



City of Portland
Bureau of Development Services
Land Use Services Division

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Date: May 2, 2008
To: Interested Person
From: Noelle Elliott, Land Use Services
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**FINAL DECISION BY THE DESIGN COMMISSION
RENDERED ON April 17, 2008**

**CASE FILE NUMBER: LU 08-103953 DZ
PC # 07-123565
RENOVATION AT 321 NW GLISAN – EAST OF PEARL BUILDING**

GENERAL INFORMATION

Applicant: J. Blaine Hoggard, Lower East Burnside LLC, DBA East Of Pearl
PO Box 22334
Milwaukie OR 97269

Mick Gross, JBH Real Estate LLC
PO Box 22334
Milwaukie OR 97269

Representative: Louis Martinez, EDA Architecture 505-301-4355
12800 SW Parkway
Portland OR 97225

Site Address: 321 NW Glisan Street

Legal Description: EXC PT IN ST LOT 1&2 BLOCK O LOT 3&4 BLOCK O, COUCHS ADD
Tax Account No.: R180236580
State ID No.: 1N1E34BD 01600
Quarter Section: 2929
Neighborhood: Old Town-China Town, contact Carol McCreary at 503-984-4081.
Business District: Old Town Chinatown Business Association, contact Dorian Yee at 503-224-7066.

District Coalition: None
Plan District: Central City - River District
Zoning: CXd: Central Commercial zone with a design overlay
Case Type: DZ: Design Review
Procedure: Type III, with a public hearing before the Design Commission. The decision of the review body can be appealed to City Council.

Proposal:
This proposal supplants the recent Design Review approval (07-123565 DZ AD) for the renovation of an existing warehouse building with an addition of three new stories to the roof. The current proposal adds no new square footage to the building and is solely focused on the

renovation of the building skin. The existing seven-story concrete warehouse building totals 88,725 SF, with an unfinished basement. The first floor will consist of retail area, primary building entrance, lobby, bike locker rooms, and service areas. The upper floors will be office space. New windows and sunshades are to be added to the south façade, as well as recessed balconies on the seventh floor. New mechanical units are proposed for the roof, with a metal screen surrounding the majority of the units. The base of the building will be re-clad in stone tile to approximately 3'-8" in height. An existing elevator penthouse will be reduced in height from approximately 55-feet to approximately 10 ½-feet, and a new stair penthouse will be added to the eastern edge of the roof.

The current proposal offers a somewhat reduced Bike Locker Room Bonus for additional Floor Area Ratio [FAR] that was proposed and approved in the prior review (07-123565 DZ AD).

Because the proposal is to a site with a design overlay, and exterior alterations are proposed, Design Review is required.

CONCLUSIONS

The current proposal is significantly altered from the previous proposal (LU 07-1235865 DZ AD), although previously approved commonalities between the proposals are evident in the stone cladding at the base, the custom light fixtures, and historically referential detailing. The previous proposal intended to modernize the existing structure and add three floors of residential units and gardens to the roof, while the current proposal adds no new square footage to the building. The previous proposal treated the existing building as a fairly simple base to a more ornate top, while the current proposal focuses its attention on the skin of the existing structure, and uses simple design strategies to improve the quality of the existing space. In the current proposal, the building's appealing historic ornamentation is retained, while the building is opened to daylight and views with enlarged window openings. The majority of the alterations occur within the depth of the 9-inch concrete walls, which helps lend the new windows and sunshades a perception of integration and permanence. The proposed solar shades provide an architecturally integrated solution to minimizing solar heat gain within the large openings, and provide a fine level of texture and proportion to the facade. The recessed balconies on the upper floor create the suggestion of a top, helping balance the building's 3'-8" stone clad base, and providing useable outdoor area with views to the Chinese Gardens and the City. The light color of the building supports the Chinese Garden by conforming to a palette of light and/or reflective finishes for buildings visible from the Garden, as was proposed by the Garden designer. The proposed renovation lends new vitality to the building and the District, while respecting the existing architecture. The proposal satisfactorily meets the approval criteria and therefore warrants approval.

DESIGN COMMISSION DECISION

It is the decision of the Design Commission to adopt the Final Findings and Decision, dated April 17, 2008 (Exhibit J.1).

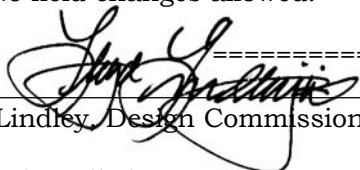
It is the decision of the Design Commission to approve Design Review for the renovation of the existing warehouse structure including:

- New windows on the south façade;
- New stone cladding at the base measuring approximately 3'-8" in height;
- New solar shades on the south façade;
- New light fixtures at the ground floor;
- New roof-mounted mechanical units, screen and stair penthouse. The screen to be painted a light grey color;
- Reduction in height of the existing elevator tower;

- New metal cornice and upper floor balconies.
- New light colored material palette per Exhibit C.40. The primary building color to be Sherwin Williams paint color SW 6080; the accent colors to be SW 6083, SW 6082, and SW 6081.

Approvals per Exhibits C.1-C-40, signed, stamped, and dated April 17, 2008, subject to the following conditions of approval:

- A.** As part of the building permit application submittal, the following development-related conditions (A – B) must be noted on each of the 4 required drawings or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled “ZONING COMPLIANCE PAGE- Case File LU 08-103953 DZ. All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled “REQUIRED.”
- B.** No field changes allowed.

By:  _____
Lloyd Lindley, Design Commission Chair

Application Filed: January 22, 2008
Decision Rendered: April 17, 2008

Decision Filed: April 18, 2008

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on January 22, 2008, and was determined to be complete on **January 28, 2008.**

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on January 22, 2008.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant. As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. This report is the final decision of the Design Commission with input from other City and public agencies.

Conditions of Approval. This approval may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appeal of this decision. This decision is final unless appealed to City Council, who will hold a public hearing. Appeals must be filed by 4:30 pm on May 16, 2008 at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. Information and assistance in filing an appeal is available from the Bureau of Development Services in the Development Services Center or the staff planner on this case. You may review the file on this case at our office, 1900 SW Fourth Avenue, Suite 5000, Portland Oregon, 97201.

If this decision is appealed, a hearing will be scheduled and you will be notified of the date and time of the hearing. The decision of City Council is final; any further appeal is to the Oregon Land Use Board of Appeals (LUBA).

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to City Council on that issue. Also, if you do not raise an issue with enough specificity to give City Council an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Who can appeal: You may appeal the decision only if you have written a letter which was received before the close of the record at the hearing or if you testified at the hearing, or if you are the property owner or applicant. Appeals must be filed within 14 days of the decision. **An appeal fee of \$3,805.50 will be charged (one-half of the application fee for this case).**

Neighborhood associations and low-income individuals may qualify for a waiver of the appeal fee. Additional information on how to file and the deadline for filing an appeal will be included with the decision. Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services in the Development Services Center, 1900 SW Fourth Ave., First Floor. Fee waivers for low income individuals must be approved prior to filing your appeal; please allow three working days for fee waiver approval. Fee waivers for neighborhood associations require a vote of the authorized body of your association. Please see appeal form for additional information.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **May 19, 2008 – (the day following the last day to appeal).**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.

- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit must be obtained before carrying out this project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed here.
- All applicable development standards, unless specifically exempted as part of this land use review.
- All requirements of the building code.
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the city.

Noelle Elliott
April 29, 2008

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).

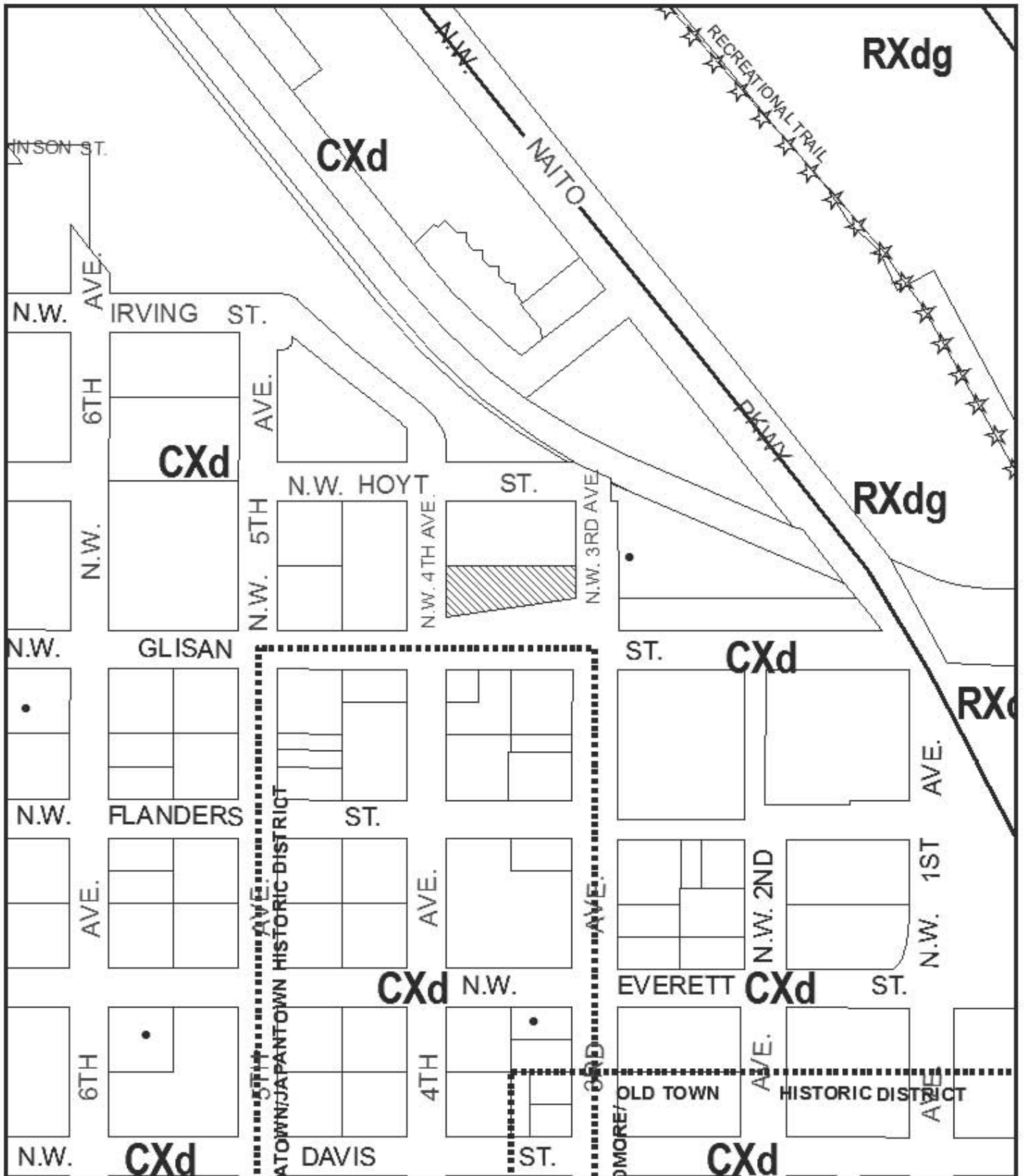
EXHIBITS – NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement:
 - 1. Statement and Drawings
 - 2. Additional Information
- B. Zoning Map (attached):
- C. Plans & Drawings:
 - 1. Project Information
 - 2. Perspective Rendering
 - 3. Elevation Rendering
 - 4. Entry Section, Entry Elevation, and Exterior Light Fixture Elevations
 - 5. Precedent Photos – Tile Detail
 - 6. Precedent Photos
 - 7. South Elevation (facing NW Glisan Street) (attached)
 - 8. East Elevation (facing NW 3rd Avenue), Cornice Detail, Roof Access Section

9. North Elevation
10. West Elevation (facing NW 4th Avenue), Street Level Wall Section, Enlarged Elevation of Loading Dock Guardrail
11. Three Block Elevation from the South (facing NW Glisan Street)
12. Three Block Elevation from the East (facing NW 3rd Avenue)
13. Existing South Elevation (facing NW Glisan Street)
14. Existing East Elevation (facing NW 3rd Avenue), Existing West Elevation (facing NW 4th Avenue)
15. Plan Showing Section Cuts
16. Building Cross Section “A” North-South, Window Assembly Section Showing Solar Shades
17. Building Section “B” North-South, Window Section, Window Jamb
18. Building Section “C” East-West
19. Site Plan (attached)
20. Ground Floor Plan (Basement)
21. Main Floor Plan (Approximate Street Level)
22. Second Floor Plan
23. Third Floor Plan
24. Fourth Floor Plan
25. Fifth Floor Plan
26. Sixth Floor Plan
27. Seventh Floor Plan
28. Roof Plan, Section Through Mechanical Screen
29. Balcony Railing Details
30. Roof-Mounted Mechanical Equipment Screen Details
31. Ground Level Plan – Plumbing
32. Ground Level Plan – Power/Signal
33. Landscape Plan, Irrigation
34. Landscape Plan
35. Sustainability Check-Sheet
36. Lighting Plan
37. Lighting Cutsheets
38. Mechanical Unit (Roof-Mounted) Cutsheets
39. Mechanical Unit (Roof-Mounted) Attachment Details
40. Paint Color Samples
- D. Notification information:
 1. Request for response
 2. Posting letter sent to applicant
 3. Notice to be posted
 4. Applicant’s statement certifying posting
 5. Mailing list
 6. Mailed notice
- E. Agency Responses:
 1. Bureau of Transportation Engineering and Development Review
 2. Site Development Review Section of Bureau of Development Services
 3. Life-Safety Plans Examiner of the Bureau of Development Services
 4. Bureau of Environmental Services
- F. Letters: None
- G. Other:
 1. Original LUR Application
 2. Site History Research
- H. Information up to, and including, the April 3, 2008 Hearing:
 1. Staff Report & Drawings
- I. Information up to, and including, the April 17, 2008 Hearing:
 1. Hearing Memo

2. Staff Report
 3. Revised Drawings & Additional Information
- J. Final Findings:
1. Final Findings and Decision of the Design Commission dated April 17, 2008

cc: Applicants and Representatives
Neighborhood Associations
Those who testified, orally or in writing
Development Services Center



ZONING

 Site

 Historic Landmark



This site lies within the:
CENTRAL CITY PLAN DISTRICT

File No.	LU 08-103953 DZ
1/4 Section	2929
Scale	1 inch = 200 feet
State_Id	1N1E34BD 1600
Exhibit	B (Jan 24, 2008)

"Approved"
 City of Portland - Bureau of Development Services
 Planner *Heather Lee* Date *4-17-08*
 • This approval applies only to the revision requested and is subject to all conditions of approval. Additional zoning requirements may apply.



LW 08-103953 DE
Exhibit C.7

SOUTH ELEVATION

SCALE: 1/16"=1'-0"



