



City of Portland
Bureau of Development Services
Land Use Services Division

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Portland, Oregon 97201
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Date: July 15, 2008
To: Interested Person
From: Shawn Wood, Land Use Services
503-823-6962 / woods@ci.portland.or.us

**NOTICE OF A TYPE II DECISION ON A PROPOSAL IN
YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 08-117883 HDZ – ROSS SIGNAGE

GENERAL INFORMATION

Applicant: Steve Murphy (Sign Contractor/Applicant) 503.620.8200
Meyer Sign Co
15205 SW 74th Ave
Tigard, OR 97224

Joanna Evenson (Building Contractor)
Lease Crutcher Lewis
921 SW Washington St. Ste 150
Portland, OR 97205

Walker Place LLC (Owner)
411 SE 2nd Ave #200
Portland, OR 97204

Site Address: 620 SW 5th Ave

Legal Description: BLOCK 62 LOT 7&8 LAND ONLY SEE -7311 FOR IMPS, PORTLAND;
BLOCK 62 LOT 7&8 IMPS ONLY, PORTLAND

Tax Account No.: R667707310, R667707311
State ID No.: 1S1E03BA 08400, 1S1E03BA 08400A1
Quarter Section: 3029
Neighborhood: Downtown Cmty Assoc., contact Jennifer Geske at 503-750-9843.
Business District: Downtown Retail Council, contact Portland Business Alliance at 503-224-8684.

District Coalition: None
Plan District: Central City - Downtown
Other Designations: Historic Landmark #8522, Failing Office Building
Zoning: Central Commercial with Design Overlay (CXd)
Case Type: Historic Design Review (HDZ)
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal:

The applicant requests historic design review approval for the installation of signage on the historic Failing Office Building. The proposed signage includes:

- Two, 12'-9¼" wide by 2'-0" tall externally illuminated wall signs with reverse pan channel letters; one mounted to the SW 5th Avenue façade and one at the SW Alder Street façade.
- Two under canopy neon signs at 10.5 sq. ft. each (existing prior to remodel).
- Seven canopy valance signs (vinyl lettering)
- Four end canopy valance signs (vinyl lettering)
- One 25 square-foot projecting corner sign with aluminum cabinets and letters

Additionally, concealed lighting on top of 4 canopies is proposed for external illumination of the wall and corner signs.

It should be noted that prior to the storefront remodel, which is currently underway and approved through LU 07-133515 DZ, the tenants had an approximately 3' tall by 31' long sign at each the north and west building elevations. These signs were removed for the remodel.

Proposals for signage on a historic landmark require historic design review.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- 33.846 Historic Reviews
- 33.846.060.G. Approval Criteria
- Central City Fundamental Design Guidelines

ANALYSIS

Site and Vicinity: The quarter-block site is located in the Downtown Sub-district of Portland's Central City Plan District, at the corner of SW Alder and SW 5th Avenue. The site is developed with a twelve-story building, which was constructed in 1907 as a six-story building, and in 1913 an additional six stories were added. The building was designed by the noted Portland architecture firm of Whidden & Lewis and is representative of commercial architecture of the late-nineteenth and early-twentieth centuries. The building's initial construction and expansion were responses to Portland's economic boom and the extraordinary demand for additional office space in downtown after the Lewis and Clark Centennial Exposition of 1905. The exterior façades of the building's first two floors were modified slightly in 1927. In 1951 the first two floors of the building were covered in terra cotta tile, and a clean-lined Art Deco-style continuous canopy was installed along the ground-floor storefront in an attempt to match the building with the then adjacent Newberry's department store. The building was listed on the National Register of Historic Places in 2007.

Portland's Transportation System Plan classifies SW 5th Avenue as a Regional Transitway/ Major Transit Priority Street, Local Service Bikeway, Central City Transit/Pedestrian Street, and Community Main Street. SW Alder Street is designated a Local Service Bikeway, City Walkway, and Regional Corridor. The site is within the Downtown Pedestrian District.

Zoning: The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together.

The design (d) overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community

planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Historic Resource Protection overlay zone is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks. The regulations that pertain to these properties protect certain historic resources in the region and preserve significant parts of the region’s heritage. Historic preservation beautifies the city, promotes the city’s economic health, and helps to preserve and enhance the value of historic properties.

Land Use History: City records indicate that prior land use reviews include the following:

- LUR 96-013393 DZ (reference file #96-00506): Approval for storefront alterations.
- LUR 96-014009 DZ (reference file #96-01122): Approval for new rooftop mechanical equipment.
- LUR 07-133515 DZ: Approval of the following exterior alterations: removal of non-original tile on the first and second stories of the building; introduction of a new two-story aluminum storefront system (dark bronze); two options for retail entrances; metal canopies with fabric infill (black); metal corner marquee canopy with soffit lighting (black); cast concrete pilasters; tile (brown) spandrel between first and second stories; marble (dark green) base; pilaster lighting; lighting at upper level (11th Floor); ventilation louvers (dark bronze) and spandrel glass (walnut) at transom of second story; and new brick paving at corner entry.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **April 28, 2008**. The following Bureaus have responded with no issues or concerns:

- Portland Fire & Rescue;
- Portland Water Bureau;
- Bureau of Environmental Services;
- Bureau of Transportation Engineering & Development;
- Urban Forestry Division of Portland Parks & Recreation; and
- Site Development Section of the Bureau of Development Services.
- The Life Safety (Building Code) Section of the Bureau of Development Services responded with the following comment. Please see Exhibit E.1 for additional details.

GENERAL LIFE SAFETY COMMENTS

The following comments are intended to provide the applicant with preliminary Building Codes information that could affect the Land Use Review and/or future Building Permit reviews. The comments may not identify all conflicts between the Land Use proposal and the Building Codes. A complete Life Safety plan review will be provided at the time of Building Permit submittal. The comments are based on The Oregon Structural Specialty Code, The Oregon Mechanical Specialty Code, or The Oregon Residential Specialty Code.

Item #	Comment
1	The vertical clearance from the public right-of-way to the lowest part of an awning, including valances, shall be 7 feet minimum. OSSC 3202.2.3
2	Awnings, canopies, marquees and signs with less than 15 feet clearance above the sidewalk shall not extend into or occupy more than two-thirds the width of the sidewalk measured from the building. OSSC 3202.3.1

Neighborhood Review: A “Notice of Proposal in Your Neighborhood” was mailed on **April 28, 2008**. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846, Historic Reviews

Purpose of Historic Design Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Design Review Approval Criteria

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is a designated Historic Landmark. Therefore the proposal requires historic design review approval. The relevant approval criteria are listed in 33.846.060 G. 1.-10. In addition, because the site is located within the Central City Plan District, the relevant approval criteria are the Central City Fundamental Design Guidelines.

Central City Fundamental Design Guidelines

These guidelines provide the constitutional framework for all design review areas in the Central City.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland’s character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City’s districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City’s districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

G. Approval criteria based on the Standards of the Secretary of the Interior:

1. **Historic character.** The historic character of the property will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the property’s historic significance will be avoided.

2. **Record of its time.** The historic resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided.
3. **Historic changes.** Most properties change over time. Those changes that have acquired historic significance will be preserved.
4. **Historic features.** Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the old in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence.
5. **Historic materials.** Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used.

Findings for 1, 2, 3, 4 and 5: The proposal will not compromise the historic character, materials, or features present on the building. With the previous design review case (LU 07-133515 DZ) a storefront remodel was approved and the proposed signage has been crafted to fit within this new storefront system. Therefore, there are no original materials or features in the area of the proposed work. Further, the proposed signage and lighting fixtures are modern in nature, and thus will not create a false sense of historic development. *Therefore, these criteria are met.*

7. **Differentiate new from old.** New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a property. New work will be differentiated from the old.

Findings: The installation of the proposed signage and lighting will not destroy historic materials on the building and these new elements will be easily differentiated from original elements due to their modern design and material composition. *Therefore, this criterion is met.*

8. **Architectural compatibility.** New additions, exterior alterations, or related new construction will be compatible with the resource's massing, size, scale, and architectural features. When retrofitting buildings or sites to improve accessibility for persons with disabilities, design solutions will not compromise the architectural integrity of the historic resource.
9. **Preserve the form and integrity of historic resources.** New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic resource and its environment would be unimpaired.
10. **Hierarchy of compatibility.** Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a Historic or Conservation District, with the rest of the district. Where practical, compatibility will be pursued on all three levels.

Findings for 8, 9 and 10: The proposal is compatible with the character of the subject building, as well as that of the larger district. Furthermore, the proposed elements will be installed in a manner that will allow the integrity of the building to remain intact in the event of their future removal.

- At 25 square feet in size, and located 16'-10" up from the sidewalk, the proposed corner sign is appropriately scaled for the size of the resource, while still respecting the pedestrian goals of the downtown district. The sign will reinforce the prominence of the building's corner entry, and will relate well to other corner signs on downtown buildings. In terms of installation techniques, the sign will be held 6 inches off the corner with painted black brackets. The associated wall anchors will penetrate the concrete panels at reveal locations, allowing for the sign's future removal without harming the integrity of the corner column.
- The two refurbished neon signs, mounted below the corner canopies, as well as the vinyl lettering applied to each ground floor canopy valance, will contribute to an active,

pedestrian-scaled storefront. Because these signs will be installed at new canopies, they can easily be removed and replaced without affecting the resource.

- The wall signs, mounted at the tile spandrel above the ground floor window bays (one at the Alder Street façade and one at the 5th Avenue façade), are proportioned to allow for breathing room within the spandrel area. In addition, the proposed wall signs include 3” thick, individually, flush-mounted reverse channel letters, consistent with high-quality signage on other buildings within the vicinity. Moreover, this sign type and method of attachment will allow the patterning of the tile spandrel at these locations to be read. A condition of approval requiring an adequate amount of porcelain tile to remain on site will allow for future restoration of the tile spandrel if the proposed signage is later removed.
- The proposed light fixtures, which will illuminate the corner sign and the wall signs, will be mounted on top of the ground floor canopies. More specifically, two fixtures will illuminate the corner sign—one at each corner canopy—and will be set back a minimum of 1 foot from the edge of the canopy. In addition, three fixtures will light each wall sign and the fixtures and related conduit will be hidden from the pedestrian views.

Therefore, these criteria are met with the condition that an adequate amount of porcelain tile remains on site for future repair and replacement needs at the tile spandrel area.

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish, and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area’s character. Identify an area’s special features or qualities by integrating them into new development.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

Findings for A4, A5 and C4: The proposed signage is consistent with both the historic and pedestrian nature of the district. The proposed corner sign respects the pedestrian scale of the district through its limited area/bulk, crafted details, and external illumination. The corner sign also further emphasizes the building’s corner entrance. In addition, the valance signage and the refurbished, canopy-mounted signs add a more human scale to the sidewalk environment. The wall signs are appropriately placed at, and proportioned for, the tile spandrel areas between the first and second floors of the building. The reverse pan channel letters that make up the wall signs will be individually, flush-mounted to the building façade, similar to the high-quality signage on buildings within the vicinity. Further, the fact that the corner and wall signs will be externally illuminated will help to integrate the building with the desired design character of the area. *Therefore, these guidelines are met.*

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings: The existing building will remain and the proposal will contribute to the continued use of this historic structure. Furthermore, the commercial viability of the building will be strengthened by the new tenant signage, and the proposal supports the historic integrity of the resource and the district. *Therefore, this guideline is met.*

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings’ active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and

the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

C10. Integrate Encroachments. Size and place encroachments in the public right-of-way to visually and physically enhance the pedestrian environment. Locate permitted skybridges toward the middle of the block, and where they will be physically unobtrusive. Design skybridges to be visually level and transparent.

Findings for A8, B1 and C10: The proposal will contribute to a vibrant, pedestrian-oriented streetscape. The corner and canopy-mounted signs will help identify the tenant entrance for pedestrians. In addition, by reflecting the character of the tenant through the colors, text and logo design, the signs create a cohesive visual connection between the sidewalk and the active interior space. Further, the placement of signage at the corner, ground level canopies, and at the tile spandrel between the first and second floor, contributes to a more dynamic street-level façade that will reinforce the downtown pedestrian environment. *Therefore, these guidelines are met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

Findings: The proposal consists of high-quality materials that will support the quality and permanence of the building. The corner sign is constructed of painted aluminum cabinets and flush-mounted aluminum reverse channel letters. The cabinet will have smooth crisp edges with no fasteners or welds visible. The sign will be supported by a 6” bracket, which will be anchored at the reveal locations on the concrete panels, preserving the integrity of the corner column. The wall signs consist of 3” thick, painted, aluminum channel letters, which will be individually flush mounted to the tile spandrel. Finally, the valance signs consist of vinyl lettering that will be applied to the edges of the canopies. These materials and installation methods promote the integrity of this historic building. *Therefore, this guideline is met.*

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal’s architectural integrity.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

C13. Integrate Signs. Integrate signs and their associated structural components with the building’s overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings for C2, C3 and C13: The high-quality design and placement of the proposed signage will create a coherent composition that respects the architecture of the building.

- The two wall signs are appropriately placed at the tile spandrel areas between the first and second levels of the building (one at Alder Street and one at 5th Avenue). The signs consist of 3” thick aluminum letters, which will be individually, flush-mounted to the building, allowing for the tile patterning to be expressed behind the sign. In addition, the size and letter spacing of the signs allow for adequate breathing room within the tile spandrel areas and do not appear crowded.
- The corner sign will be set off 6” from the corner of the building and mounted at the reveal locations within the concrete columns, preserving the integrity of the corner column. The corner sign will also consist of aluminum cabinets and reverse channel letters, maintaining consistency with the materiality and design of the wall signs.
- Two refurbished neon signs will be mounted below the corner canopies, and vinyl lettering will be applied to the valances of the remaining ground level canopies. These sign elements work together to reinforce the pedestrian orientation of the building’s storefront.

The overall sign package presented in this application responds to the historic character of the building through the design, placement and scale of the proposed signage, and establishes a consistent material palette. *Therefore, these guidelines are met.*

C7. Design Corners that Build Active Intersections. Use design elements including, but not limited to, varying building heights, changes in façade plane, large windows, awnings, canopies, marquees, signs and pedestrian entrances to highlight building corners. Locate flexible sidewalk-level retail opportunities at building corners. Locate stairs, elevators, and other upper floor building access points toward the middle of the block.

Findings: The proposed corner sign, along with the refurbished neon signs, mounted below the corner canopies, will contribute to an active intersection at SW 5th and Alder and further emphasize the corner entrance of the building. *Therefore, this guideline is met.*

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

Findings: The proposed lighting compliments the building's overall design concept to illuminate the proposed wall signs and corner sign, while limiting views of the fixtures themselves. Three light fixtures will be mounted at the canopies below the wall signs at the 5th Avenue and Alder Street elevations. The modest fixtures and related conduit will be mounted inside the canopy frames, painted black and blocked from pedestrian view by the sides of the awning. In addition, one fixture will be mounted above each corner canopy to illuminate the corner sign. These fixtures will be pulled in from the edges of the canopies, and therefore will be minimally visible from the pedestrian environment. In addition, the beam from the proposed fixtures will be directed to only highlight the proposed signage, reducing any potentially negative impacts on the skyline. *Therefore, this guideline is met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The purpose of the historic design review process is to ensure that exterior alterations to existing buildings protect the integrity of the special characteristics of the historic resources. The overall sign package presented in this application responds to the historic character of the building through the design, placement and scale of the proposed signage, and establishes a consistent material palette. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

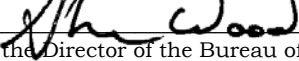
Approval of the following signage:

- Two, 12'-9¼" wide by 2'-0" tall externally illuminated wall signs with reverse pan channel letters; one mounted to the SW 5th Avenue façade and one at the SW Alder Street façade;
- Two under canopy neon signs at 10.5 sq. ft. each (existing prior to remodel);
- Seven canopy valance signs (vinyl lettering);
- Four end canopy valance signs (vinyl lettering);
- One 25 square-foot projecting corner sign with aluminum cabinets and letters; and

- Concealed lighting on top of 4 canopies.

Approvals per the approved plans, Exhibits C-1 through C-7, signed and dated July 10, 2008, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related condition B must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 08-117883 DZ." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. An adequate amount of surplus tile shall be stored on site for purposes of replacement/repair should the approved signage be removed in the future.

Decision rendered by:  on July 10, 2008
By authority of the Director of the Bureau of Development Services

Decision mailed: July 15, 2008

Staff Planner: Shawn Wood

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on March 25, 2008, and was determined to be complete on **April 17, 2008**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on March 25, 2008.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review,

any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on July 29, 2008** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com/zoningcode.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **July 30, 2008 – (the day following the last day to appeal).**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the

County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

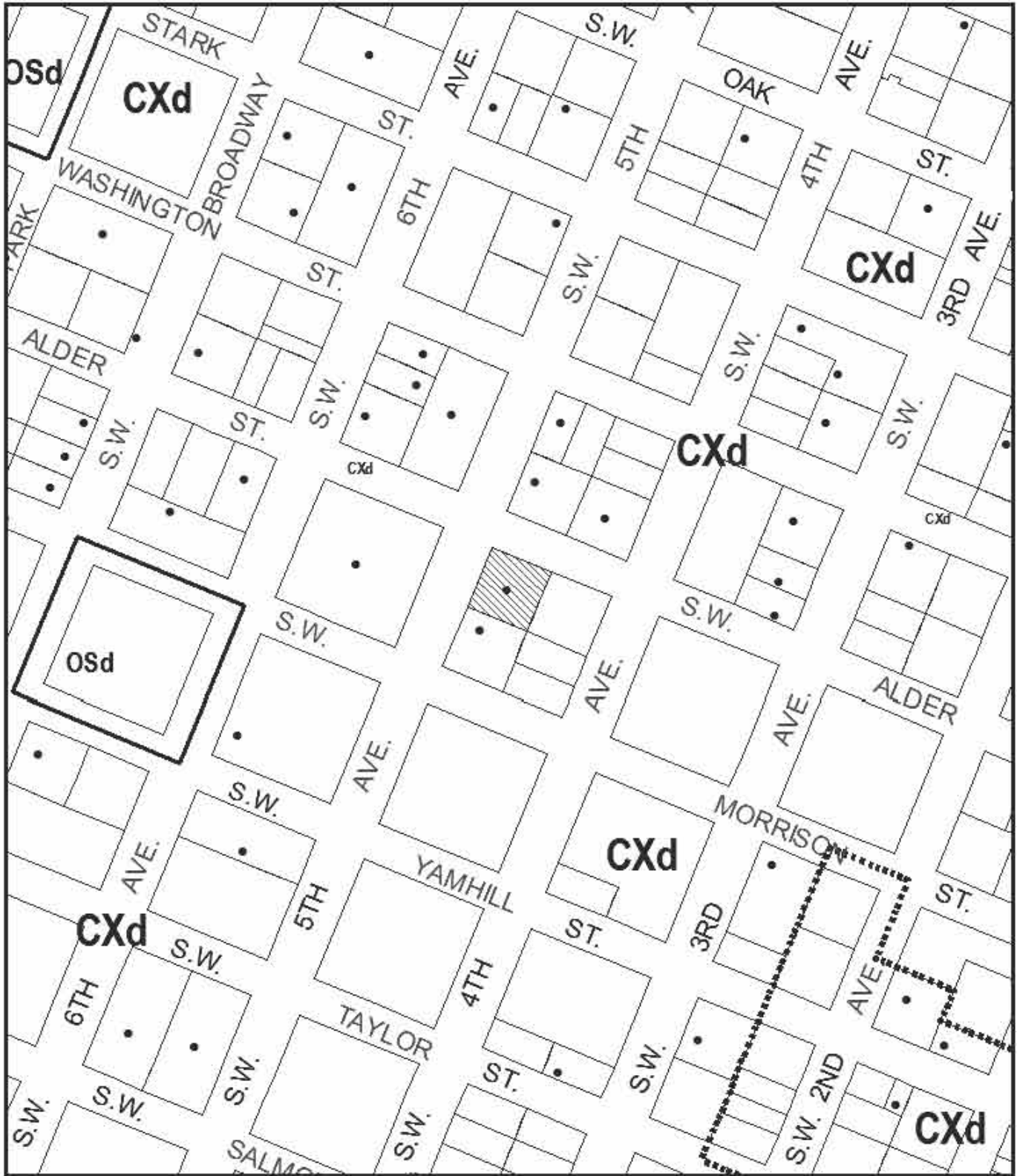
NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 1. Site Plan/Corner Lighting Details (attached)
 2. West Elevation (attached)
 3. North Elevation (attached)
 4. Corner Sign Details/Perspective (attached)
 5. Corner Sign Plan and Partial Elevation (attached)
 6. Typical Storefront Canopy - Section
 7. Lighting Cutsheet
- D. Notification information:
 1. Mailing list
 2. Mailed notice
- E. Agency Responses:
 1. Life Safety Section of BDS
- F. Correspondence:

None received
- G. Other:
 1. Original LU Application
 2. Site History Research
 3. Incomplete Letter

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special

accommodations, please call 503-823-0625 (TTY 503-823-6868).



ZONING

 Site

 Historic Landmark



This site lies within the:
CENTRAL CITY PLAN DISTRICT

File No.	LU 08-117883 DZ
1/4 Section	3029,3129
Scale	1 inch = 200 feet
State_Id	1S1E03BA 8400
Exhibit	B (Mar 27,2008)

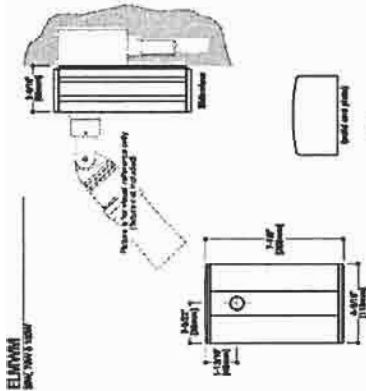
Approved*

City of Portland - Bureau of Development Services

Planner *A. Wood*

Date **7-10-08**

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



Lighting Ballast
 DESCRIPTION: ELMWHI
 CONSTRUCTION: ...
 SEE LISTING FOR MATERIALS AND FINISHES.

Lighting Ballast

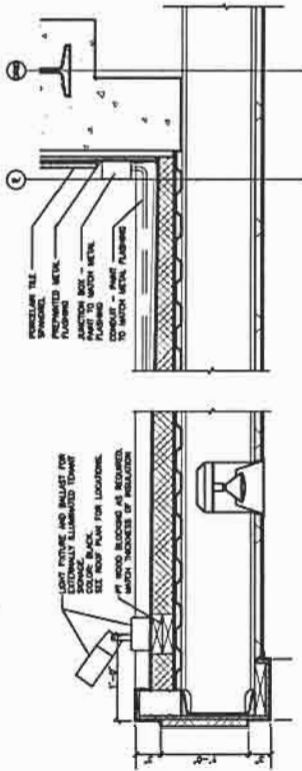
ITEM	DESCRIPTION	QUANTITY	UNIT
1	Light Fixture	1	EA
2	Lighting Ballast	1	EA

Light Fixture

620 building: exterior upgrades

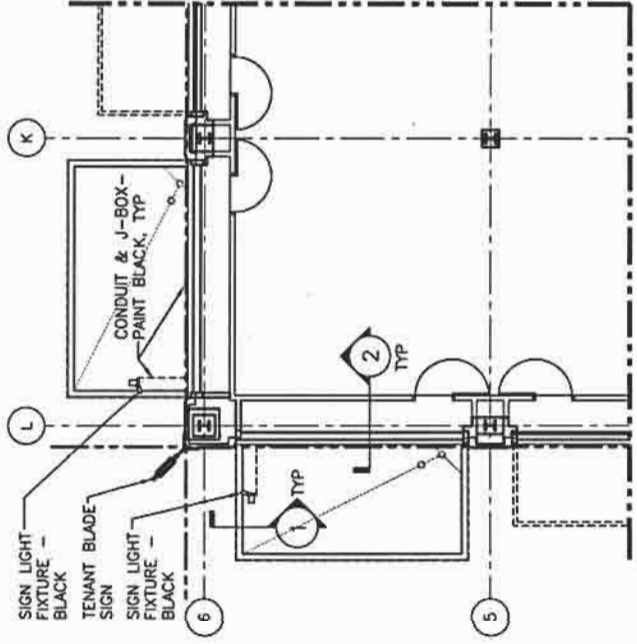
0634.03

07.02.2008

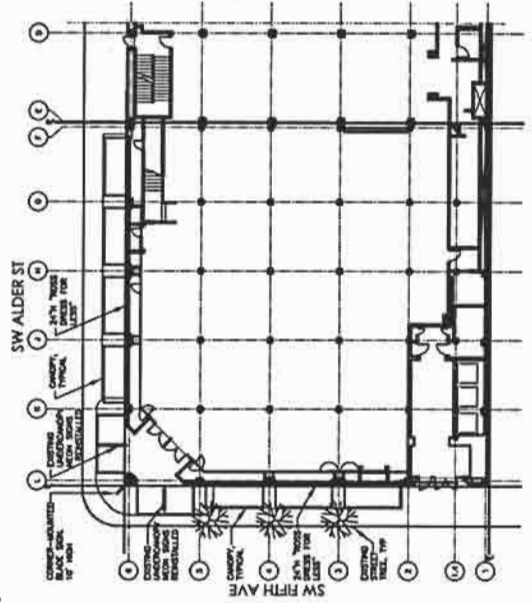


1 Marquee Canopy Roof Section SCALE: 3/4"=1'-0"

2 Marquee Canopy Roof Section SCALE: 3/4"=1'-0"



3 Marquee Canopy Roof Plan - Signage Lighting SCALE: 1/8"=1'-0"



4 Site Plan - Signage SCALE: 1/32"=1'-0"

waterleaf

419 SW 11th Ave Suite 200
 Portland, Oregon 97205
 Phone: 503/228-7571
 Fax: 503/273-8891

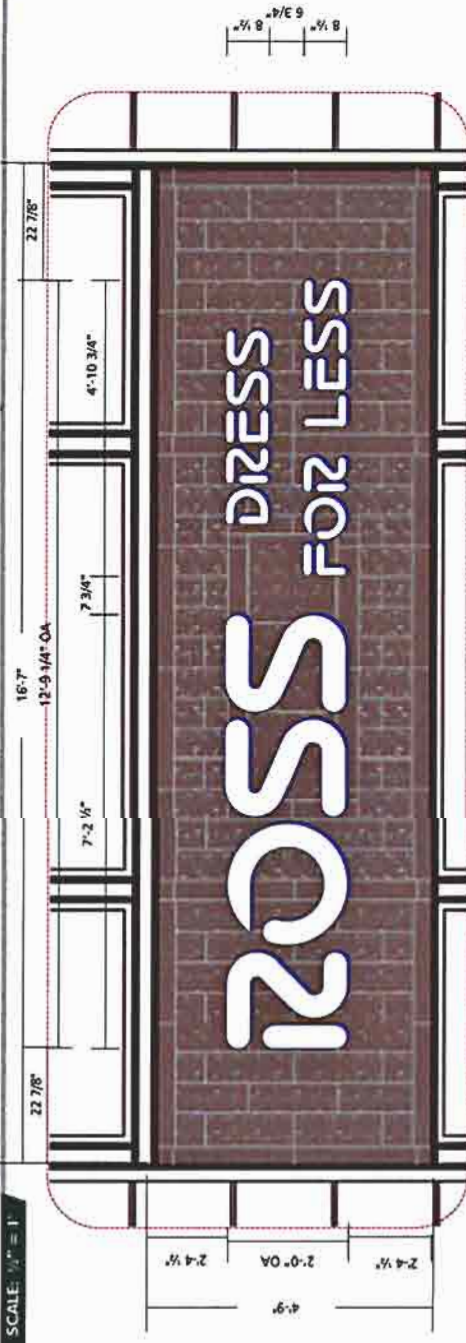


architecture, interiors & planning

EXHIBIT C.1

MANUFACTURE AND INSTALL ONE (1) SET OF EXTERNALLY ILLUMINATED REVERSE PAN CHANNEL LETTERS

SCALE: 1/8" = 1'



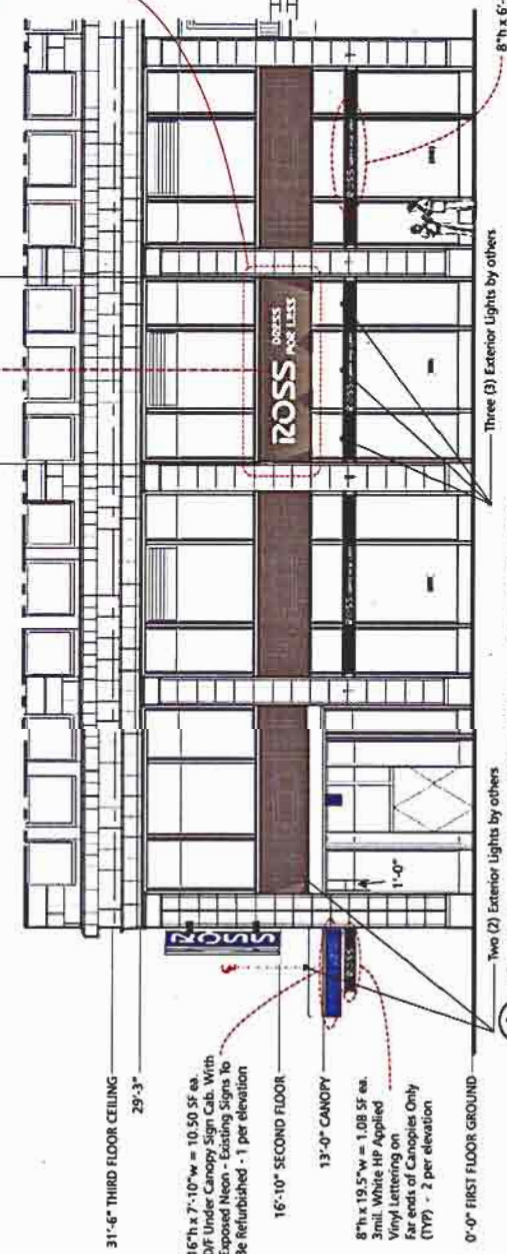
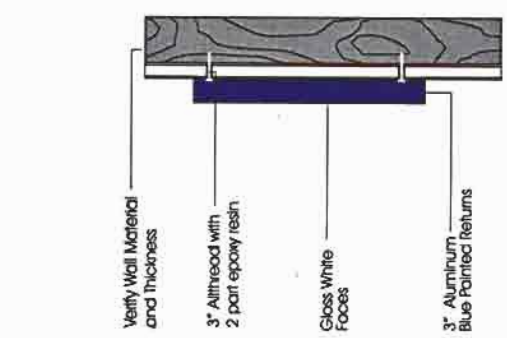
DESCRIPTION OF WORK	
SQ. FT	ITEM
26	1 REVERSE CHANNEL LETTERS

- Reverse Channel Letters:**
- Aluminum letters
 - Returns painted glass Heron Blue
 - Faces painted glass white
 - Externally illuminated by otherd
 - Flush mount to wall

*SURVEY REQUIRED FOR WALL CONSTRUCTION

RETURNS ■ HERON BLUE (PMS 2862)

FACES □ GLOSS WHITE



SCALE: 3/32" = 1' - 0"

1 WEST • FIFTH AVENUE • ELEVATION

	PROJECT: Ross Dress For Less ADDRESS: Alder & 5th, PDX PHONE: 503 420 - 8100 FAX: 503 420 - 7024	ACCT MGR: Linda CLIENT: S.P.A.I.E. DATE: 1/29/08	DATE: 03-10-08 BY: rob APPROVAL #1: 03-12-08 BY: rob APPROVAL #2: 03-16-08 BY: rob APPROVAL #3: 05-21-08 BY: rob	DATE: 04-17-08 BY: rob APPROVAL #1: 05-19-08 BY: rob APPROVAL #2: 05-21-08 BY: rob	CUSTOMER APPROVAL: _____ DATE: _____ UNLIGNED APPROVAL: _____ DATE: _____
	Approved				

D R A W I N G # : _____
 Revision for Ross Channel Ltrs - 18441
 SHEET 1 OF 4

City of Portland - Bureau of Development Services

Planner *slh* Date **7-10-08**

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EXHIBIT C.2

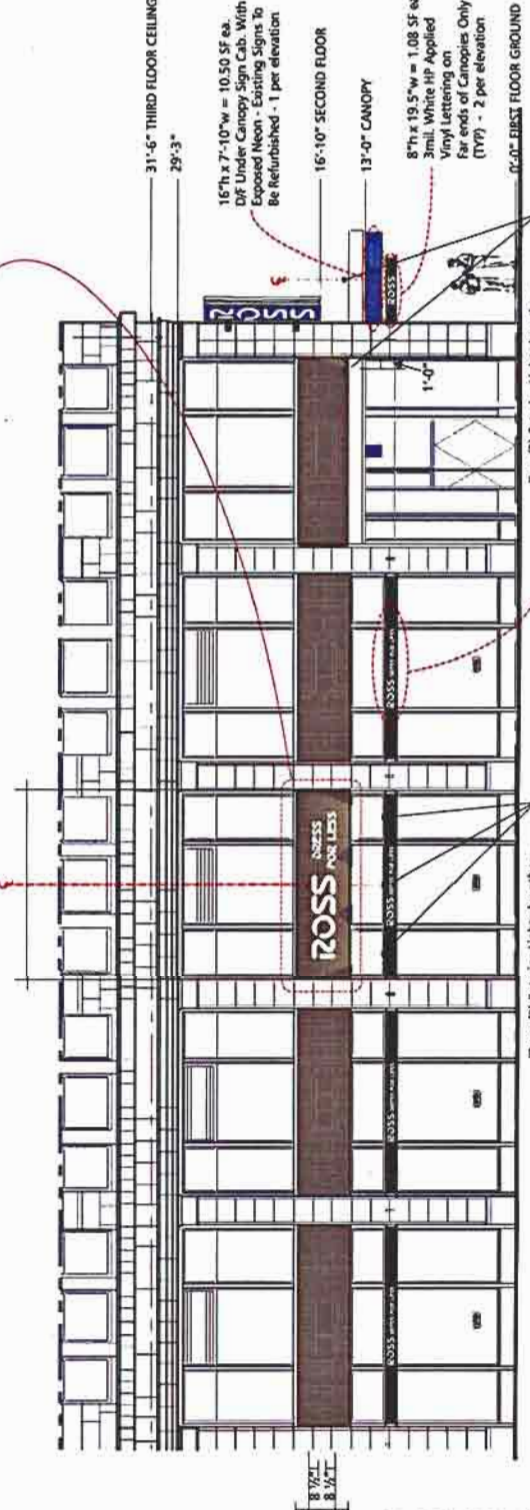
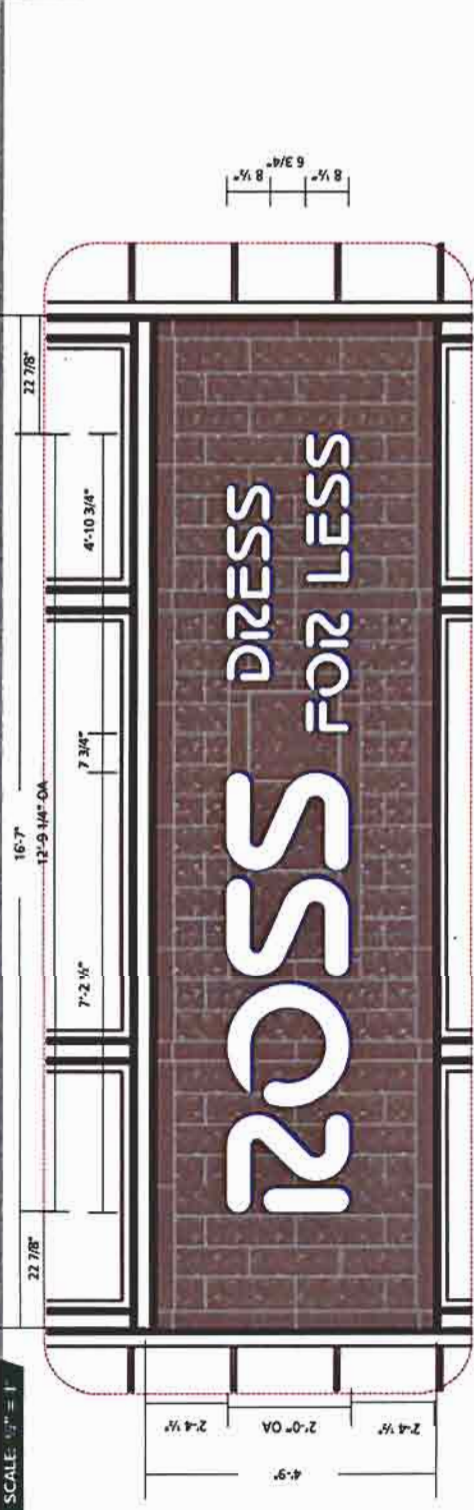
MANUFACTURE AND INSTALL ONE (1) SET OF EXTERNALLY ILLUMINATED REVERSE PAN CHANNEL LETTERS

DESCRIPTION OF WORK	
SQ. FT	ITEM
26	1 REVERSE CHANNEL LTRS

- Reverse Channel Letters:**
- Aluminum letters
 - Returns painted gloss Heron Blue
 - Faces painted gloss white
 - Externally illuminated (by others)
 - Flush mount to wall

*SURVEY REQUIRED FOR WALL CONSTRUCTION

	HERON BLUE <small>(PMS 2865C)</small>
	GLOSS WHITE
	RETURNS
	FACES



1 NORTH • ALDER STREET • ELE VATION

SCALE: 3/32" = 1'-0"

Meyer Sign Co. OF OREGON
 sales@meyersignco.com
 www.meyersignco.com
 phone: 503.620.8200
 fax: 503.620.7074

PROJECT: Ross Dress For Less
 ADDRESS: Alder & 5th, PDX
 DESIGNER: Rob
 PHONE

DATE: 07/10/08
 SCALE: 3/32" = 1'-0"

DATE: 03-10-08 BY: rob
 DATE: 04-17-08 BY: rob
 DATE: 05-19-08 BY: rob
 DATE: 05-21-08 BY: rob

APPROVED: [Signature]
 CUSTOMER APPROVAL: _____
 UNORDER APPROVAL: _____

DRAWING #: **Best Dress For Less Channel Ltrs - 100411**
 SHEET 2 OF 4

DATE: 07-08-08 TOM

City of Portland - Bureau of Development Services

Planner *[Signature]* Date **7-10-08**

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

EXHIBIT C.2

MANUFACTURE AND INSTALL ONE (1) DJF NON-ILLUMINATED ALUMINUM BLADE SIGN

SCALE: 1/4" = 1'

DESCRIPTION OF WORK		
SQ. FT.	QTY.	ITEM
25	1	D/JF ALUMINUM BLADE SIGN

Reverse Channel Letters:

- Aluminum letters
- Returns painted gloss black
- Faces painted gloss white
- Externally illuminated (by others)
- Flush mount to aluminum cabinet

Aluminum cabinets:

- Aluminum construction
- Returns painted gloss white
- Faces painted gloss blue
- Externally illuminated (by others)

Brackets/Supports:

- 2" x 6" rec tube supports
- sandwich 1 djf cabinet on rec tube, keep rec tube concealed
- paint brackets black
- brackets & wall anchors TBD by engineer

LETTER FACES	<input type="checkbox"/>	GLOSS WHITE
LETTER RETURNS	<input type="checkbox"/>	GLOSS BLACK
CABINET FACES	<input type="checkbox"/>	HERON BLUE (PMS 286C)
CABINET RETURNS	<input type="checkbox"/>	GLOSS WHITE

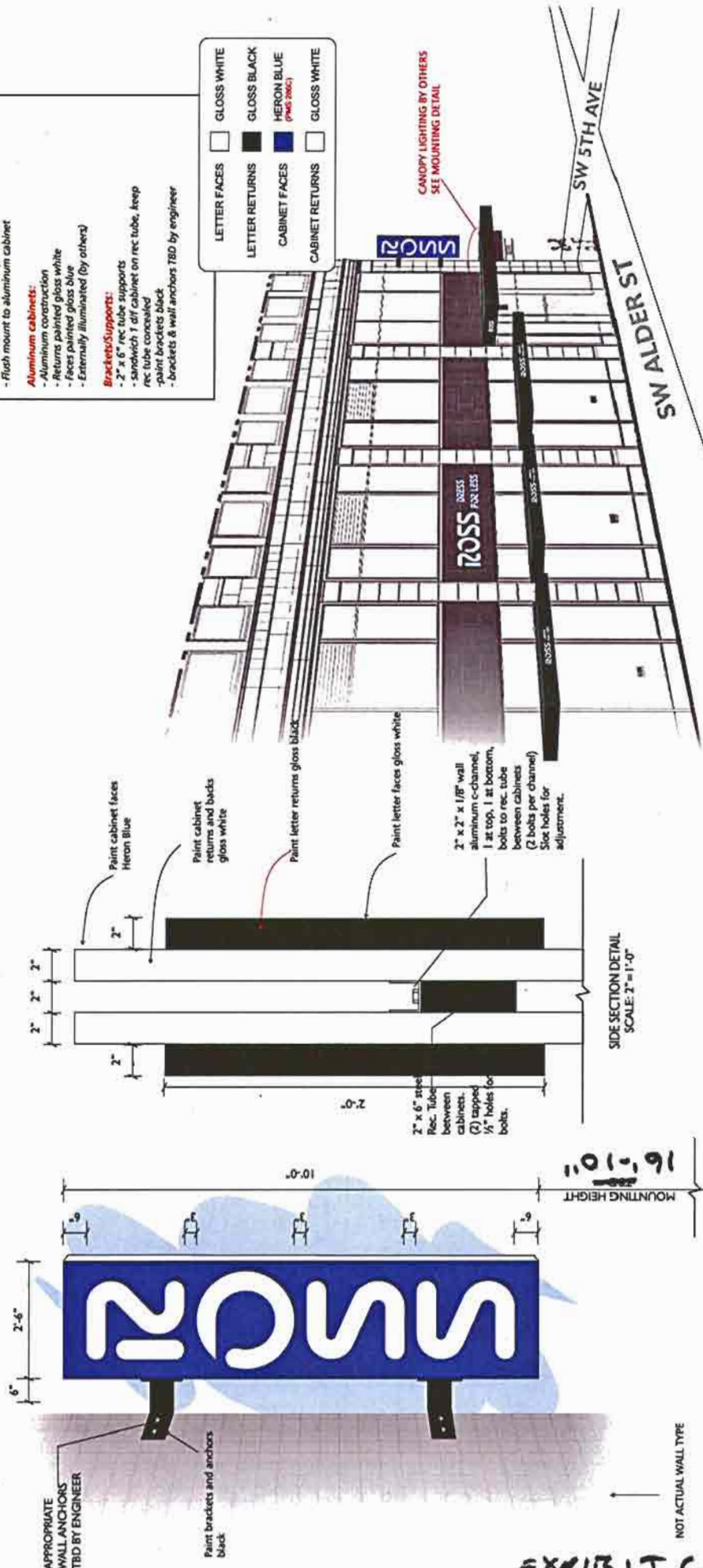


EXHIBIT C.4

		PROJECT: Ross Dress For Less - BLADE SIGN ACCT: MGB/Leah ADDRESS: Alder & 5th, PDX DESIGNER: Rob PHONE:		DATE: BY: DATE: BY:		CUSTOMER APPROVAL: LANDLORD APPROVAL:	
saks@meyrsignco.com www.meyrsignco.com phone: 503 620 - 8100 fax: 503 620 - 7074		CLIENT: SCALE:		APPROVED:		DATE: DATE:	
City of Portland - Bureau of Development Services				DATE: 7-10-08		DRAWING # 1 SHEET 3 OF 4	

Planner: *AK Dow*

* This approval applies only to the reviews requested and is subject to all zoning requirements. Additional zoning requirements may apply.

MANUFACTURE AND INSTALL ONE (1) DIF NON-ILLUMINATED ALUMINUM BLADE SIGN- ATTACHMENT DETAILS

SCALE: 1" = 1'

DESCRIPTION OF WORK		
SQ. FT	QTY	ITEM
25	1	DIF ALUMINUM BLADE SIGN

Reverse Channel Letters:

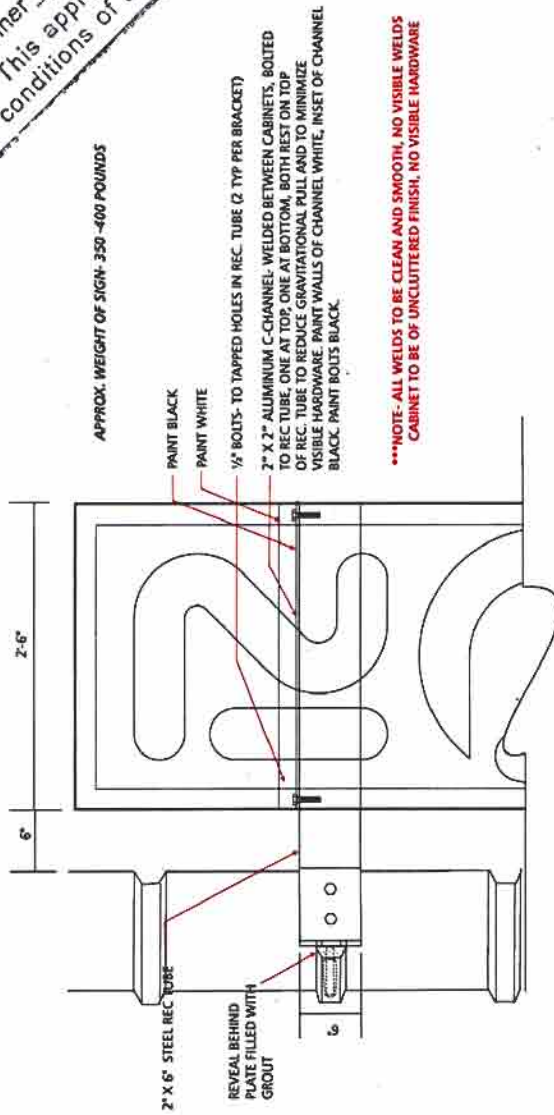
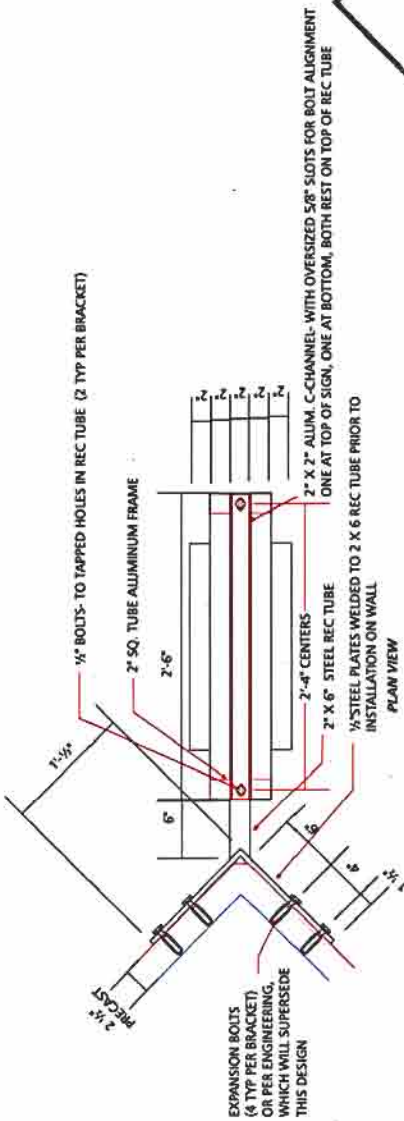
- Aluminum letters
- Returns painted gloss black
- Faces painted gloss white
- Externally illuminated (by others)
- Flush mount to aluminum cabinet

Aluminum cabinets:

- Aluminum construction
- Returns painted gloss white
- Faces painted gloss blue
- Externally illuminated (by others)

Brackets/Supports:

- 2" x 6" rec tube supports
- sandwich 1 diff cabinet on rec tube, keep rec tube concealed
- paint brackets black
- brackets & wall anchors TBD by engineer



City of Portland - Bureau of Development Services
 Approved*
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.
 Date 7.10.08

PROJECT: Ross Dress For Less - BLADE SIGN ACCT. MGR: Leah
 ADDRESS: Alder & 5th, PDX CLIENT:
 DESIGNER: Robb SCALE: 1/2" = 1'-0"
 PHONE: DATE: 06-30-08

DATE: BY: DATE: BY: DATE: BY:
 APPROVED BY: APPROVED BY: APPROVED BY:
 CUSTOMER APPROVAL: LANDSCAPE APPROVAL:
 DATE: DATE:

This is a signed unapproved drawing created for the City of Portland. It is not to be used for the construction of the project. The City of Portland is not responsible for the accuracy of the information provided. These drawings are not to be shown to anyone other than the person or organization named on this drawing. No warranty is made by the City of Portland for any use of this drawing other than that intended.

DRAWING # 1
 Best Deal for Less Group Inc. 10411
 SHEET 1 OF 1

EXHIBIT C.5

