



ZONING CODE

INFORMATION GUIDE

Windows on Street-Facing Façades

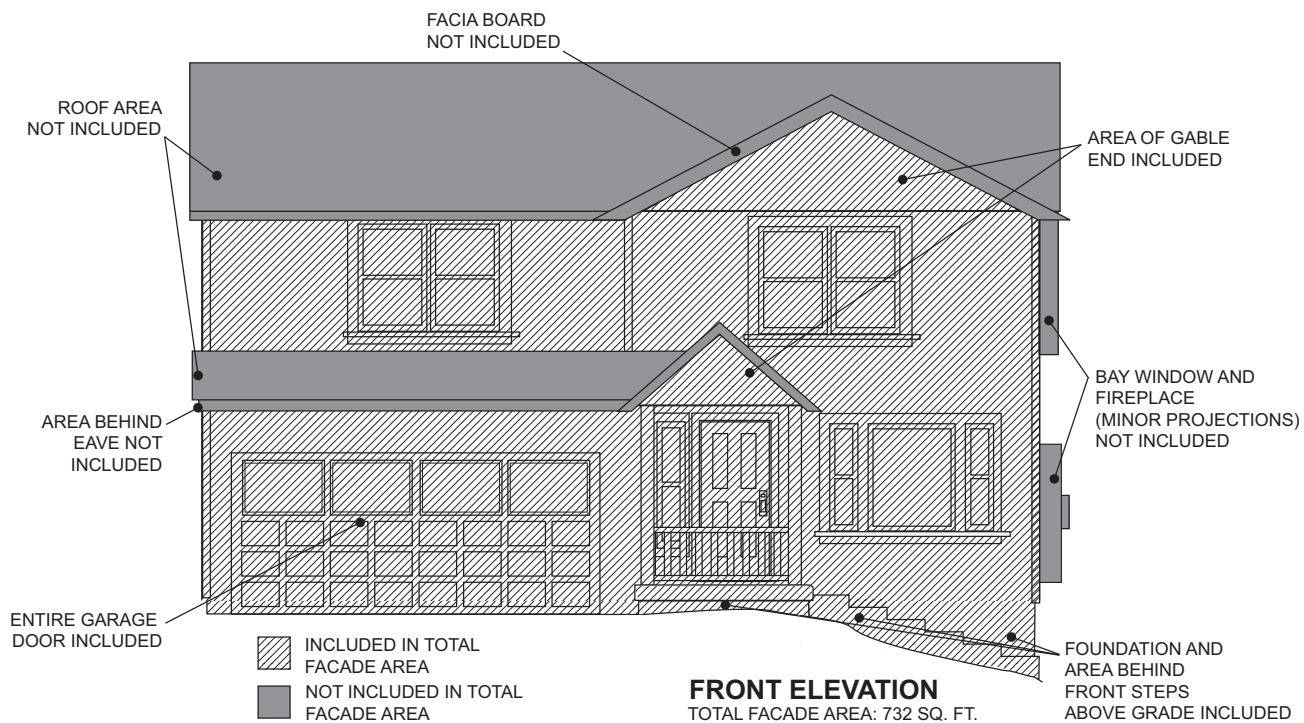
At least 15 percent of the area of each façade that faces a street lot line must be windows or main entrance doors.

- This standard applies to houses, attached houses, and most structures that contain residential uses. See Zoning Code Sections: 33.110.232, 33.120.232, 33.130.250.D and 33.140.265.F for more details.
- Windows used to meet this standard must allow views from the building to the street. Glass block and vents do not meet this standard.
- Windows in garage doors do not count toward meeting this standard, but windows in garage walls do count toward meeting this standard.
- To count toward meeting this standard, a door must be at the main entrance and face a street lot line.
- On corner lots, or lots abutting more than one street, the standard must be met on **all** street-facing façades.
- Where a proposal is for an alteration or addition to existing development, the applicant may choose to apply the standards of this section only to the portion being altered or added.

The standards do not apply to the following situations:

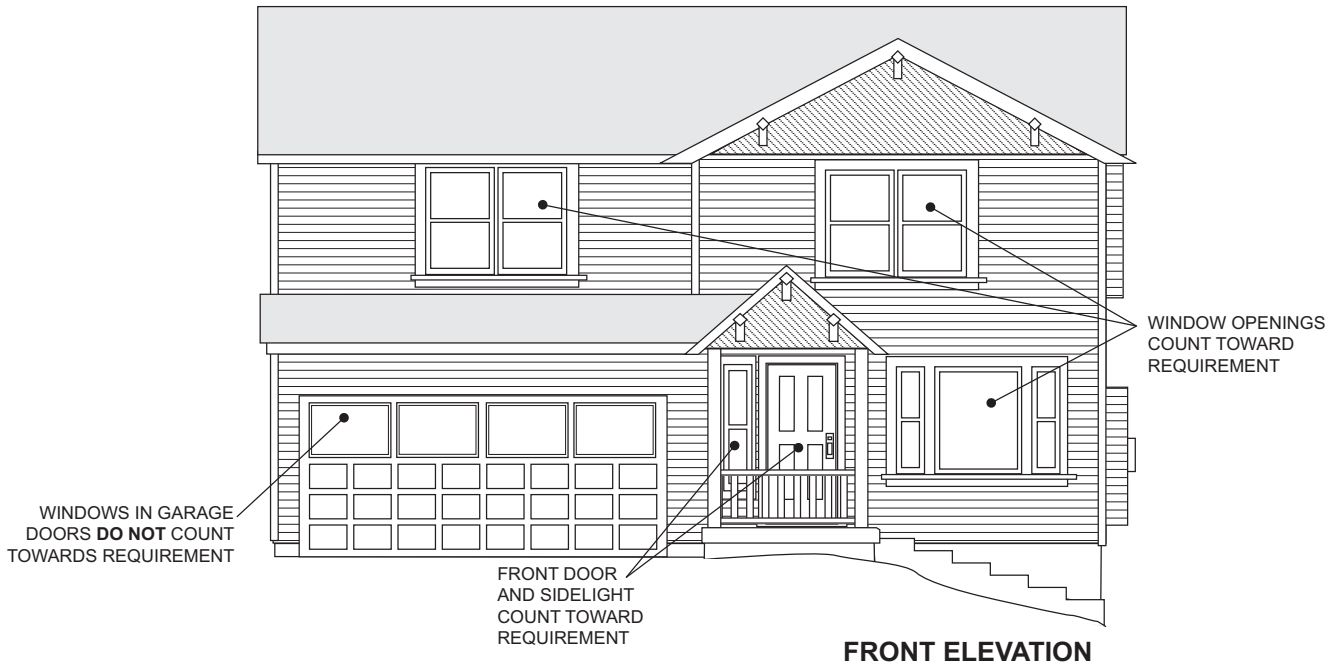
- Development on flag lots;
- Development on lots that slope up or down from the street with an average slope of 20% or more (see 33.930.060); and
- Subdivisions or PUDs that received preliminary approval between 09/09/90 and 09/09/95.

How to Calculate Total Façade Area

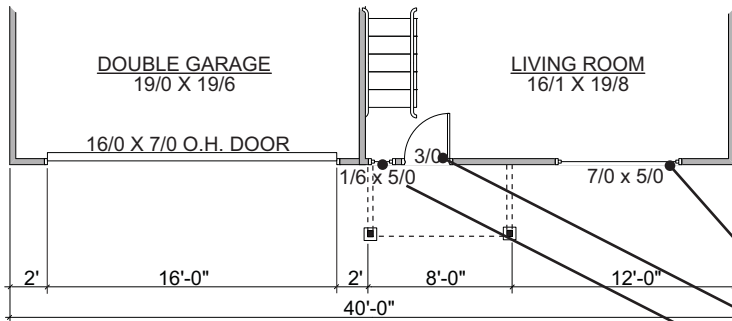


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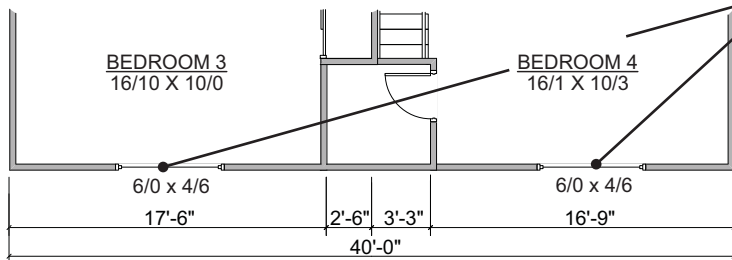
How to Calculate Amount of Window/Front Door



Sample Floor Plan



LOWER FLOOR PLAN (PARTIAL)



UPPER FLOOR PLAN (PARTIAL)

Sample Calculation:

Total Façade Area = 732.00 sq. ft.

$732 \times 15\% = 109.80$ sq. ft. *min. window/ front door required*

Total proposed window/front door:

$7 \times 5 = 35.00$ sq. ft.

3×6.67 door = 20.01 sq. ft.

$1.5 \times 5 = 7.50$ sq. ft.

$2 \times 6 \times 4.5 = 54.00$ sq. ft.

116.51 sq. ft. window/door proposed (minimum amount exceeded)

NOTE: 4/6 means 4 feet - 6 inches, or 4.5 feet.

For more information visit or call the Planning and Zoning Staff in the Development Services Center at 1900 SW 4th Avenue, Suite 1500, 503-823-7526

Current Zoning Code is available at www.portlandonline.com/zoningcode