:**




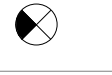

**G111**

# APPEAL REFERENCE DRAWINGS

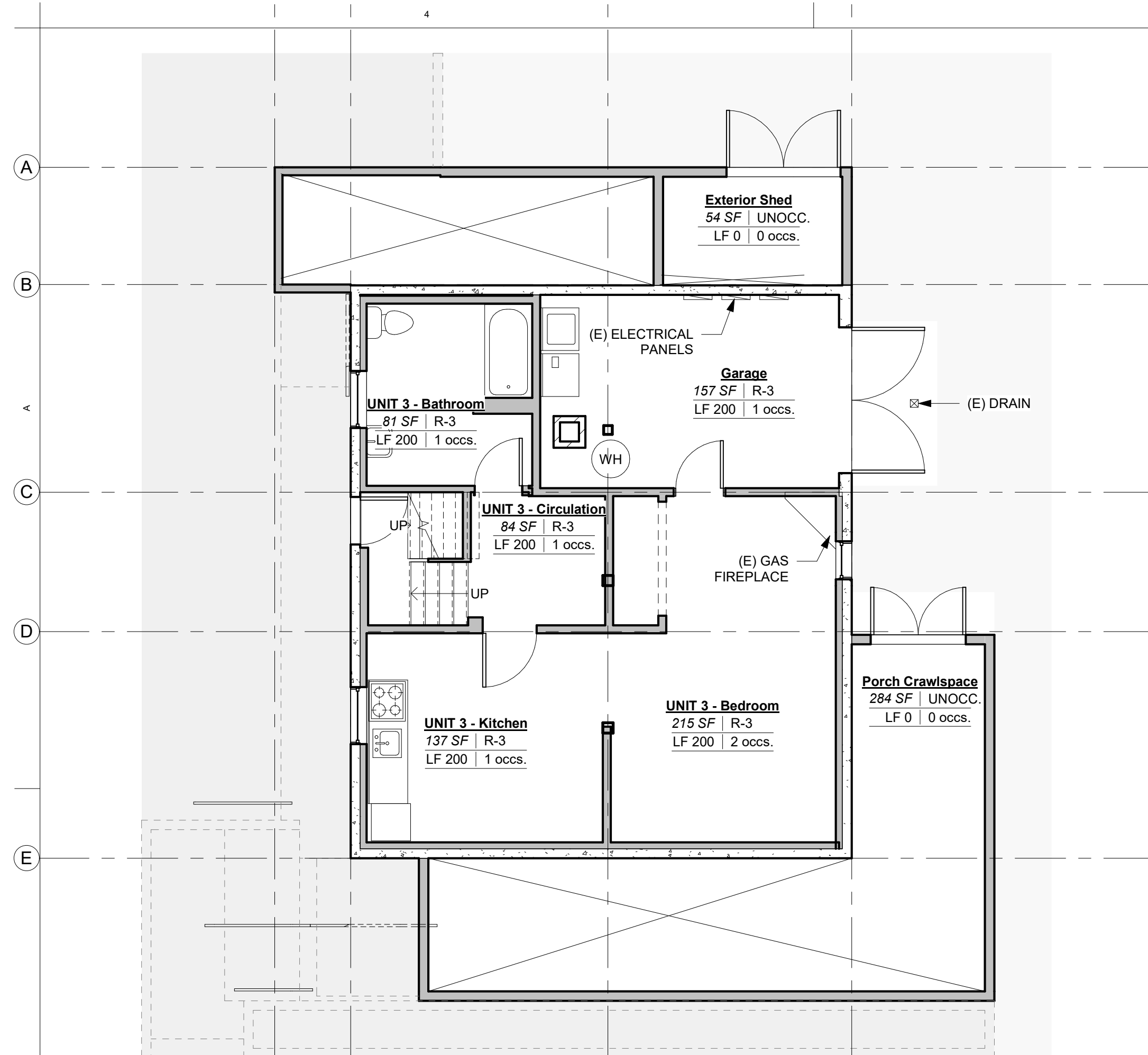
## CODE NOTES

- ALL WORK SHOWN ON THIS SHEET IS INCLUDED IN THE CONTRACT FOR CONSTRUCTION WHETHER SHOWN ELSEWHERE OR NOT. CONTRACTOR SHALL MAKE ALLOWANCES FOR CONNECTION, HOOK UP, ETC. AS REQUIRED SO THAT ITEMS, EQUIPMENT, SIGNAGE, ETC ARE FIT FOR INTENDED PURPOSE.
- PROVIDE BUG EYE EGRESS LIGHTING TO PROVIDE 1 FC AT WALKING SURFACE, 44" WIDTH WITH 90 MIN EMERGENCY POWER SUPPLY.

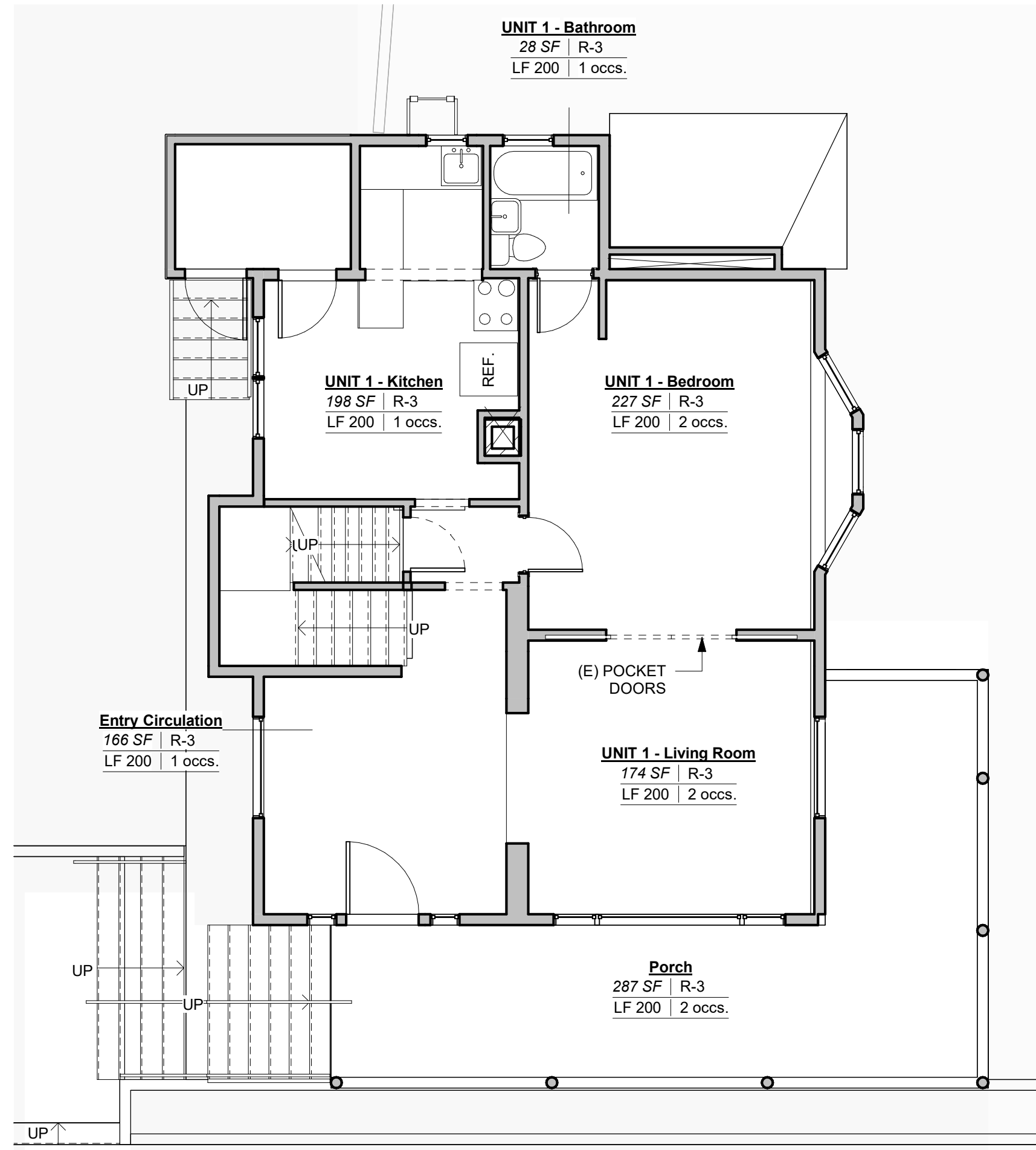
## CODE SYMBOL LEGEND

	1 HOUR FIRE RATED PARTITION
	EXIT ACCESS (EA)
	COMMON PATH (CP)
EA: XX' ←	TOTAL EXIT ACCESS TRAVEL DISTANCE
CP: XX' ←	COMMON PATH OF TRAVEL DISTANCE
	EXIT SIGN
	OCCUPANT COUNT
Room Name ←	ROOM NUMBER   ROOM NAME
150 SF   R-2 ←	ROOM AREA   OCCUPANCY GROUP
LF #####   000 occs. ←	OCCUPANT FACTOR   OCCUPANTS
Accessory Unit-Type ←	ACCESSORY   INCIDENTAL

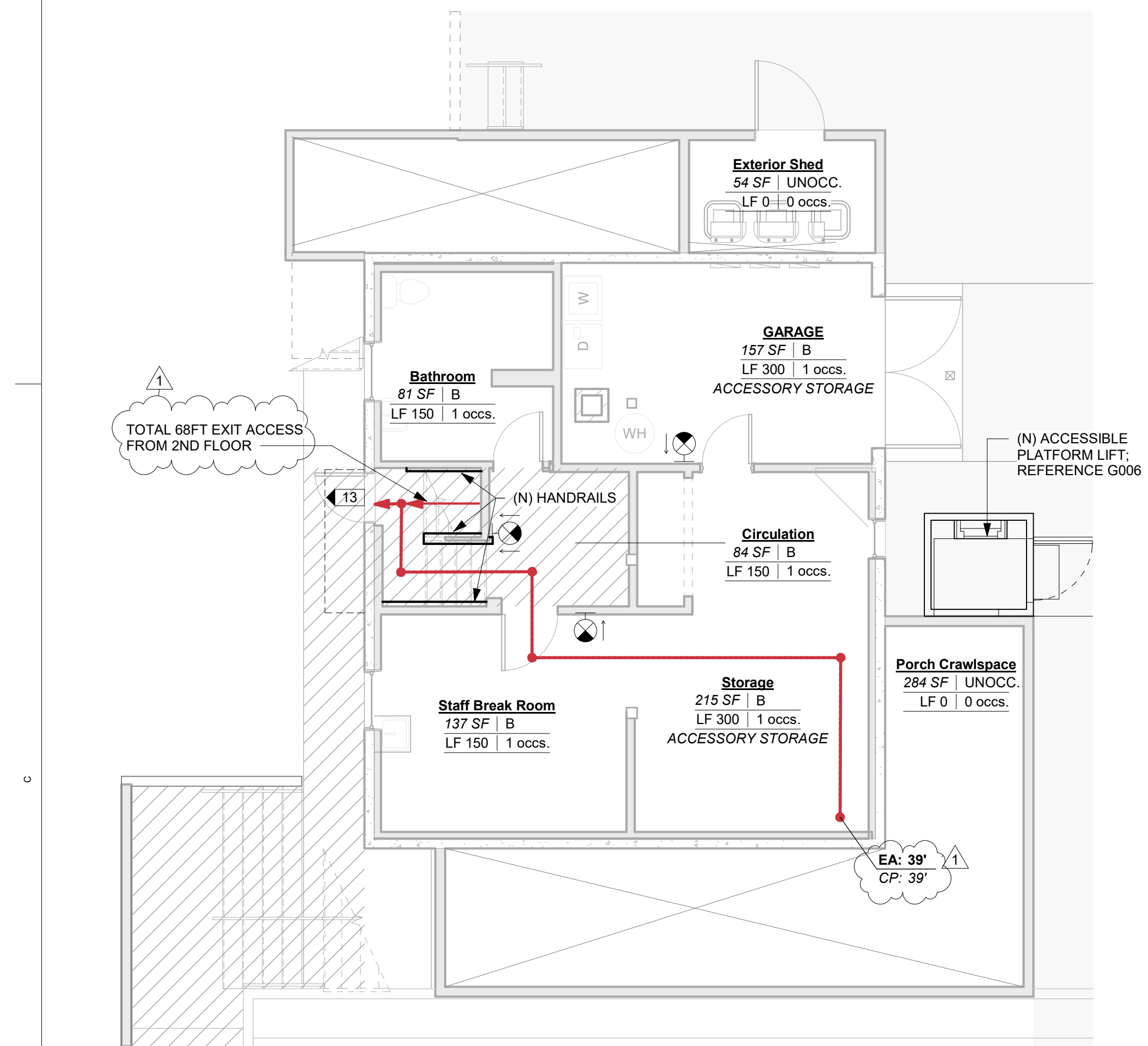
 EGRESS ILLUMINATION - 1 FC AT WALKING SURFACE, 44" WIDTH - 90 MIN EMERGENCY POWER SUPPLY



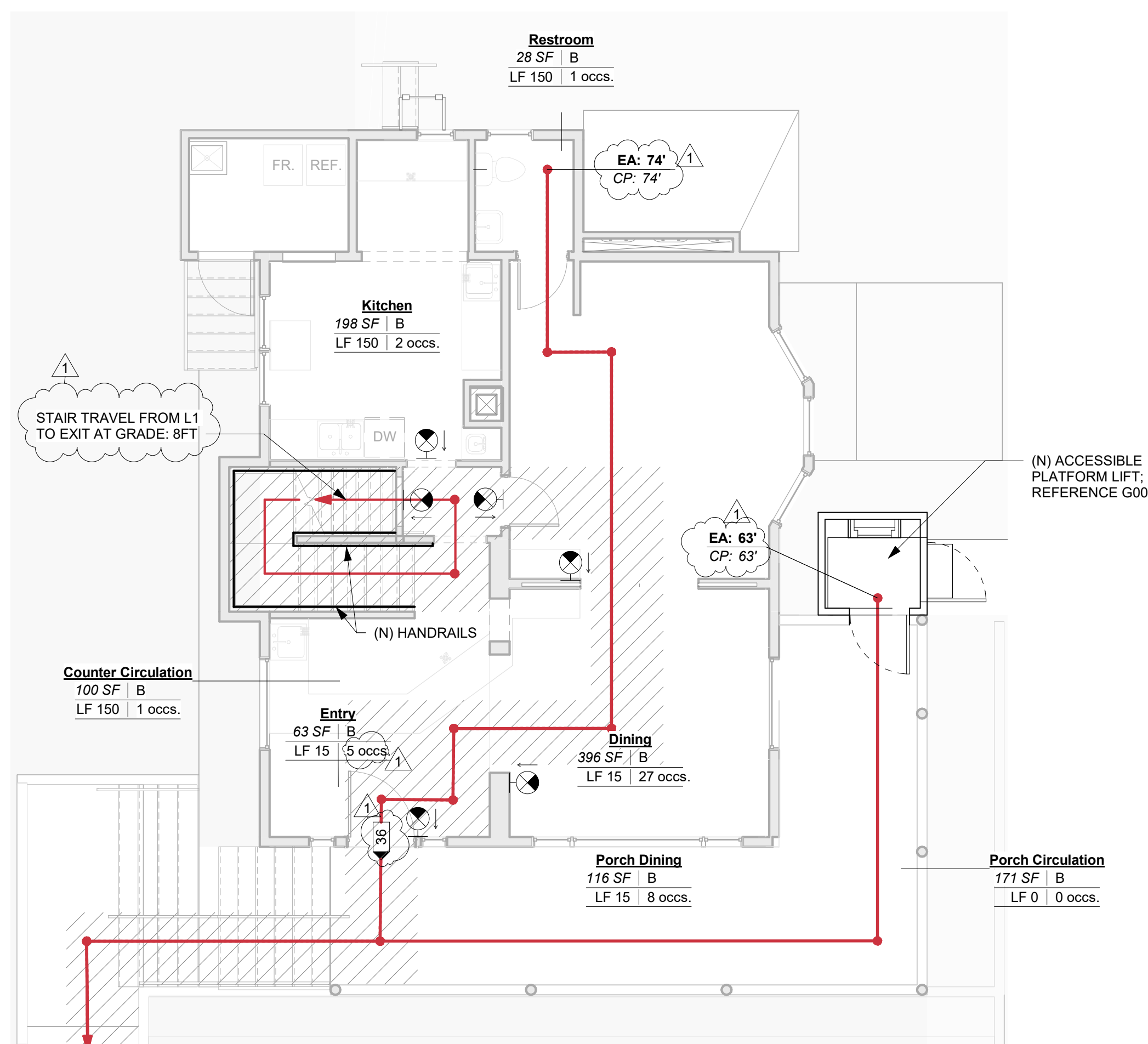
4B CODE PLAN: BASEMENT - EXISTING  
G111 (3/16" = 1'-0")



3B CODE PLAN: LEVEL 1 - EXISTING  
G111 (3/16" = 1'-0")



4C CODE PLAN: BASEMENT  
G111 (3/16" = 1'-0")

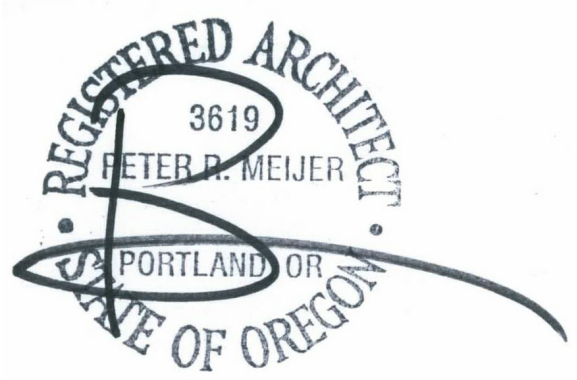


3C CODE PLAN: LEVEL 1 - CODE  
G111 (3/16" = 1'-0")



Consultant:

Stamp:



**Commercial Conversion TI**  
2953 NE Glisan Street

**Owner:**  
Laurelhurst Asset Management  
1001 SE Water Ave, Suite 217,  
Portland, OR 97214

**Revisions:**

No.	Description	Date
1	CHECKSHEET 1	XX/2026

**Project Number:**  
25-007

**Issuance:**  
PERMIT SET  
**Issue Date:**  
1/29/2026

**Drawn By:**  
SL  
**Checked By:**  
PM

**Sheet Title:**  
FIRE & LIFE SAFETY - PLANS

**Sheet Number:**


**G112**

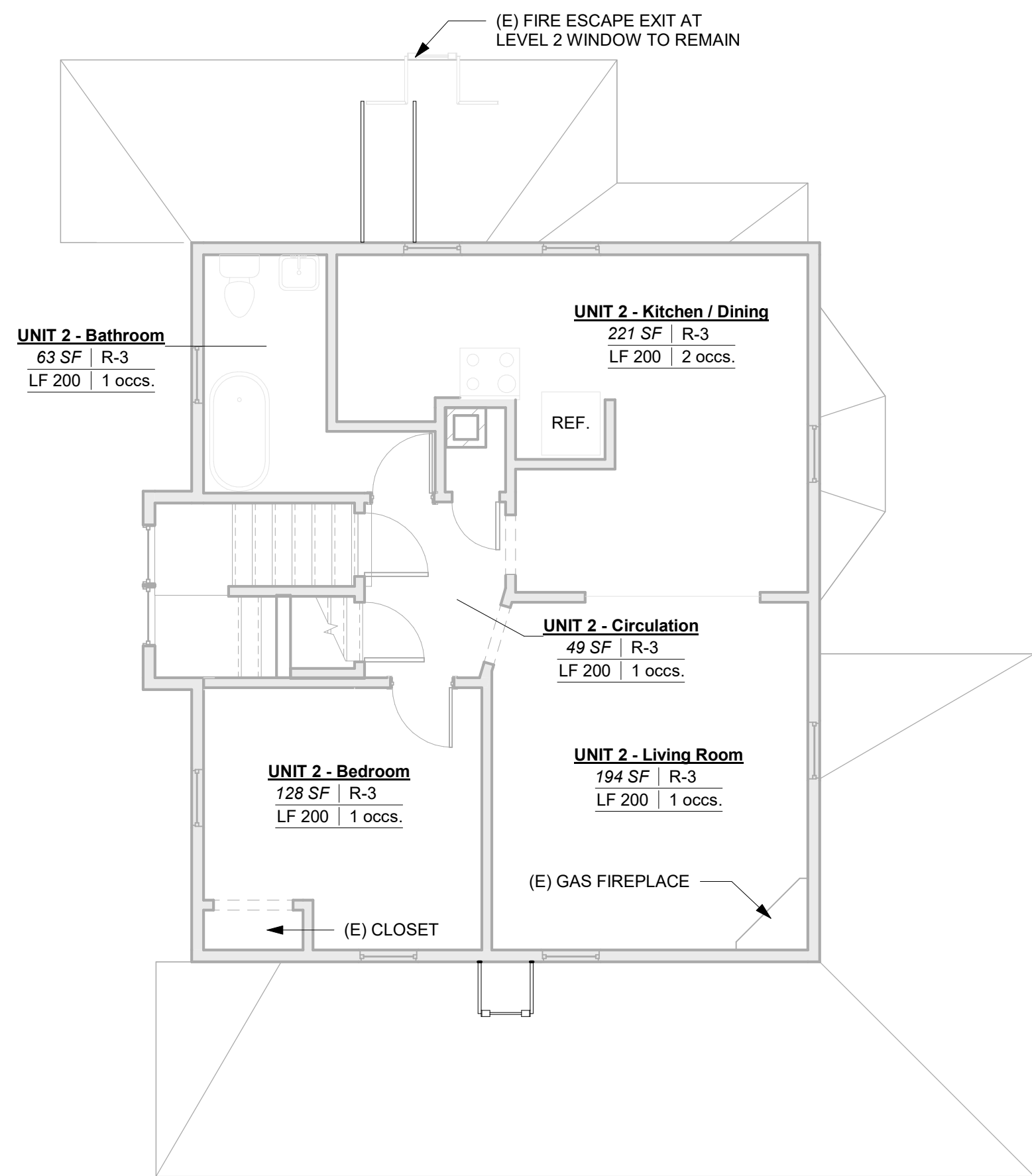
# APPEAL REFERENCE DRAWINGS

## CODE NOTES

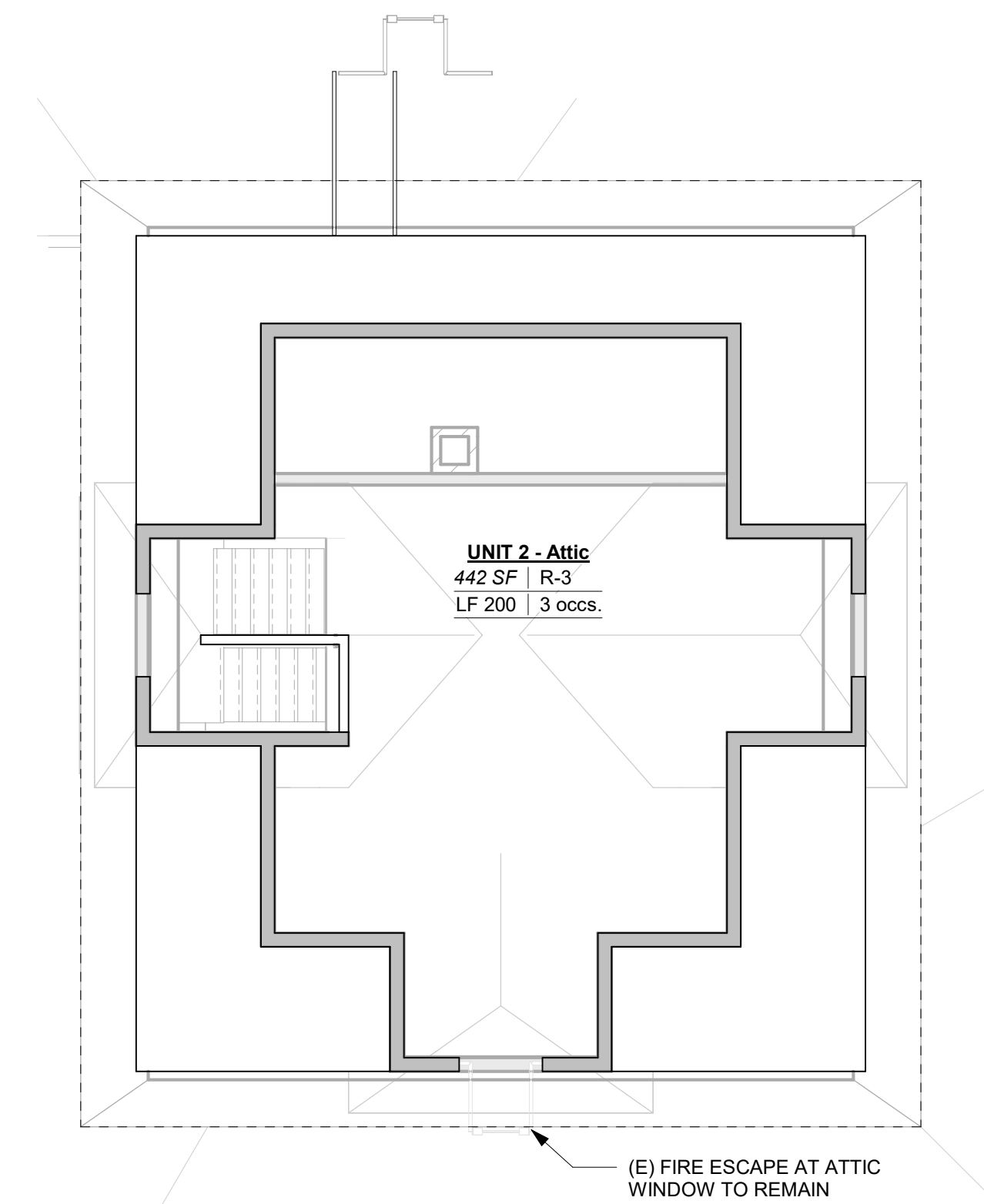
- ALL WORK SHOWN ON THIS SHEET IS INCLUDED IN THE CONTRACT FOR CONSTRUCTION WHETHER SHOWN ELSEWHERE OR NOT. CONTRACTOR SHALL MAKE ALLOWANCES FOR CONNECTION, HOOK UP, ETC. AS REQUIRED SO THAT ITEMS, EQUIPMENT, SIGNAGE, ETC ARE FIT FOR INTENDED PURPOSE.
- PROVIDE BUG EYE EGRESS LIGHTING TO PROVIDE 1 FC AT WALKING SURFACE, 44" WIDTH WITH 90 MIN EMERGENCY POWER SUPPLY.

## CODE SYMBOL LEGEND

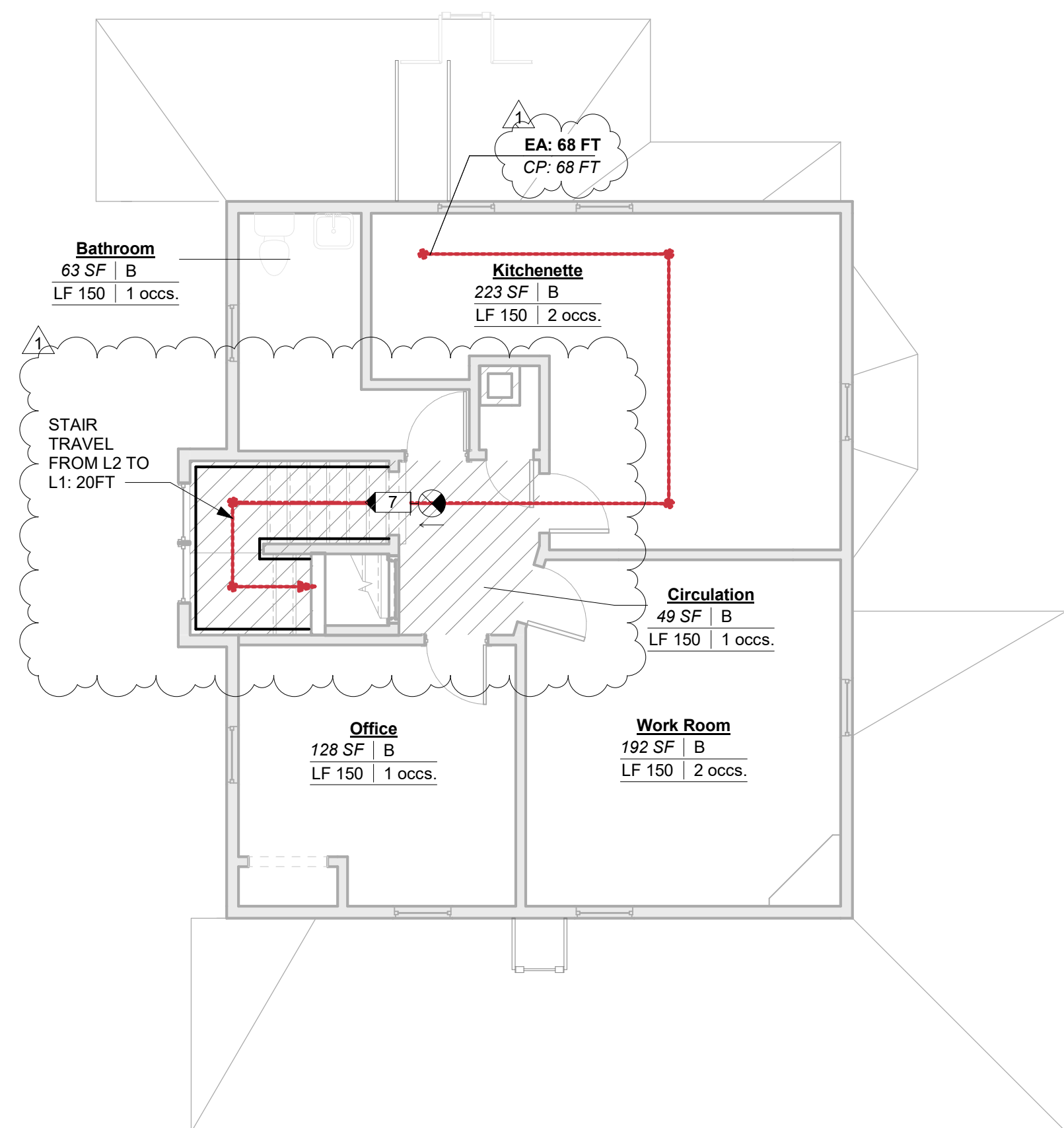
.....	1 HOUR FIRE RATED PARTITION
-----	EXIT ACCESS (EA)
-----	COMMON PATH (CP)
EA: XX'	TOTAL EXIT ACCESS TRAVEL DISTANCE
CP: XX'	COMMON PATH OF TRAVEL DISTANCE
⊗	EXIT SIGN
◀50	OCCUPANT COUNT
Room Name	ROOM NUMBER   ROOM NAME
150 SF   R-2	ROOM AREA   OCCUPANCY GROUP
LF #####   000 occs.	OCCUPANT FACTOR   OCCUPANTS
Accessory Unit-Type	ACCESSORY   INCIDENTAL
	EGRESS ILLUMINATION - 1 FC AT WALKING SURFACE, 44" WIDTH - 90 MIN EMERGENCY POWER SUPPLY



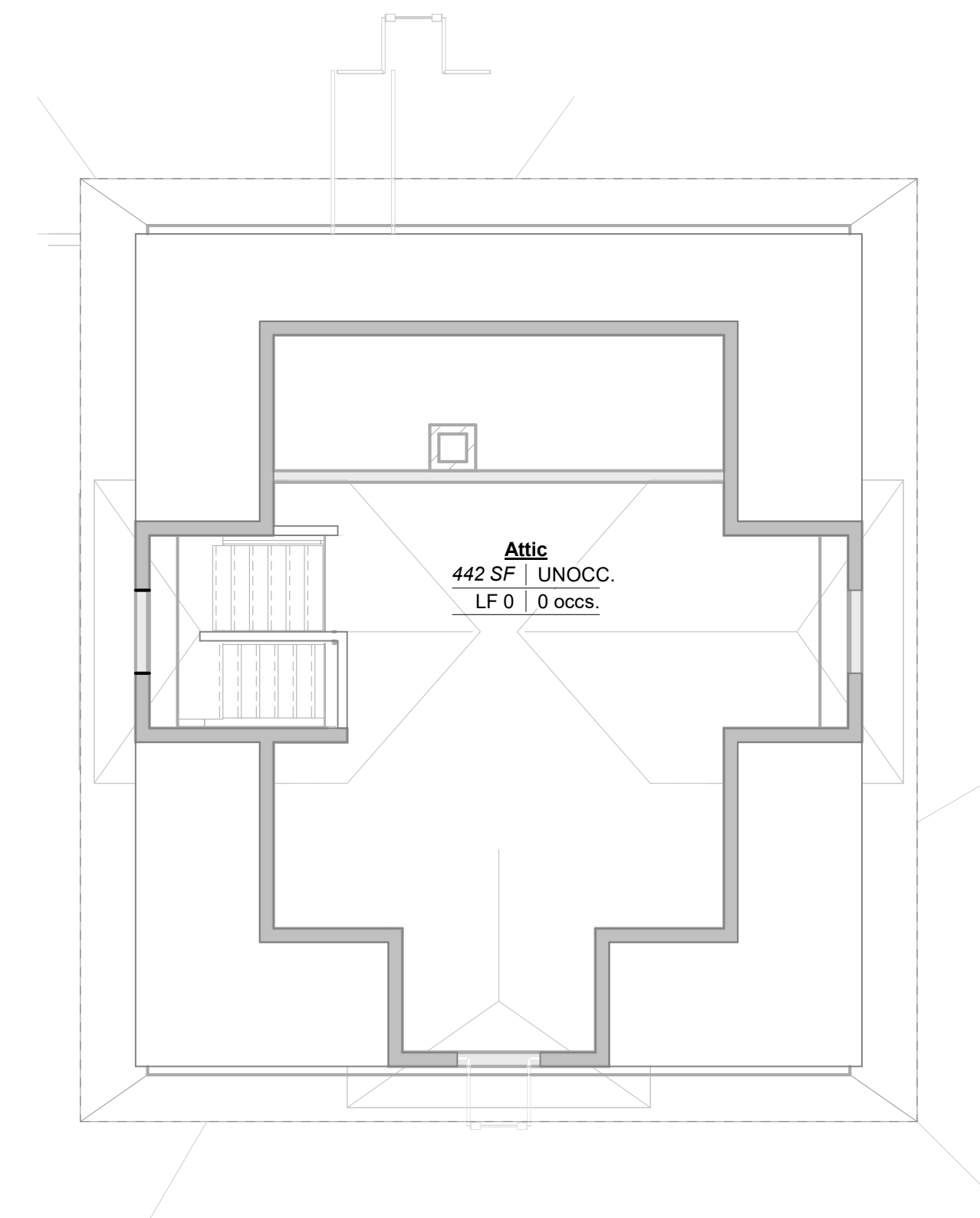
**4B** CODE PLAN: LEVEL 2 - EXISTING  
G112 (3/16" = 1'-0")



**3B** CODE PLAN: ATTIC - EXISTING  
G112 (3/16" = 1'-0")



**4C** CODE PLAN: LEVEL 2 - CODE  
G112 (3/16" = 1'-0")



**3C** CODE PLAN: ATTIC  
G112 (3/16" = 1'-0")



Consultant:

Stamp:

# APPEAL REFERENCE DRAWINGS

## Commercial Conversion TI

2953 NE Glisan Street

**Owner:**  
Laurelhurst Asset Management  
1001 SE Water Ave, Suite 217,  
Portland, OR 97214

**Revisions:**

No.	Description	Date
1	CHECKSHEET 1	XX/2026

**Project Number:**  
25-007

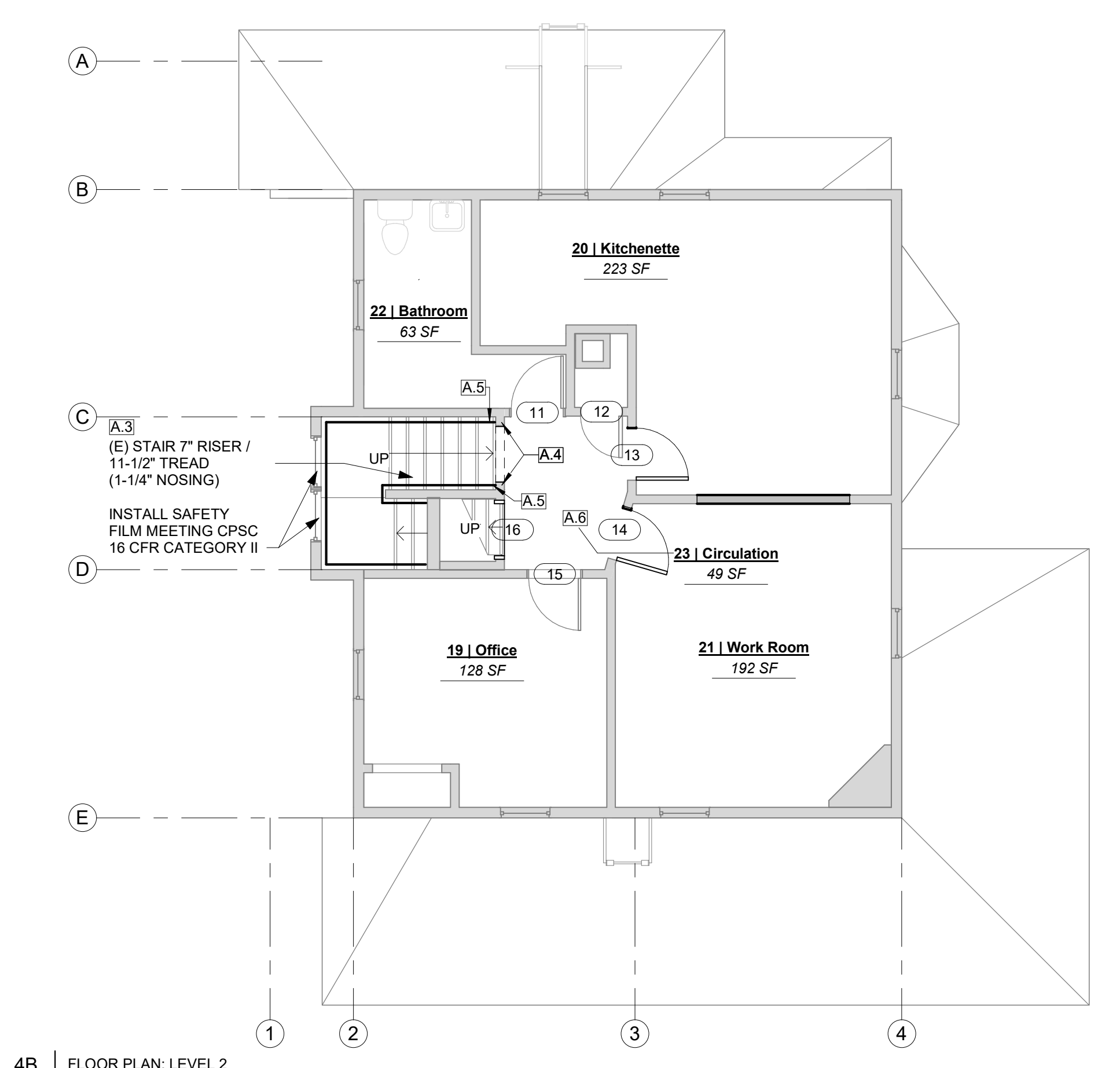
**Issuance:**  
PERMIT SET  
**Issue Date:**  
1/29/2026

**Drawn By:**  
HK  
**Checked By:**  
PM

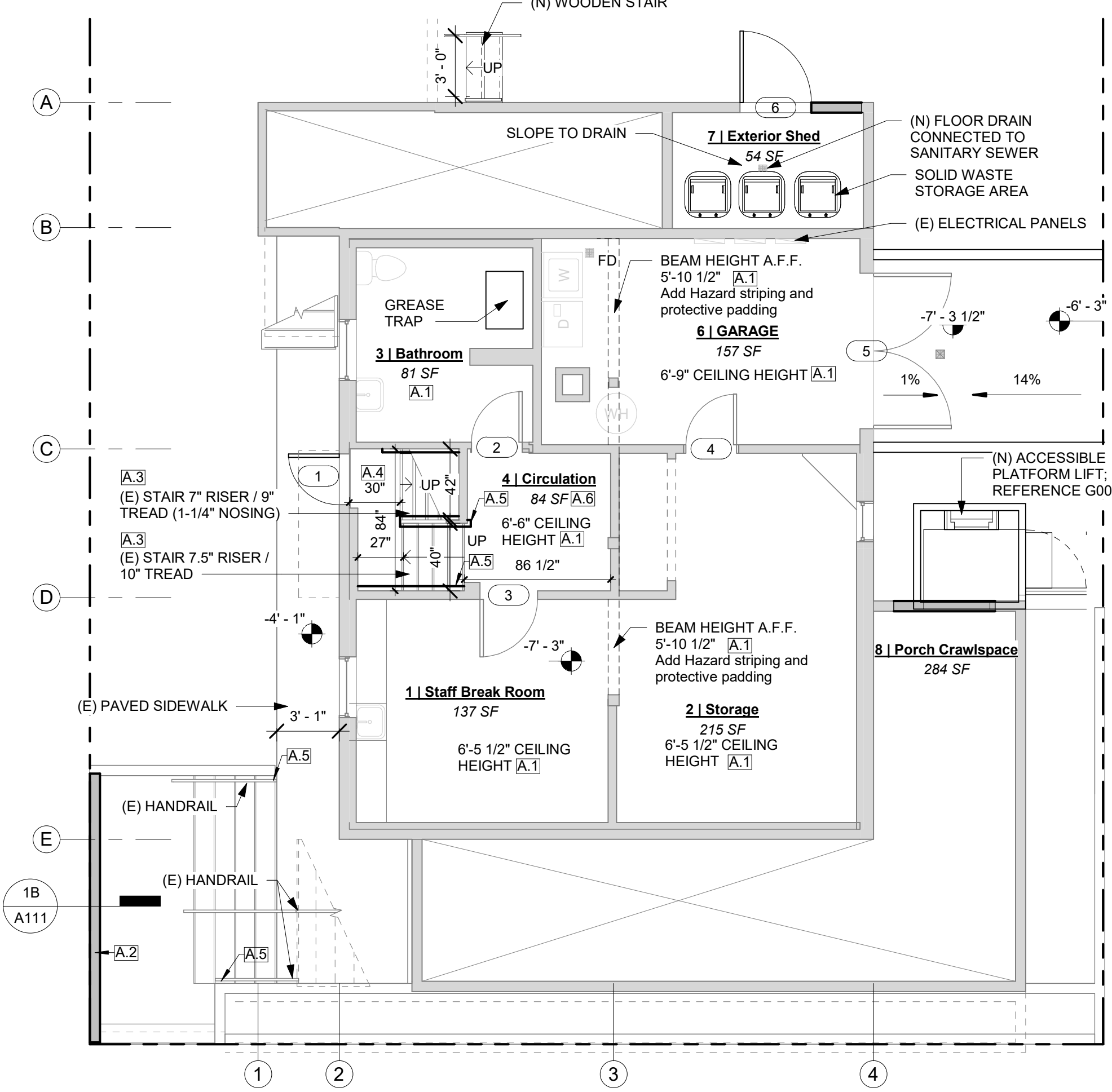
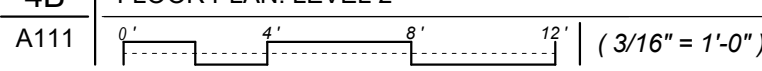
**Sheet Title:**  
FLOOR PLANS

**Sheet Number:**

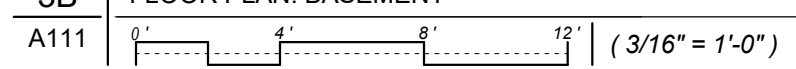
**A111**



4B FLOOR PLAN: LEVEL 2

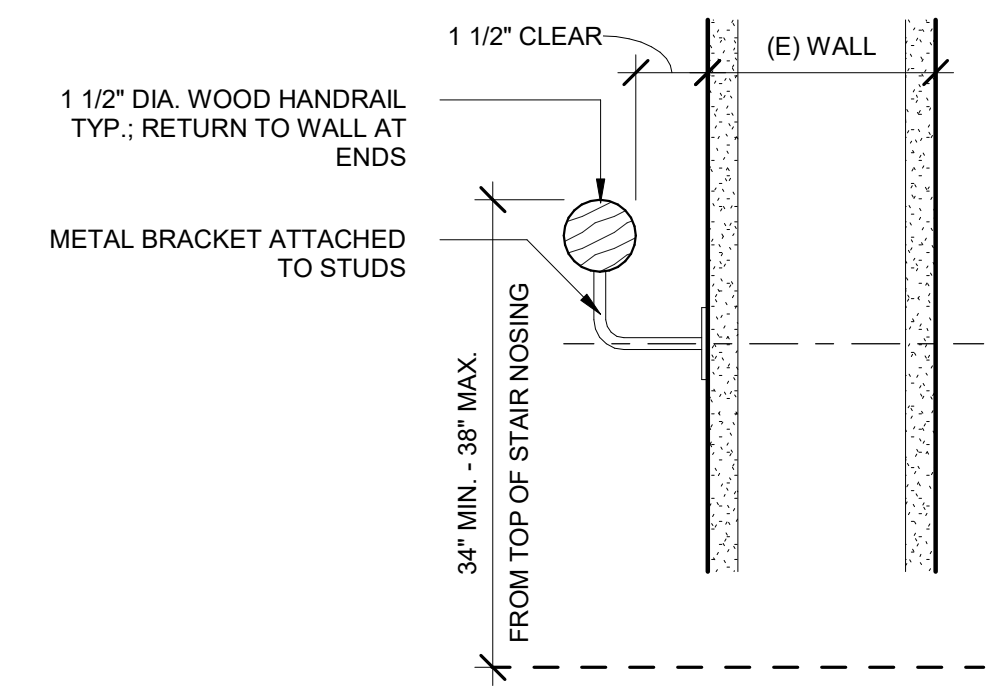


3B FLOOR PLAN: BASEMENT

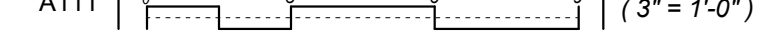


### APPEAL LEGEND

- APPEAL A.1 Allow for storage space in basement with ceiling height ranging from 6'-5" to 6'-9", 6'-0" high door openings, and height below an existing beam protrusion of 5'-10".
- APPEAL A.2 Allow the existing exterior exit stair to remain in use without 10-foot fire separation distance with the addition of a 1-hour fire-resistance-rated wall to provide equivalent protection from fire exposure.
- APPEAL A.3 Allow existing interior exit stairways with nonconforming tread depth and riser height to remain in use as part of the means of egress.
- APPEAL A.4 Allow existing landing of existing stairs to remain as constructed-30" measured in direction of travel from L1 to exterior exit door and 27" from basement. Allow for wall projections at the top of the stairs at the landings at L1 and L2, previously a 30" doorway opening with the door removed.
- APPEAL A.5 Allow handrails to terminate at the top riser without the required 12-inch horizontal extension.
- APPEAL A.6 Allow existing unenclosed stair at L1 as designed with separation at L2 and basement with vestibules that are air sealed.
- APPEAL A.7 Allow existing 30" doors and passageway openings to remain in place.



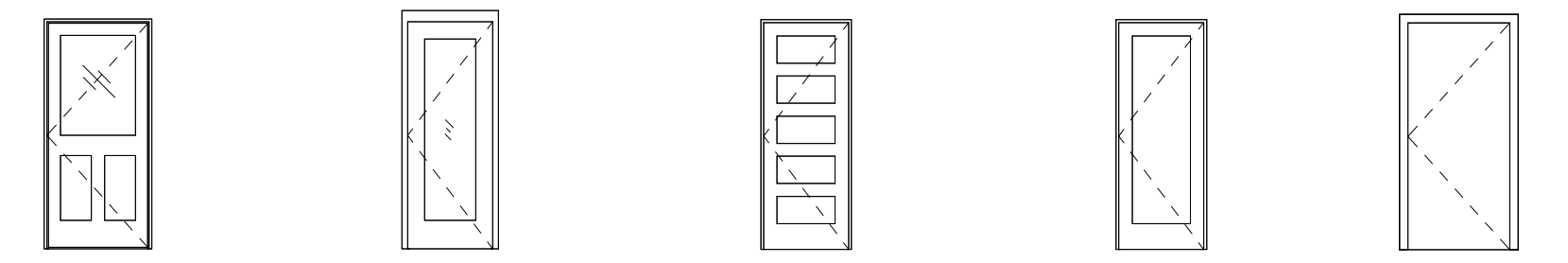
1A INTERIOR DETAIL: NEW WALL-MOUNT HANDRAIL



### DOOR SCHEDULE

MIN.	WIDTH	HEIGHT	RATING	PROFILE	DOOR MATERIAL	FRAME MATERIAL	HARDWARE GROUP	MAX. U-VALUE	COMMENTS
<b>Basement</b>									
1	2'-6"	6'-8"	Not Rated	4	EXISTING WOOD	EXISTING WOOD	5		APPEAL A.1 & A.7
2	2'-6"	6'-4"	Not Rated	4	EXISTING WOOD	EXISTING WOOD	3		APPEAL A.1, A.6 & A.7
3	2'-10"	6'-8"	Not Rated	4	EXISTING WOOD	EXISTING WOOD	1		APPEAL A.1, A.6 & A.7
4	2'-6"	6'-0"	Not Rated	2	EXISTING WOOD	EXISTING WOOD	1		APPEAL A.1, & A.7
5	7'-8"	6'-8"	Not Rated	4	EXISTING WOOD	EXISTING WOOD			GARAGE DOORS
6	3'-6 1/4"	7'-0"	Not Rated	4	WOOD	WOOD	4		EXTERIOR DOOR
<b>Level 1</b>									
7	3'-4"	6'-8"	Not Rated	1	EXISTING WOOD	EXISTING WOOD	1		
8	2'-6"	6'-8"	Not Rated	3	EXISTING WOOD	EXISTING WOOD	2		APPEAL A.6 & A.7
9	2'-6"	6'-8"	Not Rated	3	EXISTING WOOD	EXISTING WOOD	3		APPEAL A.7
10	2'-10"	7'-0"	Not Rated	4	EXISTING WOOD	EXISTING WOOD	1		APPEAL A.7
<b>Level 2</b>									
11	2'-6"	6'-8"	Not Rated	3	EXISTING WOOD	EXISTING WOOD	3		APPEAL A.6 & A.7
12	2'-0"	6'-8"	Not Rated	3	EXISTING WOOD	EXISTING WOOD	4		CLOSET DOOR
13	2'-6"	6'-8"	Not Rated	4	EXISTING WOOD	EXISTING WOOD	1		APPEAL A.6 & A.7
14	2'-6"	6'-8"	Not Rated	4	EXISTING WOOD	EXISTING WOOD	1		APPEAL A.6 & A.7
15	2'-6"	6'-8"	Not Rated	3	EXISTING WOOD	EXISTING WOOD	1		APPEAL A.6 & A.7
16	2'-6"	4'-0"	20 MIN	4	METAL	METAL	4		APPEAL A.6 - SMOKE SEALED

### DOOR PROFILES



- 1- GLAZED DOOR HALF PANEL TEMPERED GLAZING (EXISTING)
- 2- GLAZED DOOR FULL PANEL TEMPERED GLAZING (EXISTING)
- 3- SOLID 5-PANEL (EXISTING)
- 4- SOLID 1-PANEL (EXISTING)
- 4- SOLID

### HARDWARE GROUPS

GROUP 1	GROUP 2	GROUP 3	GROUP 4	GROUP 5
<ul style="list-style-type: none"> <li>ENTRANCE LOCK</li> <li>CLOSER</li> <li>HINGES</li> <li>GASKETING</li> <li>DOOR SWEEP</li> <li>THRESHOLD (AT EXTERIOR DOORS)</li> </ul>	<ul style="list-style-type: none"> <li>PASSAGE LOCK</li> <li>CLOSER</li> <li>HINGES</li> <li>GASKETING</li> <li>DOOR SWEEP</li> <li>HINGE STOP</li> </ul>	<ul style="list-style-type: none"> <li>PASSAGE LOCK</li> <li>INDICATOR LOCK</li> <li>CLOSER</li> <li>HINGES</li> <li>GASKETING</li> <li>DOOR SWEEP</li> <li>HINGE STOP</li> </ul>	<ul style="list-style-type: none"> <li>STOREROOM LOCK</li> <li>HINGES</li> </ul>	<ul style="list-style-type: none"> <li>ENTRANCE LOCK</li> <li>HINGES</li> <li>GASKETING</li> <li>SPRING HINGES (CLOSER)</li> <li>DOOR SWEEP</li> <li>THRESHOLD</li> </ul>

**HARDWARE REQUIREMENTS: ALL DOOR HARDWARE MUST COMPLY WITH SECTION 1010.2 INCLUDING BUT NOT LIMITED TO:**

**1010.2** ALL DOORS SHOWN AS PART OF THE MEANS OF EGRESS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. EGRESS CORRIDOR DOORS SHALL BE OPENABLE FROM THE EGRESS SIDE AT ALL TIMES

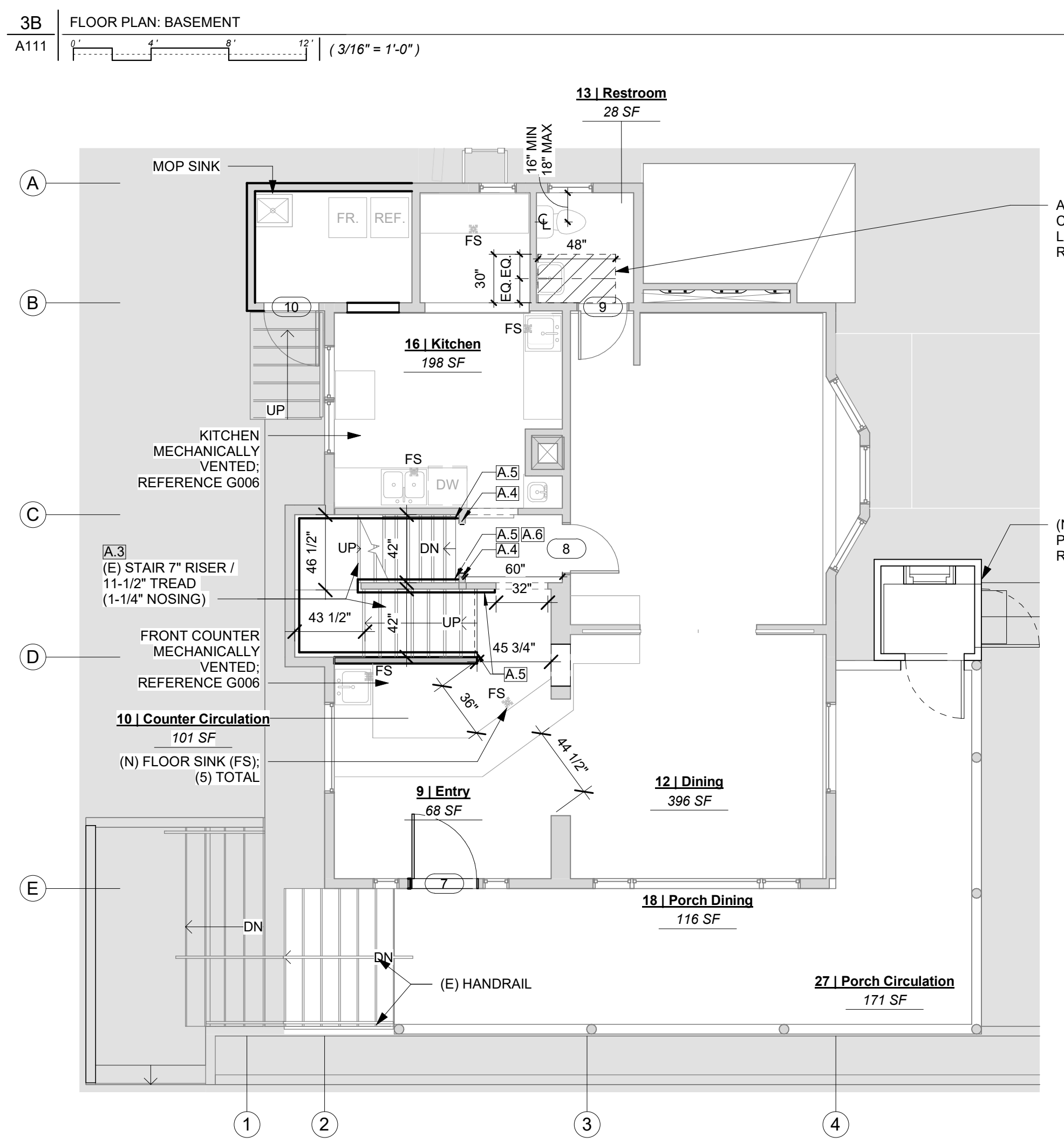
**1010.1.9.1** HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING.

**1010.2.3** HARDWARE HEIGHT, BETWEEN 34" AND 48"

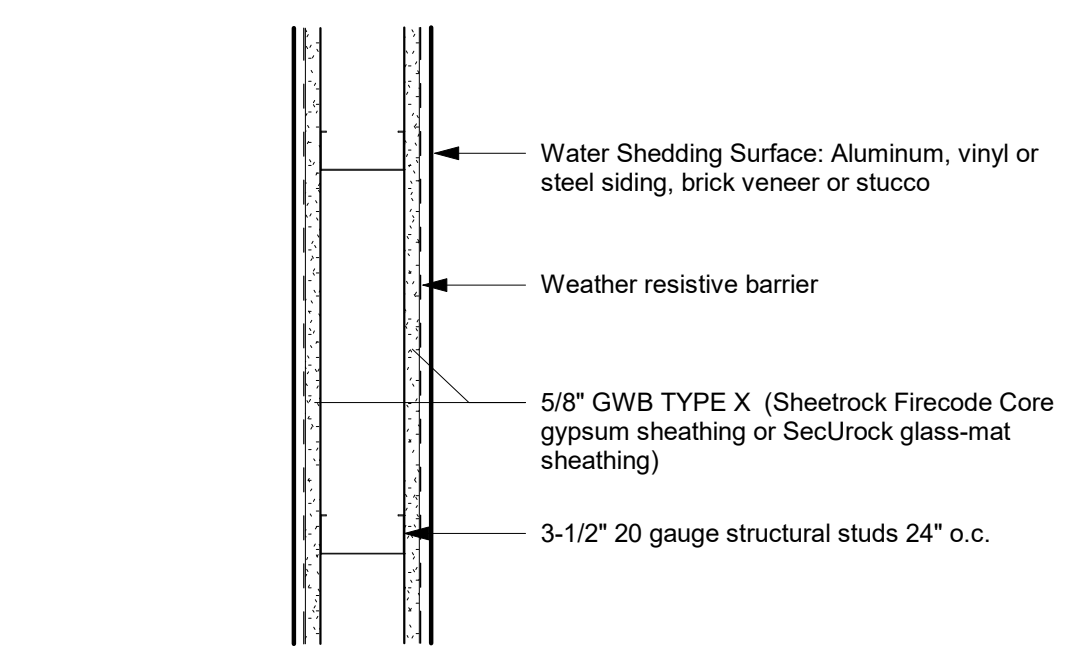
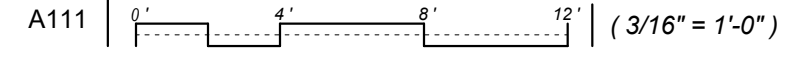
**1010.2.4** BOLT LOCKS, ARE NOT PERMITTED UNLESS MEETING EXCEPTIONS.

**1010.2.1** UNLATCHING, SHALL NOT REQUIRE MORE THAN ONE OPERATION.

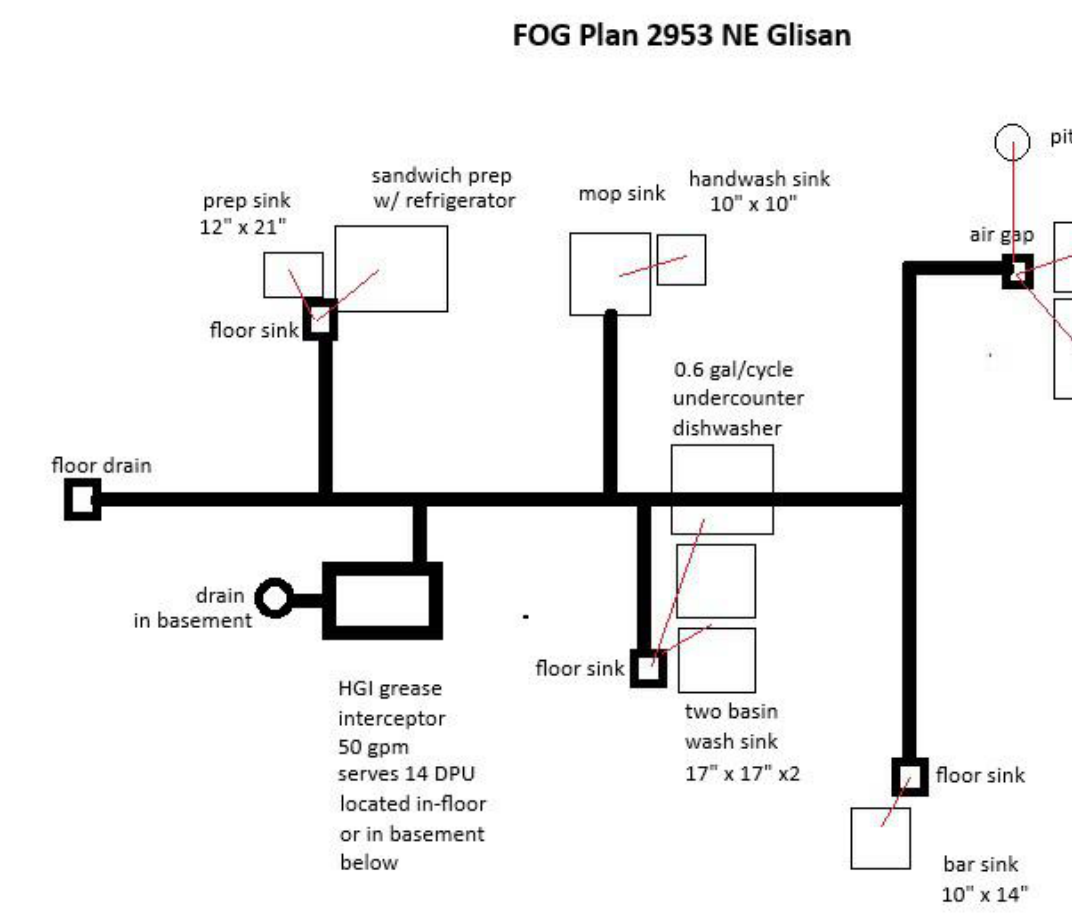
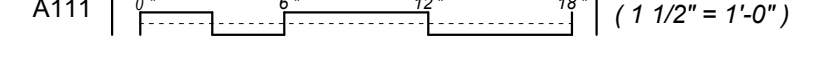
**1010.1.6** ALL THRESHOLDS IN ALL HARDWARE GROUPS TO BE 1/2" MAX HEIGHT WITH BEVELED EDGES.



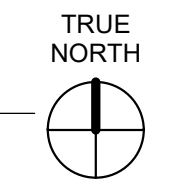
3C FLOOR PLAN: LEVEL 1



1B EXTERIOR WALL: EXTERIOR 1 HR FIRE WALL



1C FOG Diagram





PETER MEIJER ARCHITECT, PC

2232 SE Clinton Street  
Portland, OR 97202  
Phone: (503) 517-0283  
www.pmapdx.com

Consultant:

Stamp:

**Commercial  
Conversion TI**  
2953 NE Glisan Street

**Owner:**  
Laurelhurst Asset Management  
1001 SE Water Ave, Suite 217,  
Portland, OR 97214

**Revisions:**

No.	Description	Date
1	CHECKSHEET 1	X/X/2026

**Project Number:**  
25-007

**Issuance:**  
Issuance  
**Issue Date:**  
1/29/2026

**Drawn By:**  
Author  
**Checked By:**  
Checker

**Sheet Title:**  
DETAILS

**Sheet Number:**

**A500**

NOT FOR CONSTRUCTION