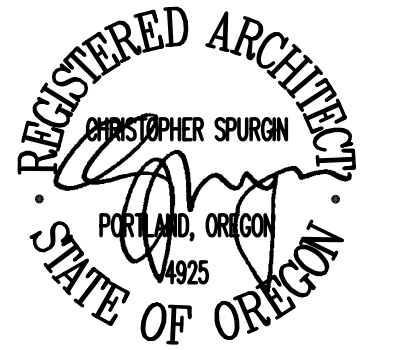


# LINDHURST APARTMENTS RENOVATION

## BUILDING D UNITS 3, 4 & 5

6010 NE Flanders Street, Portland, Oregon 97213



### ABBREVIATIONS

ADA	AMERICANS WITH DISABILITIES ACT
AFF	ABOVE FINISH FLOOR
ARCH	ARCHITECTURAL
BLDG	BUILDING
BO	BOTTOM OF
CL	CENTER LINE
CLNG, CLG	CEILING
CLR	CLEAR
CONC	CONCRETE
CONT	CONTINUOUS OR CONTINUED
DEMO	DEMOLITION
DIM	DIMENSION
DWG	DRAWING
(E)	EXISTING
ELEV	ELEVATION
ELEC	ELECTRICAL
EP	ELECTRICAL PANEL
EQ	EQUAL
EQUIP	EQUIPMENT
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FIN	FINISH
FOF	FACE OF FINISH
FOS	FACE OF STUD
FT	FOOT
GALV	GALVANIZED
GYP	GYPSONUM, GYPSONUM BOARD
HM	HOLLOW METAL
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
INT	INTERIOR
JOINT	JOINT
MECH	MECHANICAL
MFR	MANUFACTURER
MISC	MISCELLANEOUS
MTL	METAL
(N)	NEW
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OCFI	OWNER FURNISHED CONTRACTOR INSTALLED
OFI	OWNER FURNISHED OWNER INSTALLED
P	PAINT
PLYWD	PLYWOOD
RB	RUBBER BASE
REF	REFERENCE
REQ'D	REQUIRED
REV	REVISION(S), REVISED
RO	ROUGH OPENING
SC	SOLID CORE
SCHED	SCHEDULE
SIM	SIMILAR
SPEC	SPECIFICATION(S)
STD	STANDARD
STL	STEEL
TO	TOP OF
TP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF, V.I.F.	VERIFY IN FIELD
WD	WOOD

### GENERAL NOTES

- ALL WORK SHALL COMPLY WITH APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, AND FIRE CODES AS WELL AS ACCIDENT AND FIRE PREVENTION REGULATIONS.
- IN PERFORMING PROFESSIONAL SERVICES FOR THIS PROJECT, STACK ARCHITECTURE ISSUES, EXPRESSES OR IMPLIES NO WARRANTIES OR CERTIFICATIONS.
- INFORMATION RELATING TO THE EXISTING BUILDING IS BASED ON DOCUMENTS PROVIDED BY THE OWNER AND FIELD MEASUREMENTS. ACTUAL CONDITIONS MAY VARY.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- CONTRACTOR SHALL PROVIDE SHORING, BRACING, SUPPORT AND PROTECTION AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF THE BUILDING.
- CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. CONTRACTOR TO COORDINATE WITH OWNER ON METHODS AND SEQUENCE OF DEMOLITION OPERATIONS.
- CONTRACTOR SHALL PROTECT EXISTING OCCUPANTS, PROPERTY, FINISHES, FURNISHINGS AND EQUIPMENT FROM DAMAGE DURING PERFORMANCE OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUISITION OF ALL TRADE PERMITS INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL PERMITS OR LICENSES IN CONNECTION WITH THE WORK REPRESENTED IN THESE DOCUMENTS AS REQUIRED BY LOCAL, COUNTY AND STATE ORDINANCES.
- SOLID BLOCKING SECURED TO STRUCTURE SHALL BE PROVIDED AT ALL WALL OR CEILING MOUNTED ACCESSORIES REQUIRING SUPPORT.
- ALL THROUGH-WALL MECHANICAL AND ELECTRICAL PENETRATIONS TO BE SMOKE-TIGHT.
- CONTRACTOR TO VERIFY THAT ALL EQUIPMENT & SYSTEMS ARE COORDINATED & DESIGNED TO FUNCTION WITH THE EXISTING BUILDING SYSTEMS.
- ALL PORTIONS OF THE BUILDING OUTSIDE THE SCOPE OF WORK WILL REMAIN OPEN TO THE PUBLIC. CONTRACTOR TO MAINTAIN ALL EGRESS PATHS AND EMERGENCY LIGHTING.
- CONTRACTOR TO MAINTAIN RATED ASSEMBLY FOR ANY PENETRATIONS THROUGH A FIRE RATED ASSEMBLY.
- PROVIDE MIN. STC:50 & IIC:50 AT ALL WALLS /CEILINGS.
- PROVIDE 1-HR RATED ASSEMBLY AT ALL CEILINGS & WALLS BETWEEN ADJACENT UNITS.

### ELECTRICAL COORDINATION

- THE ELECTRICAL WORK WILL BE BIDDER DESIGNED. ELECTRICAL DESIGN MUST MEET ALL LOCAL AND STATE CODES. CONTRACTOR SHALL VERIFY ALL UTILITIES AND COORDINATE EQUIPMENT REQUIREMENTS, SIZES, FINISHES AND LOCATIONS WITH OWNER PRIOR TO PROCEEDING AND REVIEW WITH ARCHITECT PRIOR TO FINAL ROUGH-IN.
- PROPOSALS AND DOCUMENTS PERTAINING TO THIS WORK SHALL BE PROVIDED TO THE ARCHITECT FOR REVIEW PRIOR TO PROCEEDING. ALL ELECTRICAL EQUIPMENT AND COMPONENT LOCATIONS AND ANY OTHER EXPOSED EQUIPMENT SHALL BE SUBMITTED FOR REVIEW.

### MECHANICAL COORDINATION

- THE MECHANICAL WORK WILL BE BIDDER DESIGNED. MECHANICAL DESIGN MUST MEET ALL LOCAL AND STATE CODES. CONTRACTOR SHALL VERIFY ALL UTILITIES AND COORDINATE EQUIPMENT REQUIREMENTS, SIZES, FINISHES AND LOCATIONS WITH OWNER PRIOR TO PROCEEDING AND REVIEW WITH ARCHITECT PRIOR TO FINAL ROUGH-IN.
- PROPOSALS AND DOCUMENTS PERTAINING TO THIS WORK SHALL BE PROVIDED TO THE ARCHITECT FOR REVIEW PRIOR TO PROCEEDING. ALL MECHANICAL EQUIPMENT AND COMPONENT LOCATIONS AND ANY OTHER EXPOSED EQUIPMENT SHALL BE SUBMITTED FOR REVIEW.

### FIRE/SMOKE SYSTEM COORDINATION

- FINAL DESIGN, ENGINEERING, CALCULATIONS, PERMIT ACQUISITION, AND MODIFICATION OF THE EXISTING FIRE/SMOKE ALARM SYSTEM, TO BE PROVIDED ON A BIDDER-DESIGNED BASIS BY THE CONTRACTOR. ALL SYSTEMS, EQUIPMENT, LOCATIONS, AND DESIGN TO BE APPROVED BY THE ARCHITECT & THE FIRE MARSHAL PRIOR TO INSTALLATION.

### SPRINKLER SYSTEM COORDINATION

- MODIFY EXISTING SPRINKLER SYSTEM AS REQUIRED TO MAINTAIN COVERAGE AREA. LOCATION AND NUMBER OF SPRINKLERS TO BE INSTALLED PER CODE & FIRE MARSHAL REQUIREMENTS.
- FINAL DESIGN, ENGINEERING, CALCULATIONS, PERMIT ACQUISITION, AND MODIFICATION OF THE EXISTING SPRINKLER SYSTEM TO BE PROVIDED ON A BIDDER-DESIGNED BASIS BY THE CONTRACTOR. ALL SYSTEMS, EQUIPMENT, LOCATIONS, AND DESIGN TO BE APPROVED BY THE ARCHITECT AND FIRE MARSHAL PRIOR TO INSTALLATION.

### EGRESS LIGHTING

EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT CANDLE AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. A MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. BACKUP POWER FOR EMERGENCY LIGHTING SHALL BE PROVIDED FOR A MINIMUM OF 90 MINUTES.

### PROJECT DESCRIPTION

CONVERSION OF BASEMENT STORAGE / MECHANICAL SPACES TO STUDIO APARTMENTS. SCOPE PER APARTMENT INCLUDES NEW KITCHEN, BATHROOM, AND ENLARGED & ADDITIONAL WINDOWS.

### SITE & ZONING INFORMATION

PROJECT ADDRESS:	6010 NE FLANDERS STREET (W/ 6009 & 6029) PORTLAND, OREGON 97213
ZONE:	R1 - MEDIUM DENSITY RESIDENTIAL, 1000
OVERLAY:	N/A
CONSERVATION DIST.	N/A
TAX ROLL:	LINDHURST, BLOCK 1, LOT 1-9 & 22 & 23
PROPERTY ID:	R207611
CURRENT USE:	51 & OVER UNIT MULTIFAMILY
PROPOSED USE:	NO CHANGE
SITE SIZE:	66,245 SQUARE FEET TOTAL (56,245 SF + 10,000)
BUILDING FOOTPRINT:	38,481 SQUARE FEET (29,161 SF + 9,320)

### CODE ANALYSIS

APPLICABLE BUILDING CODES:	- 2010 EDITION OF OREGON STRUCTURAL SPECIALTY CODE - 2010 EDITION OF OREGON ENERGY EFFICIENCY SPECIALTY CODE - 2011 EDITION OF OREGON ELECTRICAL SPECIALTY CODE - 2010 EDITION OF OREGON MECHANICAL SPECIALTY CODE - 2011 EDITION OF OREGON PLUMBING SPECIALTY CODE - 2010 EDITION OF OREGON FIRE CODE
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OCCUPANCY TYPE:	R-2: APARTMENTS
CONSTRUCTION TYPE:	TYPE VB
ALLOWABLE HEIGHT/AREA:	NO CHANGE PROPOSED
FIRE PROTECTION:	NEW APARTMENTS TO BE SPRINKLERED, EXISTING APARTMENTS ARE UNSPRINKLERED
UNIT 3 AREA:	602 SF
UNIT 3 NATURAL LIGHT REQUIREMENT:	602 SF X 8% = 48.2 SF REQ'D WINDOW AREA = 50.4 SF (EXCEEDS CODE)
UNIT 4 AREA:	382 SF
UNIT 4 NATURAL LIGHT REQUIREMENT:	382 SF X 8% = 30.6 SF REQ'D WINDOW AREA = 31.2 SF (EXCEEDS CODE)
UNIT 5 AREA:	619 SF
UNIT 5 NATURAL LIGHT REQUIREMENT:	619 SF X 8% = 49.5 SF REQ'D WINDOW AREA = 50.5 SF (EXCEEDS CODE)

### DRAWINGS LIST

- G1 GENERAL INFORMATION, SHEET INDEX, SITE PLAN
- A1 BLDG D UNITS 3 & 4 DEMO & FLOOR PLANS
- A2 BLDG D UNIT 5 DEMO & FLOOR PLAN, TYPICAL CABINETRY
- A3 BLDG D UNITS 3, 4 & 5 RCP / POWER PLAN, TYP. FLR/CLG & WALL ASSEMBLIES, TYP. WINDOW SECTION, TYP. WINDOW ELEVATIONS

### PROJECT TEAM

#### CLIENT

CITY HOUSES PDX  
6010 NE Flanders Street #B12  
Portland, Oregon 97213  
tel (503) 710-7638  
Richard Larson / richard.larson@cityhousespdx.com

#### ARCHITECT

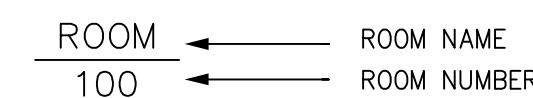
STACK architecture  
32 NE 7th Avenue  
Portland, OR 97232  
tel (503) 481-1332  
Chris Spurgin / chris@stackpdx.com

#### GENERAL CONTRACTOR

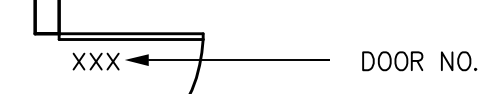
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### TARGETS

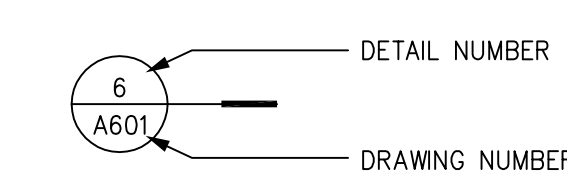
#### ROOM NAME



#### DOOR NO. TARGET



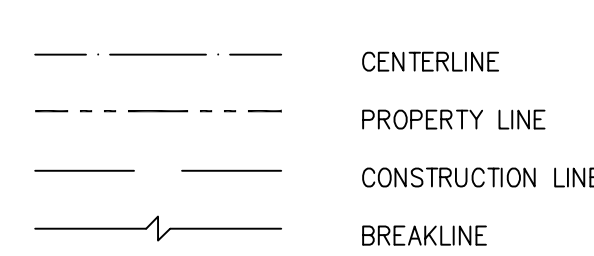
#### BUILDING OR WALL SECTION TARGET



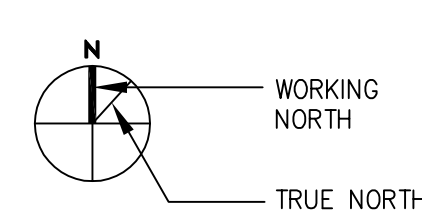
#### STRUCTURAL GRID



#### LINE TYPES



#### NORTH ARROW



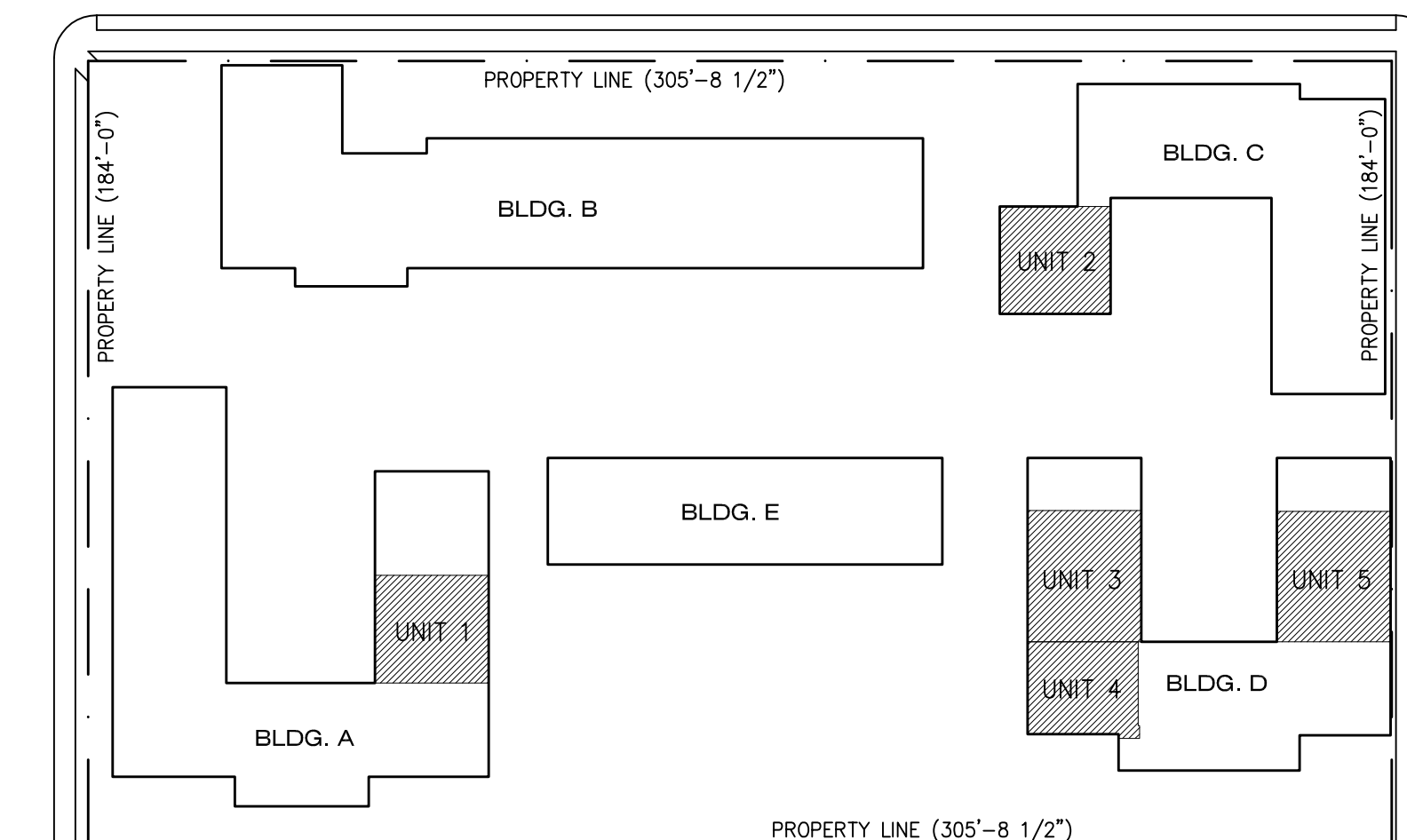
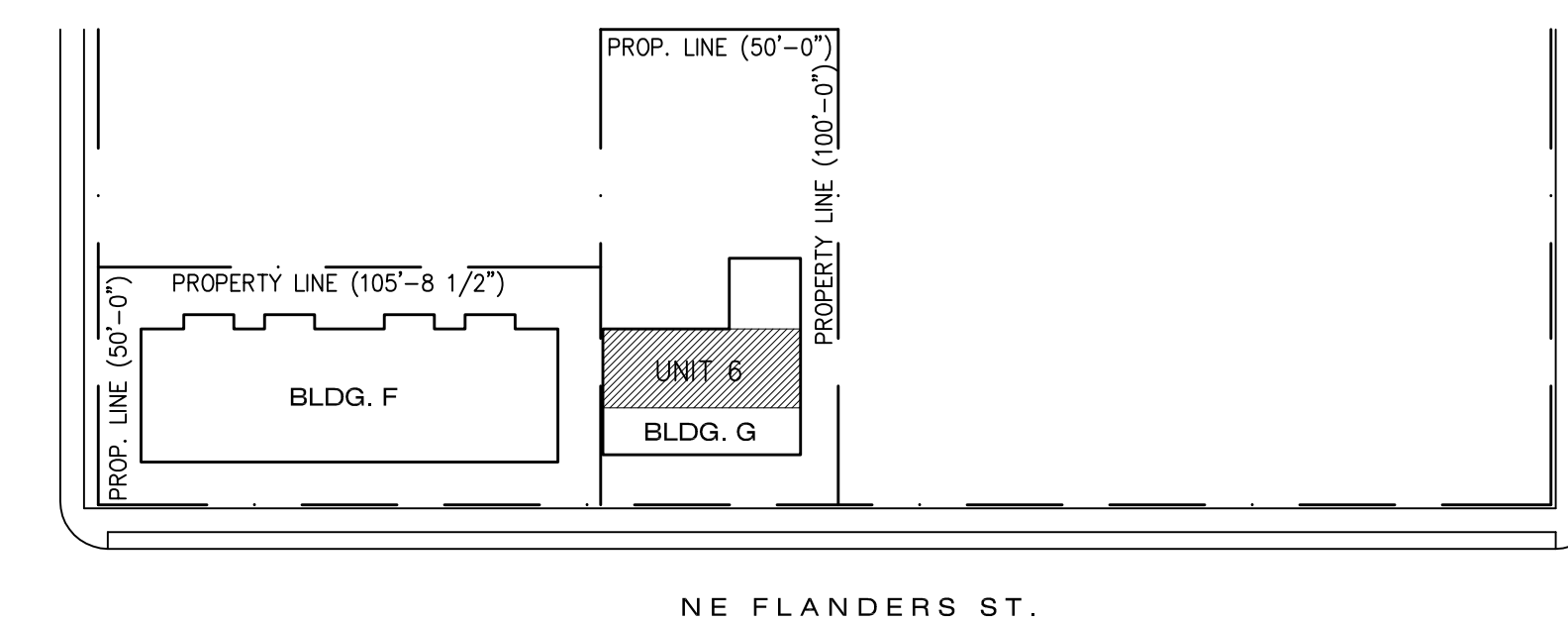
### BIDDER DESIGNED REQUIREMENTS

- THE CONTRACTOR SHALL COORDINATE AND ASSUME (OR ASSIGN TO SUBCONTRACTOR) COMPLETE RESPONSIBILITY FOR DESIGN, ENGINEERING, SUBMITTALS, FABRICATION, TRANSPORTATION, AND INSTALLATION OF THIS WORK.
- PRIOR TO STARTING WORK, THE CONTRACTOR SHALL SUBMIT ALL BIDDER-DESIGNED DOCUMENTS TO THE GOVERNING BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. EACH BIDDER-DESIGNED ITEM MAY REQUIRE A SEPARATE PERMIT AND FEE, WHICH SHALL BE PAID BY THE CONTRACTOR.
- COMPONENTS OF WORK REQUIRING BUILDING DEPARTMENT REVIEW AND APPROVAL:
  - FIRE/SMOKE ALARM SYSTEMS
  - SPRINKLER SYSTEMS
  - ELECTRICAL SYSTEMS
  - MECHANICAL SYSTEMS
  - ANY OTHERS REQUIRED BY BUILDING DEPARTMENT
- COMPLY WITH BUILDING DEPARTMENT REQUIREMENTS.
- INCLUDE DESIGN CRITERIA, DESIGN ASSUMPTIONS, STRUCTURAL CALCULATIONS, FABRICATION AND CONSTRUCTION DETAILS, REQUIRED CLEARANCES, AND INTERFACE REQUIREMENTS.
- AFFIX DESIGN PROFESSIONAL'S SEAL OF OREGON STATE LICENSE ON ALL SUBMITTALS.



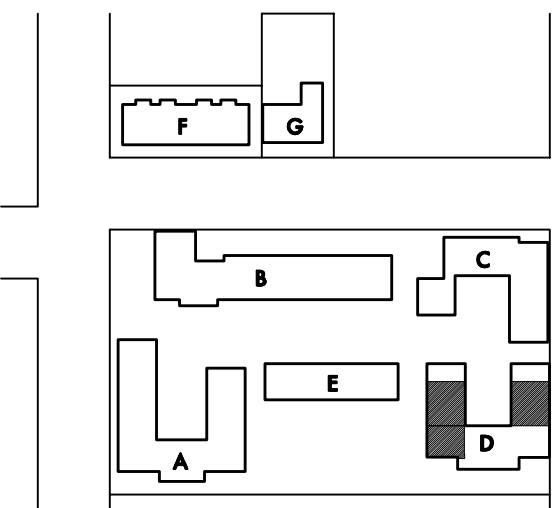
VICINITY MAP

SCALE: NTS



SITE PLAN

SCALE: 1" = 40'-0"



KEY PLAN

STACK architecture  
32 NE 7th Avenue  
Portland, Oregon 97232  
t (503) 481-1332  
www.stackpdx.com

REVISION NO. \_\_\_\_\_ DATE \_\_\_\_\_

BUILDING D  
UNITS 3, 4 & 5

LINDHURST APARTMENTS  
RENOVATION

6010 NE Flanders Street  
Portland, OR 97213

ISSUANCE  
PERMIT SET

PROJECT NUMBER  
11032

DATE  
DECEMBER 13, 2011

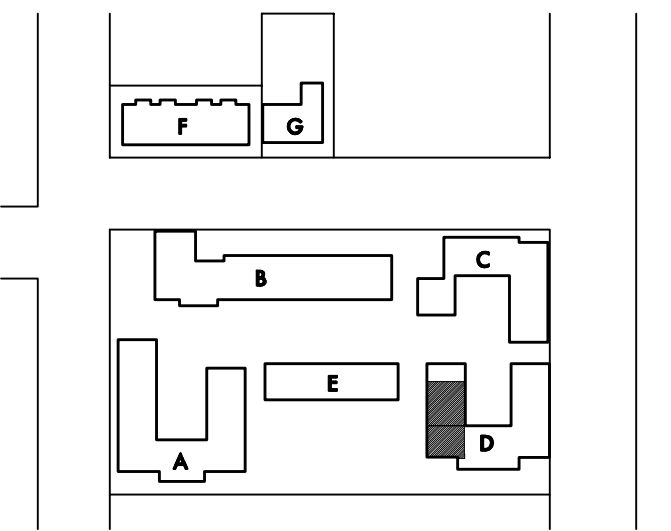
SCALE  
AS NOTED

DRAWN BY  
HF

DRAWING TITLE  
GENERAL INFO  
SHEET INDEX  
SITE PLAN

SHEET NUMBER

**G1**



KEY PLAN

**STACK architecture**  
32 NE 7th Avenue  
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t. (503) 481-1332  
www.stackpdx.com

REVISION NO. \_\_\_\_\_ DATE \_\_\_\_\_

**BUILDING D  
UNITS 3, 4 & 5**

**LINDHURST APARTMENTS  
RENOVATION**

6010 NE Flanders Street  
Portland, OR 97213

ISSUANCE  
PERMIT SET

PROJECT NUMBER  
11032

DATE  
DECEMBER 13, 2011

SCALE  
AS NOTED

DRAWN BY  
HF

DRAWING TITLE  
BLDG D UNITS 3 & 4  
DEMO & FLOOR PLANS

SHEET NUMBER

**A1**

**GENERAL NOTES**

1. PROVIDE PLYWD. BACKING AND STUD FRAMING AT ALL WALL AND CEILING HUNG CABINETS, RAILINGS AND ALL OTHER WALL MOUNTED ACCESSORIES. VERIFY LOCATIONS PRIOR TO INSTALLATION OF GYP. BD.
2. ALL INTERIOR WALLS TO BE FULL HEIGHT FROM FLOOR TO STRUCTURE U.N.O.
3. REFER TO INTERIOR ELEVATIONS FOR TYPICAL FINISHES AND DETAILS.
4. COORDINATE ALL MECHANICAL AND ELECTRICAL DUCTS, FITTINGS, CONDUITS AND FIXTURES IN AREA OR SPACES OF WORK (BOTH NEW AND EXISTING) WITH SCHEDULED WALL, FLOOR AND CEILING ASSEMBLIES AND FINISHES.
5. PATCH ALL DAMAGED WALL FINISHES TO MATCH EXISTING. SKIM COAT WALLS AS REQUIRED TO PROVIDE "LIKE-NEW" FINISH ON WALLS WHERE EXISTING FINISH HAS BEEN ALTERED.
6. ALL INTERIOR LAYOUT DIMENSIONS TO FACE OF FINISH UNLESS NOTED OTHERWISE. EXTERIOR LAYOUT DIMENSIONS ARE TO FACE OF SHEATHING.
7. INFILL WALL CONSTRUCTION AND FINISH TO MATCH EXISTING.
8. CONTRACTOR TO DETERMINE STAGING AREA AND SITE ACCESS.
9. DEMOLISH ALL ABANDONED EQUIPMENT, FIXTURES, CONDUITS ETC. ON EXTERIOR & INTERIOR OF BUILDING.
10. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED OR COVERED W/ 15# FELT OR OTHER SIM. FLASHING.
11. ALL WINDOWS TO HAVE "CHARLEY BAR" PER PORTLAND POLICE BUREAU RECOMMENDATIONS.
12. NEW WOOD SILL @ ALL WINDOWS.
13. PAINT ALL WALLS, CEILINGS, COLUMNS, BEAMS, POST BASES, ETC. U.N.O.

**STRUCTURAL NOTES**

1. CONTRACTOR TO VERIFY (E) FRAMING DIMENSIONS AND CONDITIONS
2. PARTITION WALLS TO BE 2X4 STUDS AT 16" O.C.

**DEMOLITION NOTES**

1. DEMOLITION PLANS SHOW GENERAL DEMOLITION WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR FROM OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS SHOWN ON THE CONTRACT DOCUMENTS, INCLUDING STRUCTURAL AND BIDDER-DESIGNED MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
2. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODES AND REGULATIONS AND ACCIDENT AND FIRE PREVENTION REGULATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS OTHER THAN GENERAL BUILDING PERMIT AS REQUIRED BY LOCAL, COUNTY OR STATE ORDINANCES AND BEARS ALL COSTS.
4. PROTECT ALL EXISTING EQUIPMENT, FURNISHINGS, FINISHES, PLANTINGS, ETC., SHOWN TO REMAIN, FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE IS TO BE REPAIRED AND RESTORED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
5. WHERE EXISTING ITEMS AND FINISHES ARE REMOVED, PATCH AND PREPARE EXPOSED SURFACES TO MATCH EXISTING ADJACENT FINISHES, UNLESS OTHERWISE NOTED.
6. MECHANICAL AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR ALL DEMOLITION AND PATCHING BEYOND WHAT MAY BE SHOWN ON DRAWINGS TO FACILITATE ACCESS TO WORK.
7. MECHANICAL AND ELECTRICAL SUBCONTRACTORS ARE ALSO RESPONSIBLE FOR ALL FIRE STOPPING RELATED TO THEIR WORK.
8. CLEAN & PREPARE ALL EXISTING SURFACES SCHEDULED TO RECEIVE NEW FINISHES.
9. REMOVE ALL EXISTING FRAMES FROM OPENINGS TO BE FILLED IN.
10. THE CONTRACTOR IS RESPONSIBLE FOR ANY BARRICADES AND FENCING OF THE JOB SITE REQUIRED.
11. PROTECT THE EXISTING STRUCTURE DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, BRACING AND SHORING FOR LOADS DUE TO CONSTRUCTION OR REMOVAL OF STRUCTURES WHICH ARE PART OF THE WORK.
12. CONTRACTOR DEMOLISHED ITEMS ARE TO BE DISPOSED OF PROPERLY OFF SITE AND IN AN EXPEDITIOUS MANNER UNLESS DIRECTLY NOTED OTHERWISE.
13. FIELD VERIFY ALL DIMENSIONS.
14. FIELD VERIFY ALL UTILITY LOCATIONS PRIOR TO DEMOLITION.
15. REMOVE ALL EXISTING LIGHT FIXTURES IN THE AREAS TO BE REMODELLED UNLESS NOTED OTHERWISE.
16. REMOVE EXISTING CIRCUITRY IN THE AREAS TO BE REMODELLED AS NECESSARY - COORDINATE WITH OWNER.
17. REMOVE ALL EXISTING LIGHT SWITCHES, FACEPLATES, OUTLETS AND ANY OTHER MISC. RELATED ELECTRICAL EQUIPMENT IN THE AREAS TO BE REMODELLED.
18. REMOVE ALL EXISTING PLUMBING FIXTURES AND PIPING (SUPPLY & WASTE) IN THE AREAS TO BE REMODELLED UNLESS NOTED OTHERWISE.

**APPEAL ITEMS (THIS PAGE)**

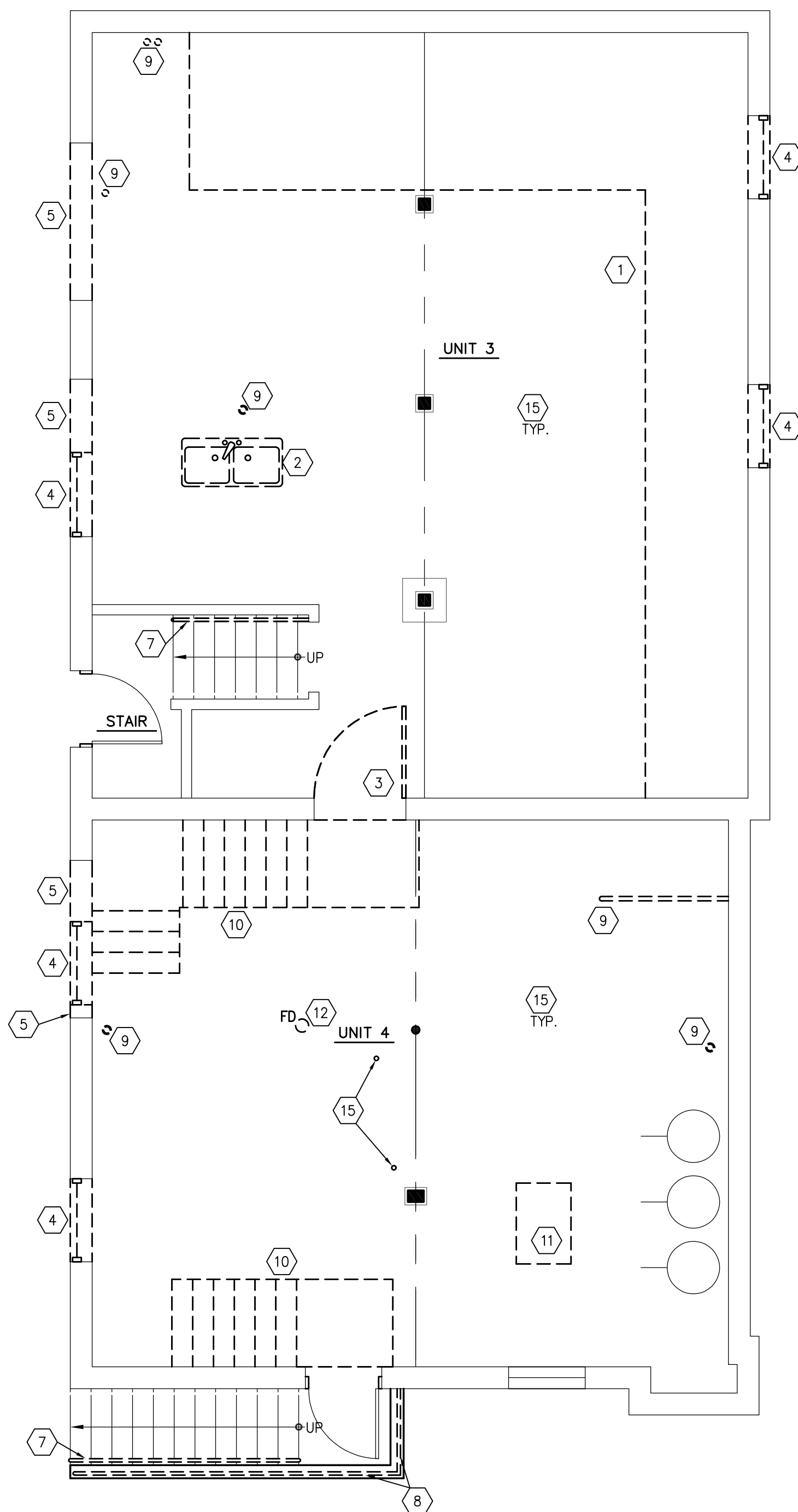
- UNIT 3:**
- (A1) (E) 9.5" TREADS TOO SHALLOW; HANDRAIL UNABLE TO EXTEND FULL 23" @ BOTTOM & 12" @ TOP OF (E) STAIR
  - (A2) (E) DOOR WIDTH = 32"
  - (A3) CEILING HEIGHT ABOVE FLOOR FINISH = 7'-5" HEIGHT OF BOTTOM OF BEAM ABOVE FLOOR FINISH = 6'-10"
- UNIT 4:**
- (A4) (E) STAIR TO MECH: 9.5" TREADS TOO SHALLOW; NEW HANDRAIL UNABLE TO EXTEND FULL 23" @ BOTTOM OF (E) STAIR
  - (A5) (E) STAIR TO MECH WIDTH = 35.5"
- \*\* SEE UNIT 3 APPEALS FOR EGRESS STAIR INFO

**FLOOR PLAN KEYNOTES (THIS PAGE)**

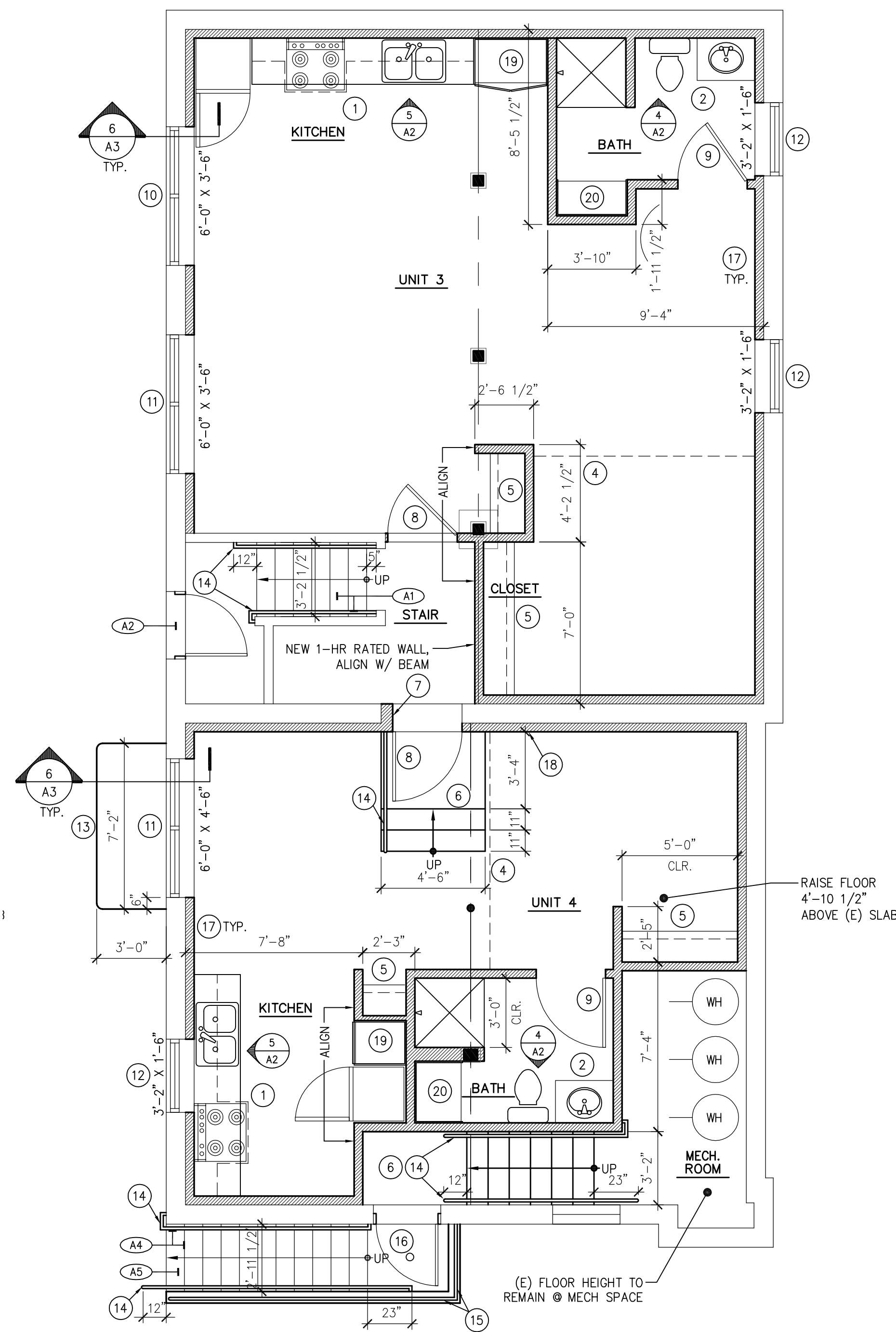
- 1 KITCHEN: REFRIGERATOR, SINK, FAUCET, RANGE & CABINETS (SEE 5/A2 FOR ELEVATION)
- 2 BATHROOM: 3'X3' SHOWER, TOILET, LAV, FAUCET, & CABINETS (SEE 4/A2 FOR ELEVATION)
- 3 NOT USED
- 4 CURTAIN & TRACK @ CEILING
- 5 SHELF, ROD & CURTAIN ROD
- 6 NEW STAIR W/ 11" TREADS & 7" RISERS
- 7 INFILL OPENING TO MATCH EXISTING
- 8 NEW 36" EXTERIOR DOOR, STEEL INSULATED W/ DEAD BOLT AND PEEP HOLE DOOR VIEWER, ADA LEVER HARDWARE, ADA THRESHOLD, AND WEATHERSTRIPPING.
- 9 NEW 36" DOOR W/ ADA LEVER HARDWARE
- 10 NEW WINDOW & NEW OPENING
- 11 NEW WINDOW & ENLARGED (E) OPENING
- 12 NEW REPLACEMENT WINDOW @ (E) OPENING
- 13 NEW CORRUGATED GALV. STEEL WINDOW WELL
- 14 NEW 34" TALL HANDRAIL
- 15 NEW 42" TALL GUARDRAIL W/ METAL MESH, MAX. OPENING 3.75"
- 16 NEW FLOOR DRAIN
- 17 5/8" GYP BOARD O/ R-13 BATT-FACED INSULATION @ 2X4 STUDS O/ 1/2" GAP O/ (E) CONCRETE FOUNDATION WALL
- 18 BLOCKING FOR COAT RACK
- 19 CASEWORK: FULL HEIGHT W/ ADJ. SHELVES & DOOR(S)
- 20 CASEWORK: (5) ADJ. OPEN SHELVES

**DEMO KEYNOTES (THIS PAGE)**

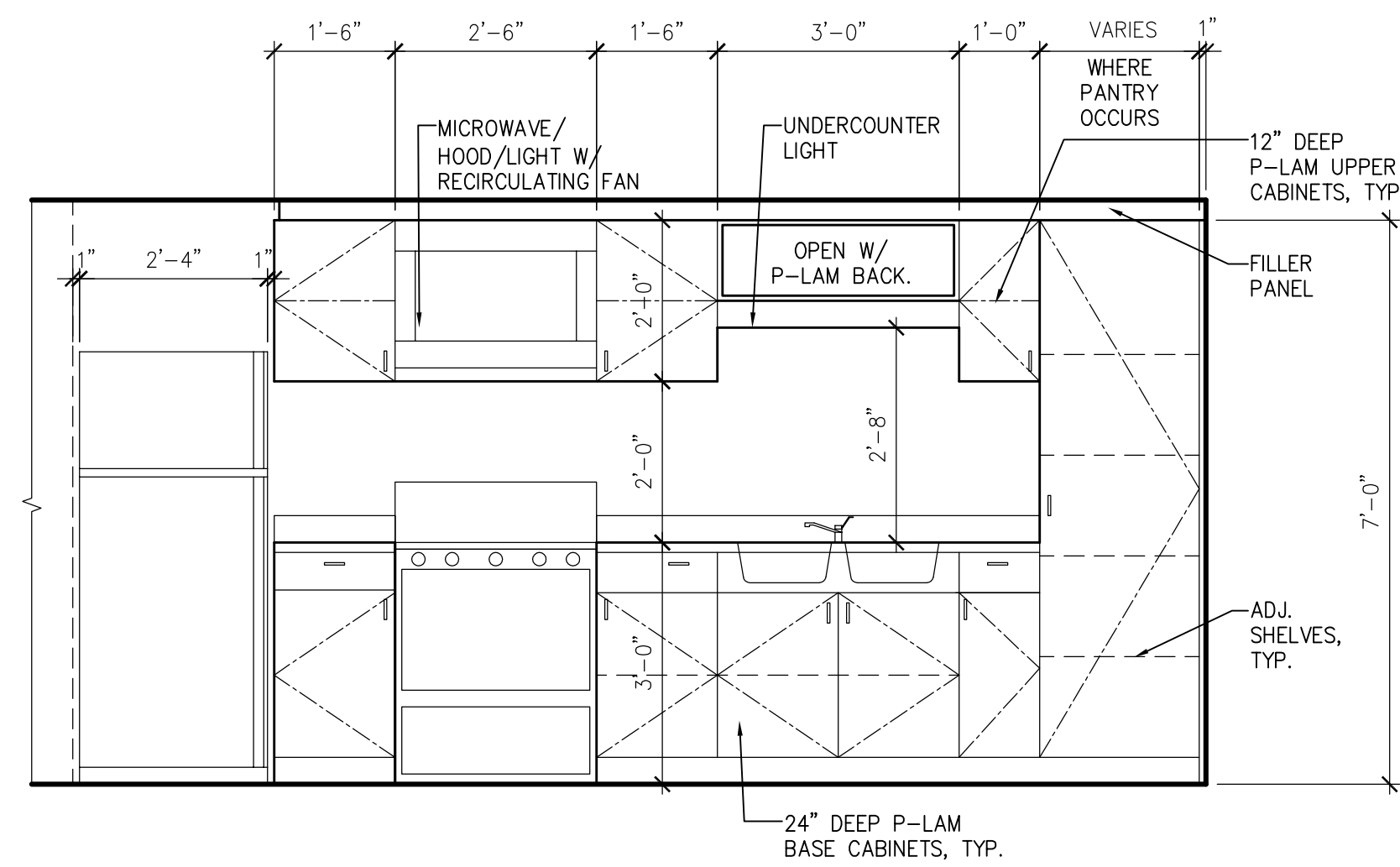
- 1 REMOVE (E) STORAGE CASEWORK
- 2 REMOVE (E) UTILITY SINK OR TOILET & PIPES SERVING IT
- 3 REMOVE (E) DOOR & FRAME
- 4 REMOVE (E) WINDOW & FRAME
- 5 REMOVE PORTION OF WALL FOR NEW WINDOW OR DOOR
- 6 REMOVE (E) WALL
- 7 REMOVE (E) HANDRAIL
- 8 REMOVE (E) GUARDRAIL
- 9 REROUTE WATER/WASTE PIPES SO AS TO NOT OBSTRUCT LIVING SPACE
- 10 REMOVE (E) STAIR & LANDING
- 11 REMOVE (E) CONCRETE PAD @ SLAB
- 12 REMOVE (E) FLOOR DRAIN, INFILL TRENCH WHERE APPLICABLE
- 13 RELOCATE (E) WATER HEATER AS SPECIFIED IN FLOOR PLANS
- 14 REMOVE & RELOCATE (E) DUCTWORK & CHIMNEYS
- 15 REMOVE (E) DISUSED ELECTRICAL CONDUIT/WIRES, DISUSED PLUMBING WASTE & SUPPLY LINES, DISUSED TELEPHONE EQUIPMENT/PANELS



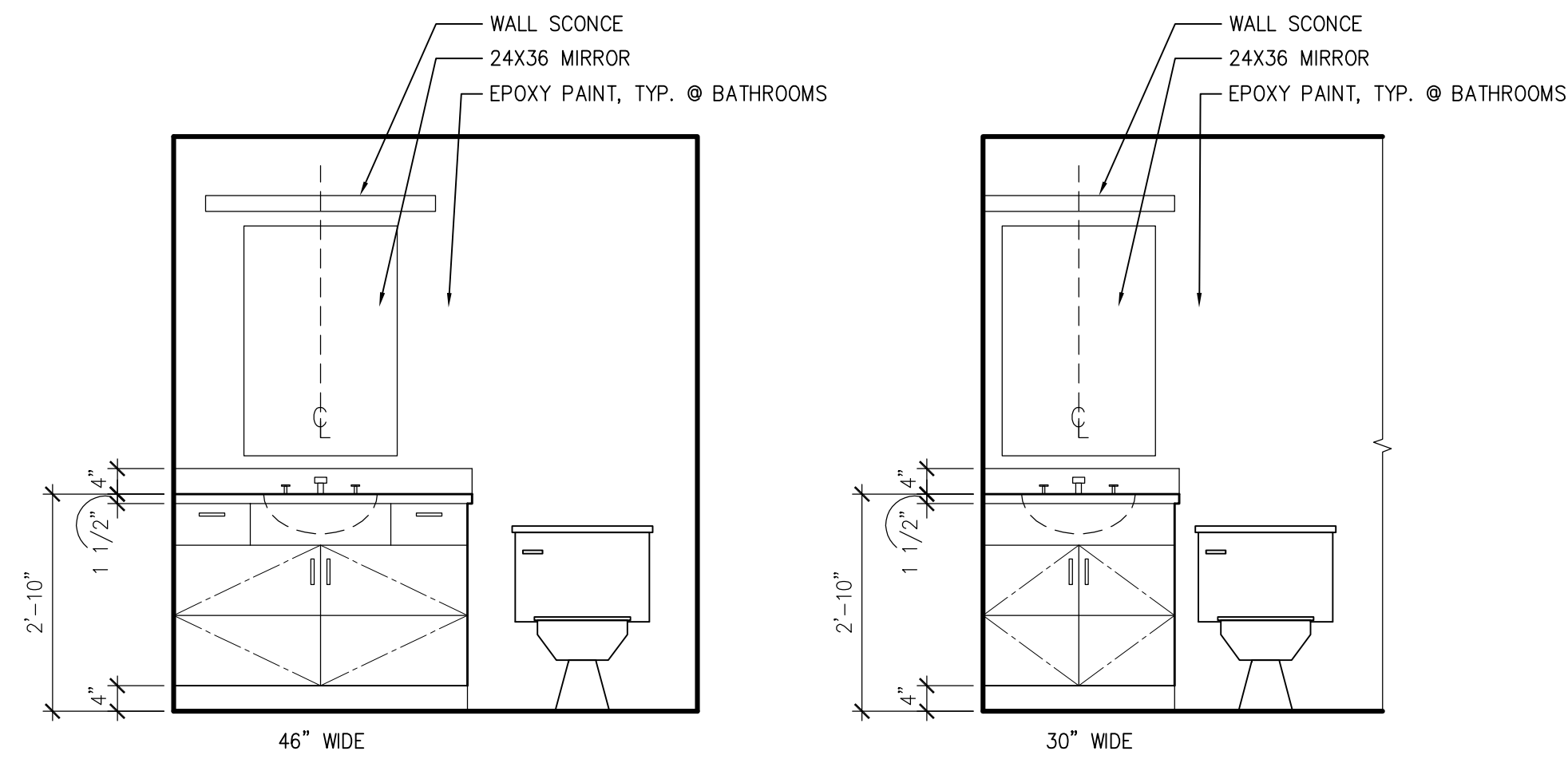
**2 UNITS 3 & 4 @ BLDG D: DEMO PLAN**  
SCALE: 1/4"=1'-0"



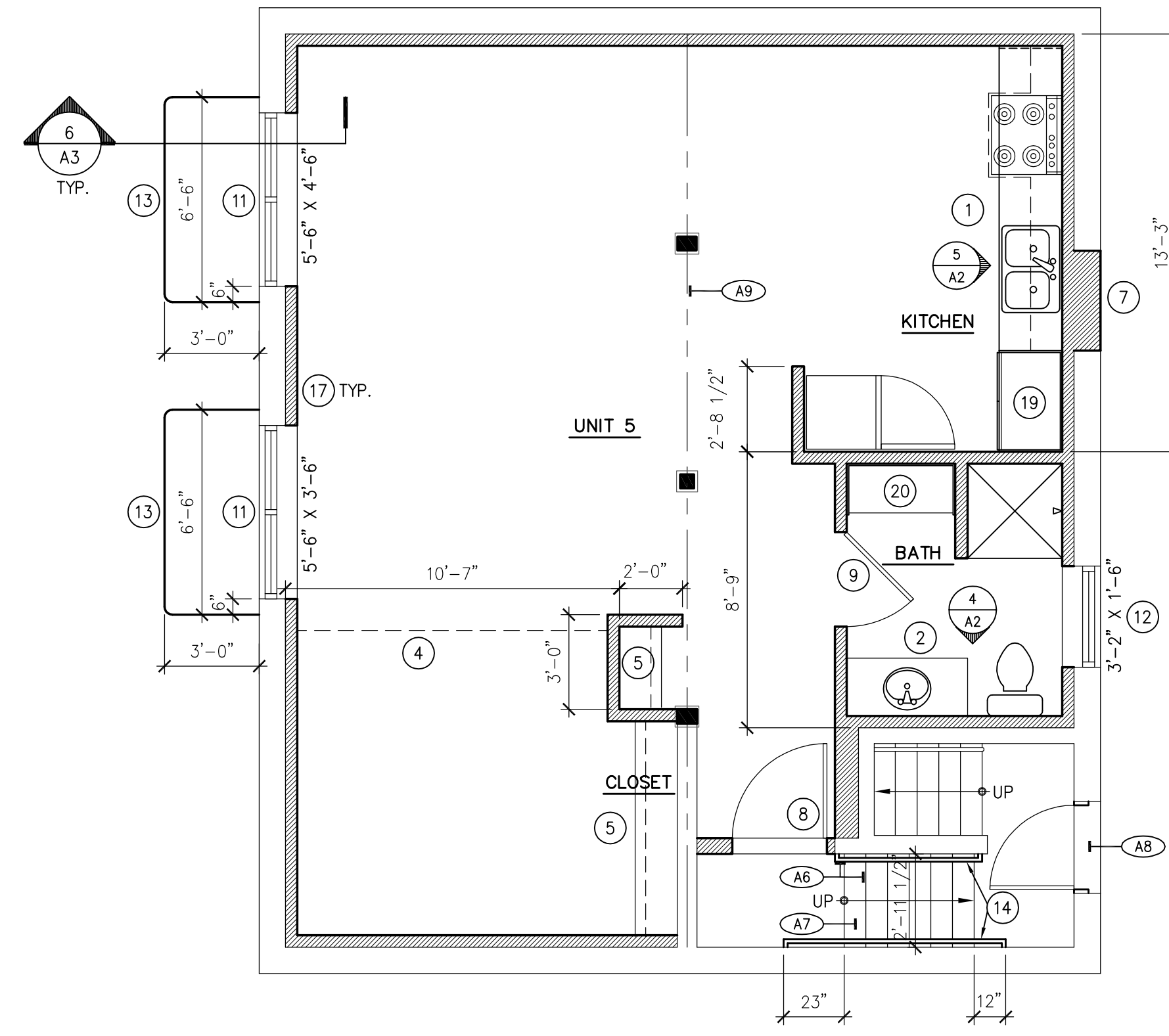
**1 UNITS 3 & 4 @ BLDG D: FLOOR PLAN**  
SCALE: 1/4"=1'-0"



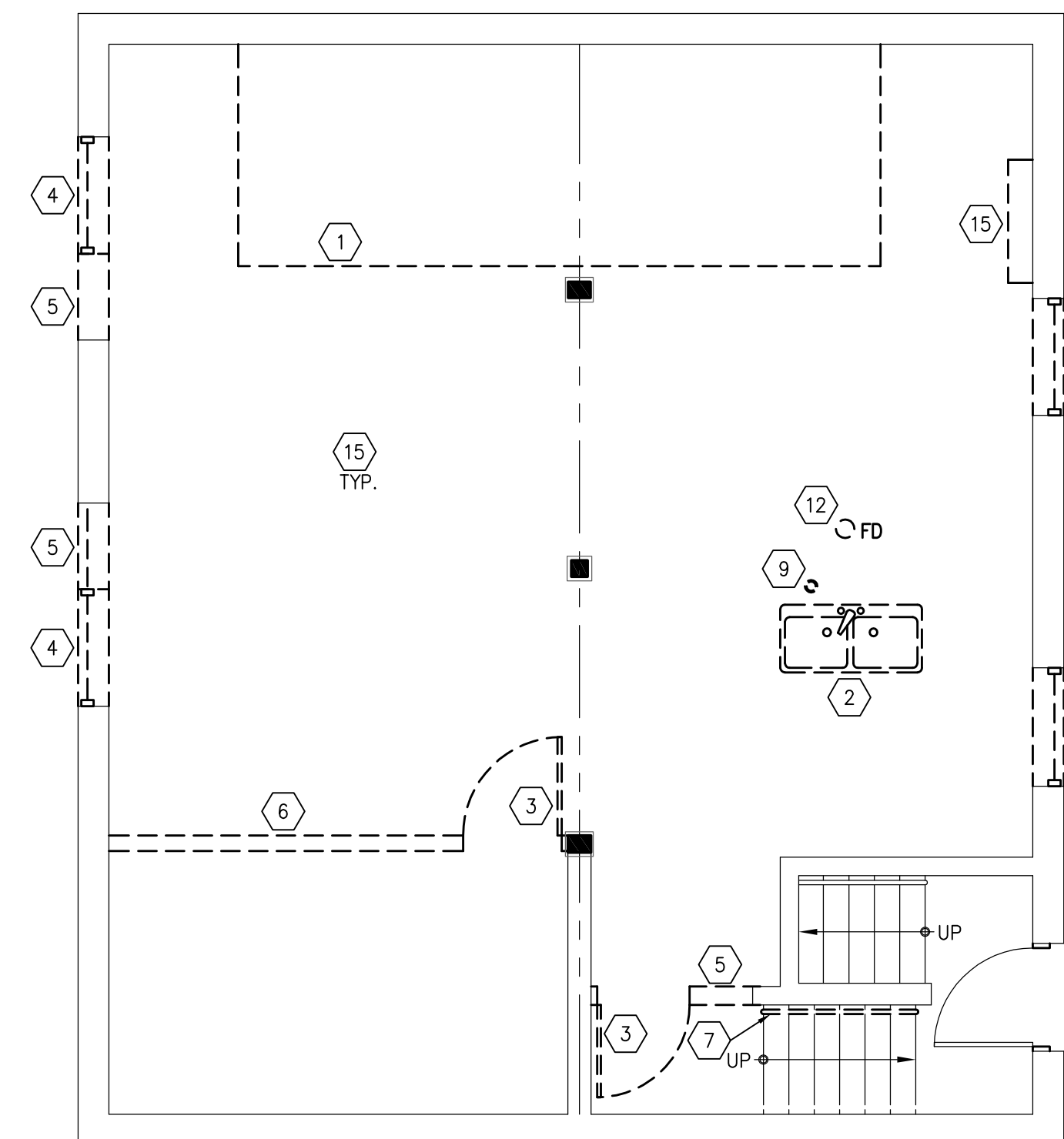
**5 TYPICAL KITCHEN CABINERY ELEVATION**  
SCALE: 1/2"=1'-0"



**4 TYPICAL BATHROOM CABINERY ELEVATIONS**  
SCALE: 1/2"=1'-0"



**2 UNIT 5 @ BLDG D: FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**1 UNIT 5 @ BLDG D: DEMO PLAN**  
SCALE: 1/4"=1'-0"

**APPEAL ITEMS (THIS PAGE)**

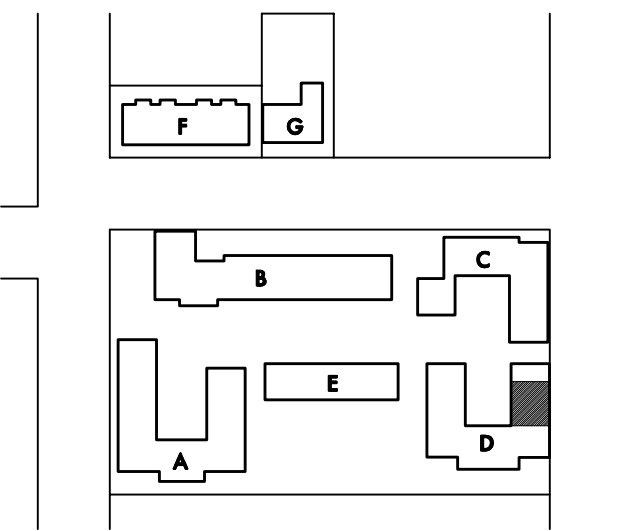
- UNIT 5:
- (A6) (E) 9.25" TREADS & 7.5" RISERS NOT TO CODE; HANDRAIL UNABLE TO EXTEND FULL 23" @ BOTTOM & 12" @ TOP OF (E) STAIR
  - (A7) (E) STAIR WIDTH = 35.5"
  - (A8) (E) DOOR WIDTH = 32"
  - (A9) CEILING HEIGHT ABOVE FLOOR FINISH = 6'-11" HEIGHT OF BOTTOM OF BEAM ABOVE FLOOR FINISH = 6'-4"

**FLOOR PLAN KEYNOTES (THIS PAGE)**

- (1) KITCHEN: REFRIGERATOR, SINK, FAUCET, RANGE & CABINERY (SEE 5/A2 FOR ELEVATION)
- (2) BATHROOM: 3'X3' SHOWER, TOILET, LAV, FAUCET, & CABINERY (SEE 4/A2 FOR ELEVATION)
- (3) NOT USED
- (4) CURTAIN & TRACK @ CEILING
- (5) SHELF, ROD & CURTAIN ROD
- (6) NEW STAIR W/ 11" TREADS & 7" RISERS
- (7) INFILL OPENING TO MATCH EXISTING
- (8) NEW 36" EXTERIOR DOOR, STEEL INSULATED W/ DEAD BOLT AND PEEP HOLE DOOR VIEWER, ADA LEVER HARDWARE, ADA THRESHOLD, AND WEATHERSTRIPPING.
- (9) NEW 36" DOOR W/ ADA LEVER HARDWARE
- (10) NEW WINDOW & NEW OPENING
- (11) NEW WINDOW & ENLARGED (E) OPENING
- (12) NEW REPLACEMENT WINDOW @ (E) OPENING
- (13) NEW CORRUGATED GALV. STEEL WINDOW WELL
- (14) NEW 34" TALL HANDRAIL
- (15) NEW 42" TALL GUARDRAIL W/ METAL MESH, MAX. OPENING 3.75"
- (16) NEW FLOOR DRAIN
- (17) 5/8" GYP BOARD O/ R-13 BATT-FACED INSULATION @ 2X4 STUDS O/ 1/2" GAP O/ (E) CONCRETE FOUNDATION WALL
- (18) BLOCKING FOR COAT RACK
- (19) CASEWORK: FULL HEIGHT W/ ADJ. SHELVES & DOOR(S)
- (20) CASEWORK: (5) ADJ. OPEN SHELVES

**DEMO KEYNOTES (THIS PAGE)**

- (1) REMOVE (E) STORAGE CASEWORK
- (2) REMOVE (E) UTILITY SINK OR TOILET & PIPES SERVING IT
- (3) REMOVE (E) DOOR & FRAME
- (4) REMOVE (E) WINDOW & FRAME
- (5) REMOVE PORTION OF WALL FOR NEW WINDOW OR DOOR
- (6) REMOVE (E) WALL
- (7) REMOVE (E) HANDRAIL
- (8) REMOVE (E) GUARDRAIL
- (9) REROUTE WATER/WASTE PIPES SO AS TO NOT OBSTRUCT LIVING SPACE
- (10) REMOVE (E) STAIR & LANDING
- (11) REMOVE (E) CONCRETE PAD @ SLAB
- (12) REMOVE (E) FLOOR DRAIN, INFILL TRENCH WHERE APPLICABLE
- (13) RELOCATE (E) WATER HEATER AS SPECIFIED IN FLOOR PLANS
- (14) REMOVE & RELOCATE (E) DUCTWORK & CHIMNEYS
- (15) REMOVE (E) DISUSED ELECTRICAL CONDUIT/WIRES, DISUSED PLUMBING WASTE & SUPPLY LINES, DISUSED TELEPHONE EQUIPMENT/PANELS



KEY PLAN

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**BUILDING D  
UNITS 3, 4 & 5**

**LINDHURST APARTMENTS  
RENOVATION**

6010 NE Flanders Street  
Portland, OR 97213

ISSUANCE  
PERMIT SET

PROJECT NUMBER  
11032

DATE  
DECEMBER 13, 2011

SCALE  
AS NOTED

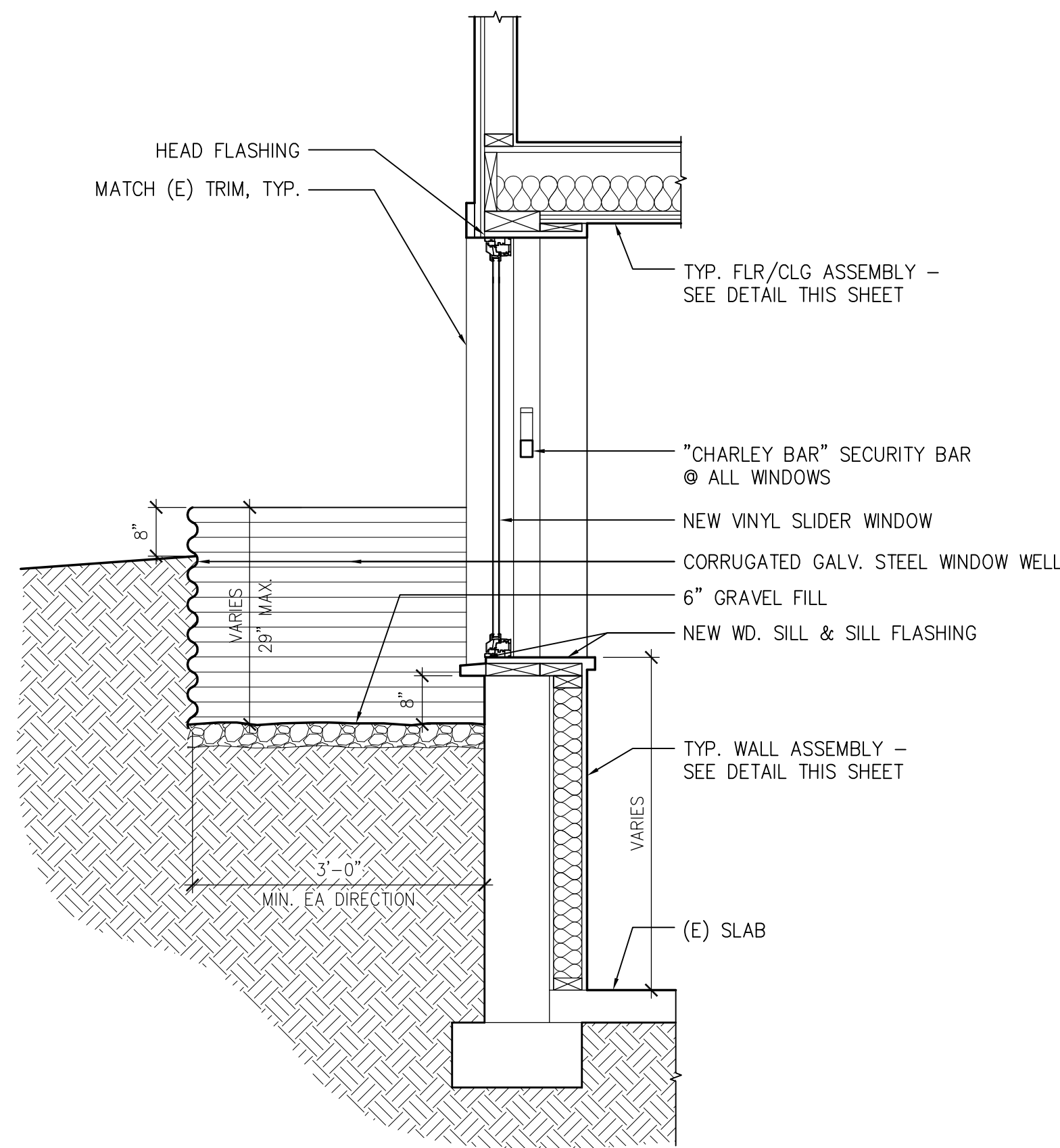
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HF

DRAWING TITLE  
BLDG D UNIT 5  
DEMO & FLOOR PLANS  
TYP. CABINERY ELEVATIONS

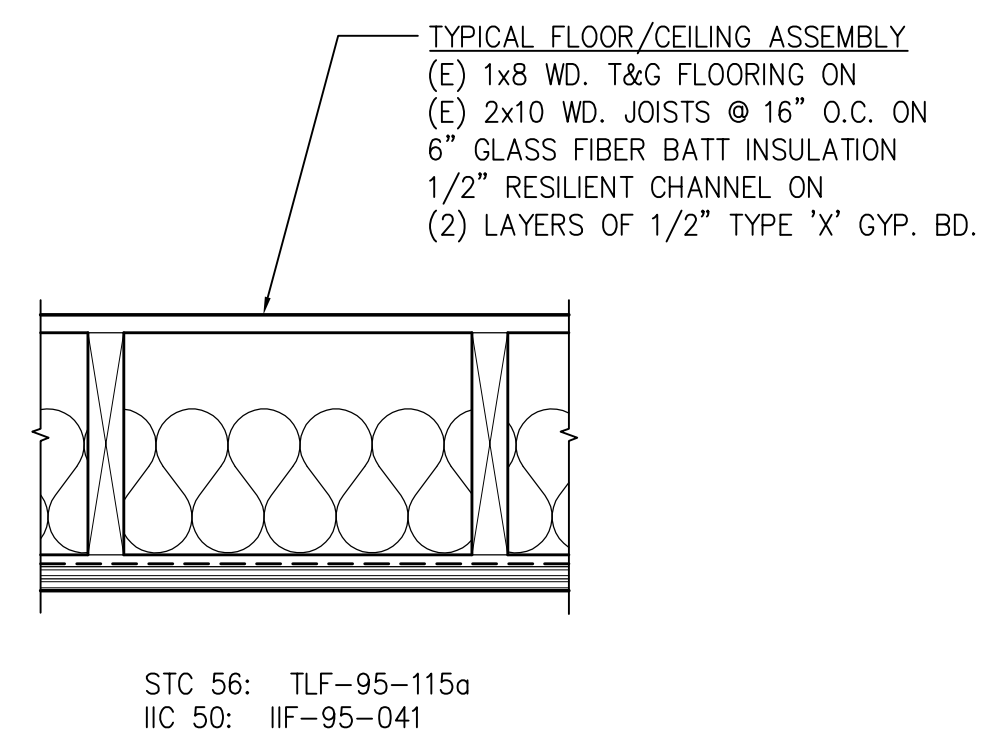
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**A2**

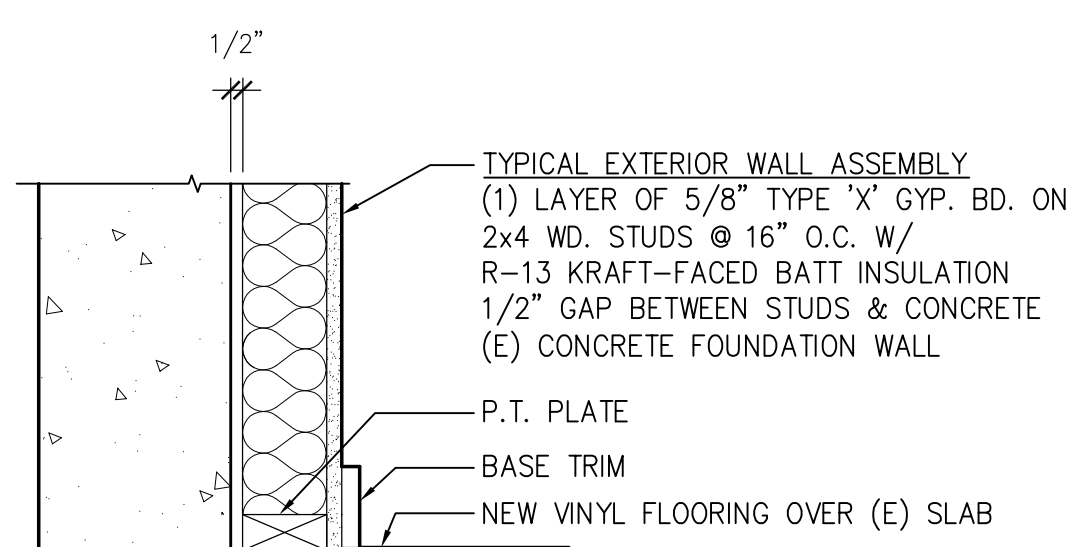
**3 NOT USED**  
SCALE: \_\_\_\_\_



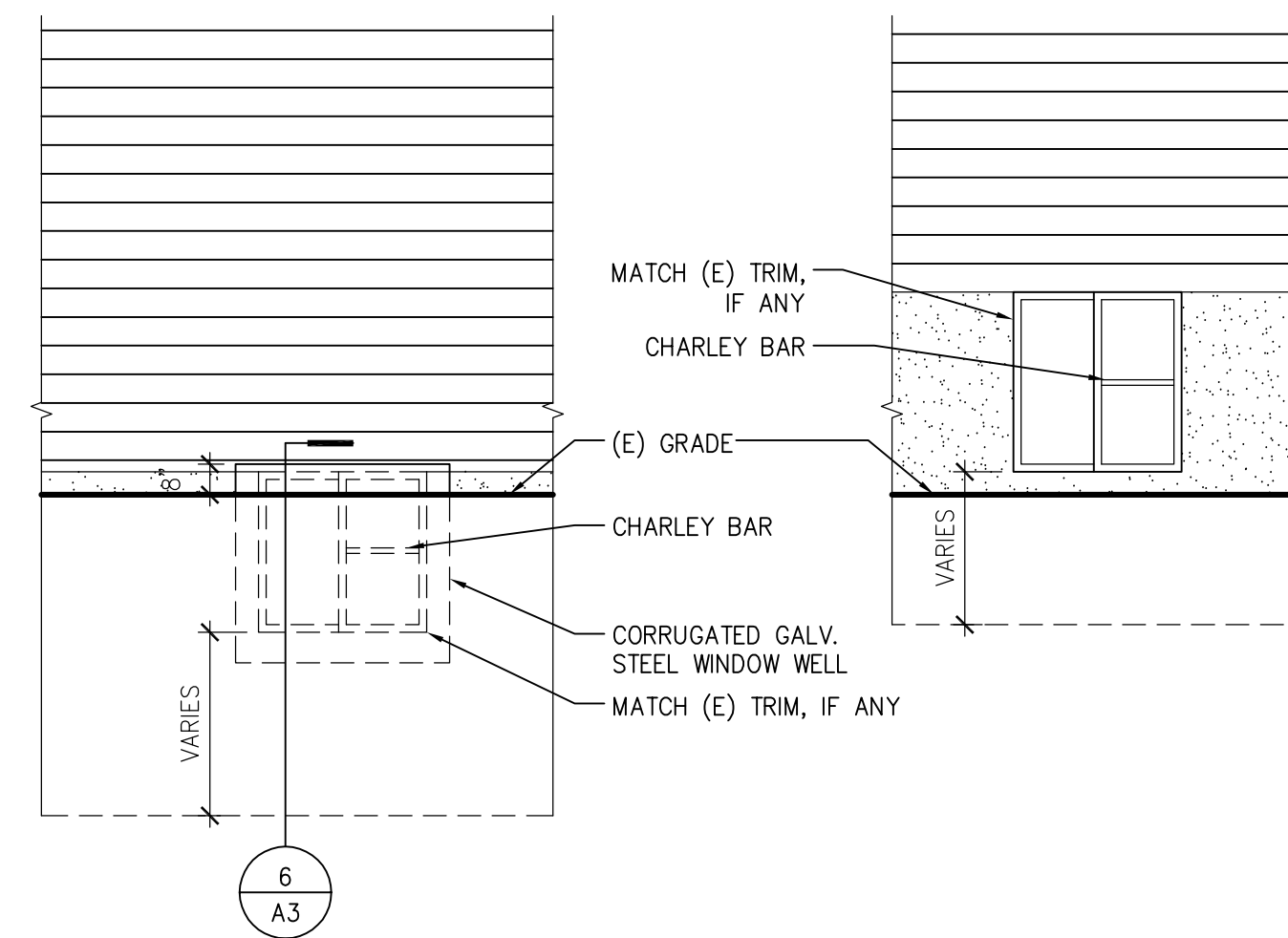
**6 TYP. WINDOW SECTION (& WINDOW WELL WHERE OCCURS)**  
SCALE: 3/4"=1'-0"



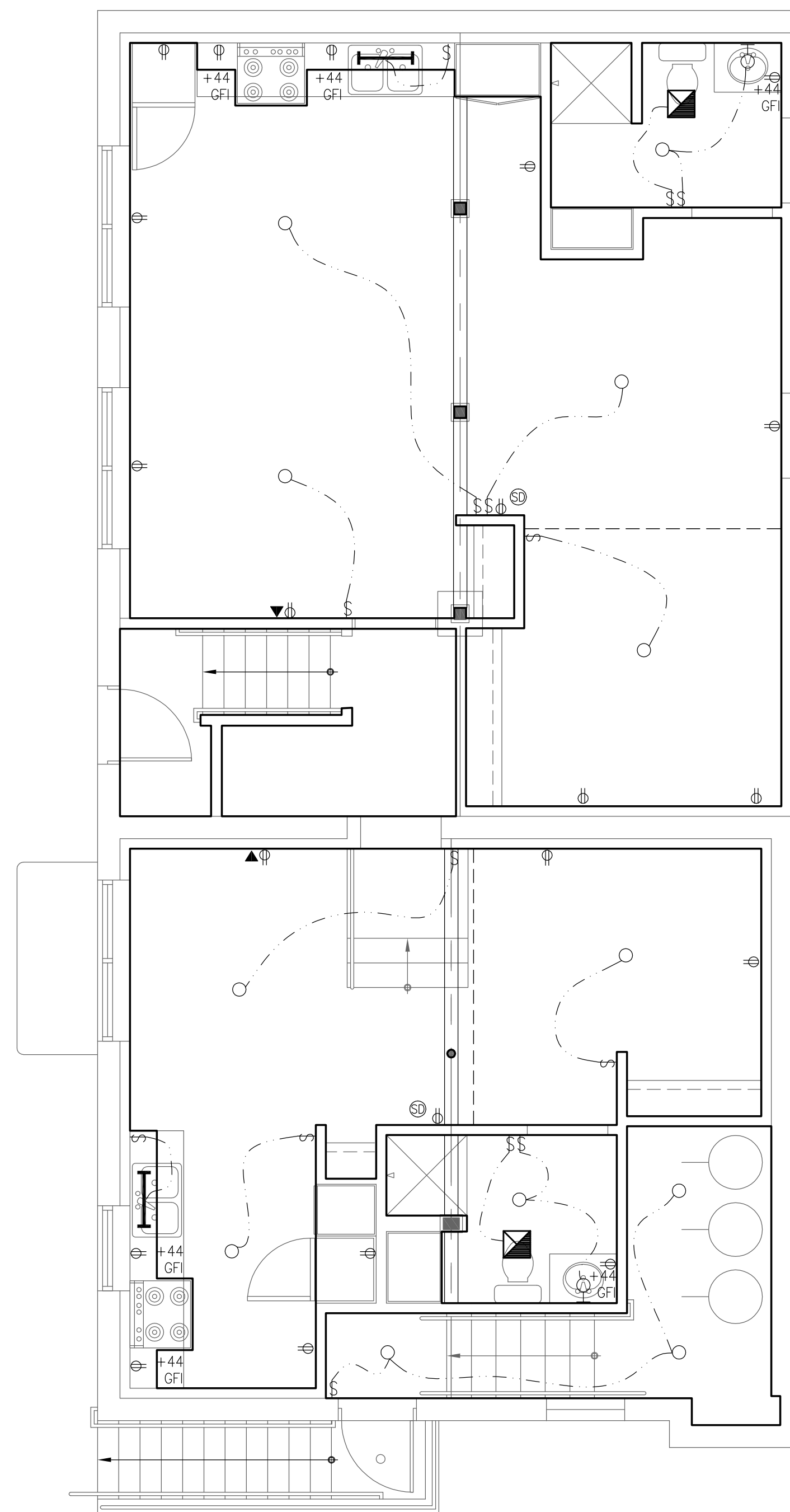
**5 TYPICAL FLOOR/CEILING ASSEMBLY**  
SCALE: 1 1/2"=1'-0"



**4 TYPICAL WALL TYPE**  
SCALE: 1 1/2"=1'-0"



**3 TYP. WINDOW ELEVATIONS**  
SCALE: 1/4"=1'-0"



**2 UNITS 3 & 4 @ BLDG D: RCP / POWER PLAN**  
SCALE: 1/4"=1'-0"

**WINDOW NOTES**

1. NEW WINDOWS INSTALLED SHALL HAVE A U-FACTOR OF .35 OR LESS.
2. PROVIDE "CHARLEY BAR" SECURITY BAR @ EA. NEW WINDOW.
3. PROVIDE HEAD & SILL FLASHING @ ALL NEW WINDOWS.
4. PROVIDE NEW WOOD SILL @ ALL NEW WINDOWS.

**GENERAL RCP/POWER NOTES**

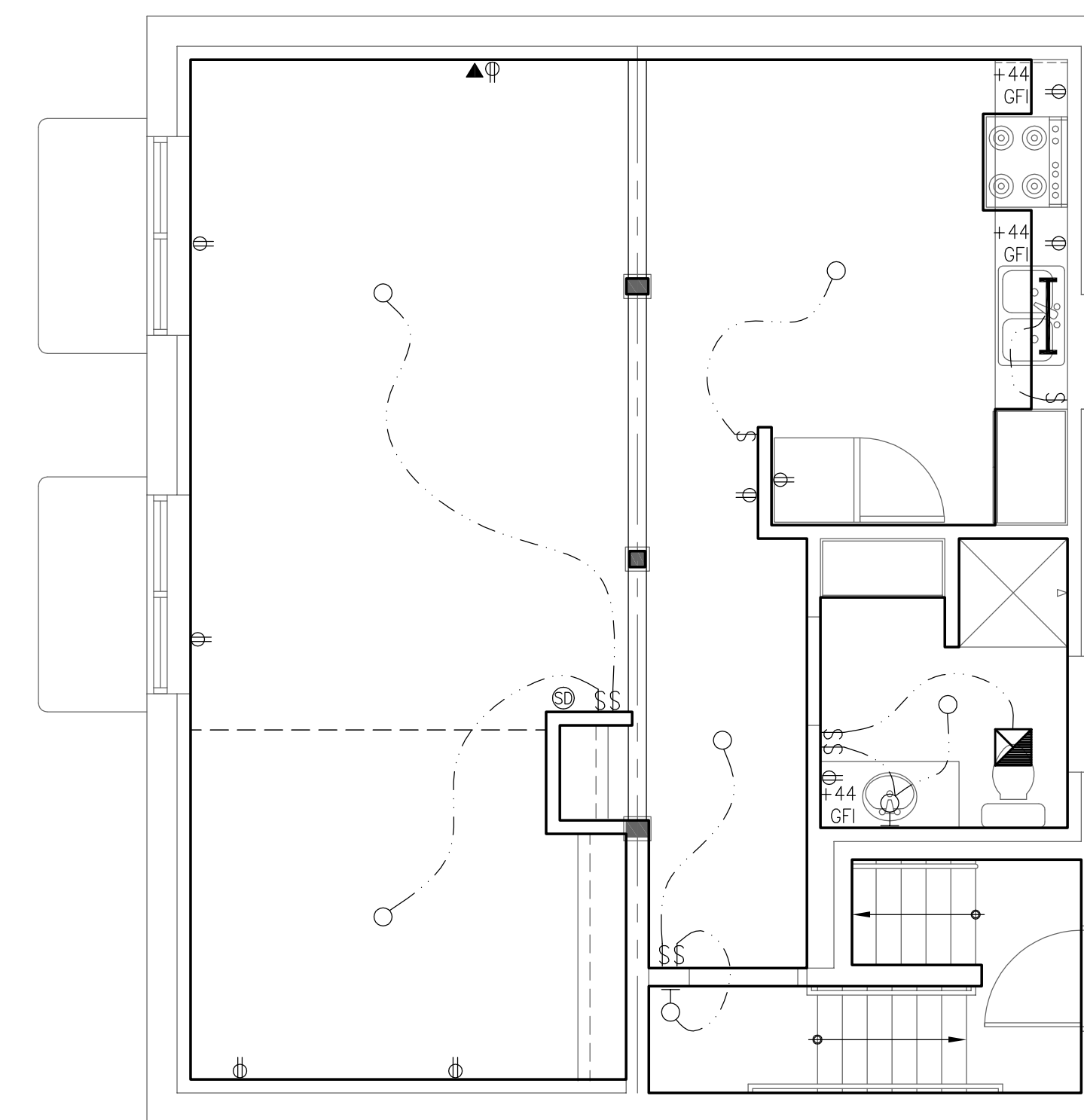
1. COORDINATE ALL MECHANICAL AND ELECTRICAL FITTINGS OR FIXTURES WITHIN REQUIRED AREAS OR SPACES.
2. REFER TO INTERIOR ELEVATIONS FOR TYPICAL FINISHES AND DETAILS.
3. CEILING HEIGHTS ARE MEASURED FROM FINISH FLOOR UNO.
4. ALL EXPOSED PIPING AND CONDUITS ARE TO BE PAINTED TO MATCH ADJACENT WALL OR CEILING U.N.O.
5. PATCH, CAULK, AND FINISH ALL THROUGH FLOOR, WALL AND CEILING PENETRATIONS OF CONDUITS, PIPING, DUCTS, ETC. FOR SMOKE TIGHT CONSTRUCTION.
15. REMOVE ALL EXISTING LIGHT FIXTURES, CEILING FANS, AND ANY OTHER CEILING MOUNTED MISCELLANEOUS ABANDONED EQUIPMENT UNO.

**KEYNOTES (THIS PAGE)**

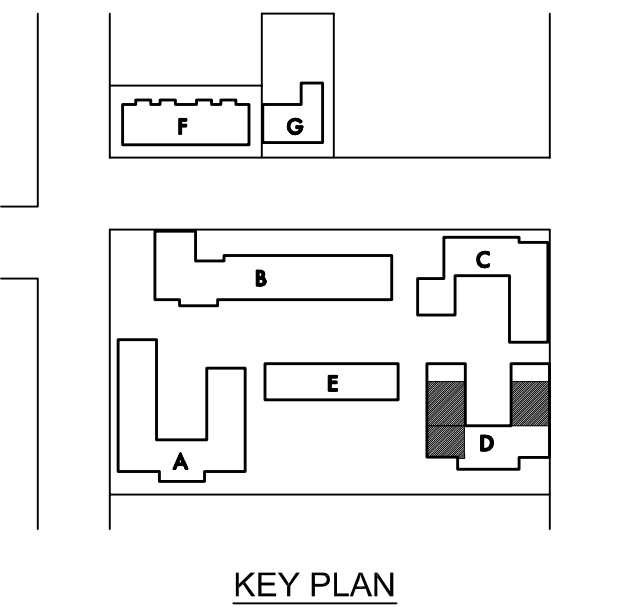
- ① CURTAIN TRACK

**LIGHTING / POWER LEGEND**

- SURFACE MOUNTED CEILING LUMINAIRE
- ⊕ PENDANT MOUNTED CEILING LUMINAIRE
- ⊖ WALL MOUNTED LUMINAIRE
- UNDERCOUNTER SURFACE MOUNTED FLUORESCENT
- § WALL SWITCH
- §₃ WALL SWITCH: 3 WAY
- ⊕ DUPLEX WALL RECEPTACLE
- ▲ CABLE / DATA
- ⊕ SMOKE DETECTOR
- ⊖ EXHAUST FAN TO EXTERIOR



**1 UNIT 5 @ BLDG D: RCP / POWER PLAN**  
SCALE: 1/4"=1'-0"



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BLDG D UNITS 3, 4 & 5  
RCP / POWER PLANS  
TYP. FLR/CLG & WALL ASSEMBLIES  
TYP. WINDOW SECTION  
TYP. WINDOW ELEVATIONS

SHEET NUMBER

**A3**