



City of Portland
Bureau of Development Services
Land Use Services Division

1900 SW Fourth Ave. Suite 5000
Portland, Oregon 97201
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www.portlandonline.com/bds

Date: September 9, 2008
To: Interested Person
From: Dave Skilton, Land Use Services
503-823-0660 / dave.skilton@ci.portland.or.us

**FINAL DECISION BY THE LANDMARKS COMMISSION
RENDERED ON August 25, 2008**

**CASE FILE NUMBER: LU 07-129341 HDZM
PC # 07-126231
LADD CARRIAGE HOUSE REHABILITATION**

GENERAL INFORMATION

Applicant: First Christian Church at Portland Oregon, Owner
PO Box 157
Portland, OR 97207-0157

Representative: Paul Falsetto, Architect (503-243-2252)
Carleton Hart Architecture
322 NW 8th Ave
Portland OR 97209

Site Address: 1331 SW Broadway Street

Legal Description: Block 205 Lot 4, Portland
Tax Account No.: R667722050
State ID No.: 1S1E04AD 00300
Quarter Section: 3128

Neighborhood: Downtown Cmty Assoc., contact Jennifer Geske at 503-750-9843.
Business District: Downtown Retail Council, contact Portland Business Alliance at 503-224-8684.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

Plan District: Central City - Downtown
Other Designations: Portland Historical Landmark, designated by Ordinance No. 131110, July 1, 1970

Zoning: CXd, Central Commercial, with Design Overlay.

Case Type: HDZM, Historic Design Review, with a Modification Request.
Procedure: Type III, with a public hearing before the Landmarks Commission. The decision of the review body can be appealed to City Council.

Proposal:

Applicant is seeking Historic Design Review for a proposal to rehabilitate the Ladd Carriage House on its original site, 1331 SW Broadway. The building has been mothballed offsite since June 2007. Upon relocation to the Broadway site, the building will be set back five feet from the right-of-way on both street frontages. The resulting open area will include the following elements:

- two externally illuminated monument signs;
- short-term bicycle parking; and
- steps, ramps, and handrails associated with building entries.

Treatment of the building itself will include:

- cleaning, patching, repair, and painting of surviving historic materials;
- re-roofing with composition shingles;
- removal of vents, conduits, signs, and other miscellaneous non-historic attachments;
- removal of non-historic windows, doors, and areas of siding; and
- restoration of the original door, window, siding, and applied ornament patterns based on documentary and physical evidence (where evidence is unavailable, the work will reflect the general architectural stylistic character).

In addition to the above, the applicant is seeking approval of an option to provide either a door or a window in one of the proposed openings on the north side of the building.

Historic Design Review is required because the Ladd Carriage House is a Portland Historical Landmark pursuant to designation on July 1, 1970.

Modification Request:

Applicant is seeking a modification to 33.130.230 – Ground Floor Windows because the historic window pattern does not comply in percentage of wall length or wall area on either the SW Broadway frontage or the SW Columbia frontage.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- 33.846.060 G. Other Approval Criteria
- 33.825.040 Modifications That Will Better Meet Design Review Requirements
- Central City Fundamental Design Guidelines
- 33.846.070 Modifications Considered During Historic Design Review

LANDMARKS COMMISSION DECISION

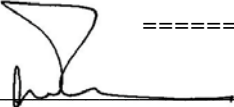
It is the decision of the Landmarks Commission to approve Historic Design Review for the Ladd Carriage House Rehabilitation.

Approval of a Modification of the requirements of Portland Zoning Code 33.130.120 – Ground Floor Windows, for windows along SW Broadway and SW Columbia frontages.

Approval of rehabilitation of the Ladd Carriage House on its original site, northwest corner of the intersection of SW Broadway and Columbia, per Exhibits C-1 through C-45, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C-1 through C-45. The sheets on which this information

appears must be labeled, "Proposal and design as approved in Case File # LU 07-129341 HDZM. No field changes allowed."

By:  _____
Art DeMuro, Landmarks Commission Chair

Application Filed: May 9, 2007

Decision Rendered: August 25, 2008

Decision Mailed: September 9, 2008

Decision Filed: August 26, 2008

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on May 9, 2007, and was determined to be complete on **November 6, 2007**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on May 9, 2007.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant requested that the 120-day review period be extended the applicant waived the 120-day review period, as stated with Exhibit (Exhibit G-3)

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. This report is the final decision of the Landmarks Commission with input from other City and public agencies.

Conditions of Approval. This approval may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appeal of this decision. This decision is final unless appealed to City Council, who will hold a public hearing. Appeals must be filed by 4:30 pm on September 23, 2008 at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. Information and assistance in filing an appeal is available from the Bureau of Development Services in the Development Services Center or the staff planner on this case. You may review

the file on this case by appointment at, 1900 SW Fourth Avenue, Suite 5000, Portland, Oregon 97201.

If this decision is appealed, a hearing will be scheduled and you will be notified of the date and time of the hearing. The decision of City Council is final; any further appeal is to the Oregon Land Use Board of Appeals (LUBA).

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to City Council on that issue. Also, if you do not raise an issue with enough specificity to give City Council an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Who can appeal: You may appeal the decision only if you have written a letter which was received before the close of the record at the hearing or if you testified at the hearing, or if you are the property owner or applicant. Appeals must be filed within 14 days of the decision. **An appeal fee of \$3,043.50 will be charged (one-half of the application fee for this case).**

Neighborhood associations and low-income individuals may qualify for a waiver of the appeal fee. Additional information on how to file and the deadline for filing an appeal will be included with the decision. Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services in the Development Services Center, 1900 SW Fourth Ave., First Floor. Fee waivers for low income individuals must be approved prior to filing your appeal; please allow three working days for fee waiver approval. Fee waivers for neighborhood associations require a vote of the authorized body of your association. Please see appeal form for additional information.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **September 24, 2008 – (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit must be obtained before carrying out this project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed here.
- All applicable development standards, unless specifically exempted as part of this land use review.
- All requirements of the building code.
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

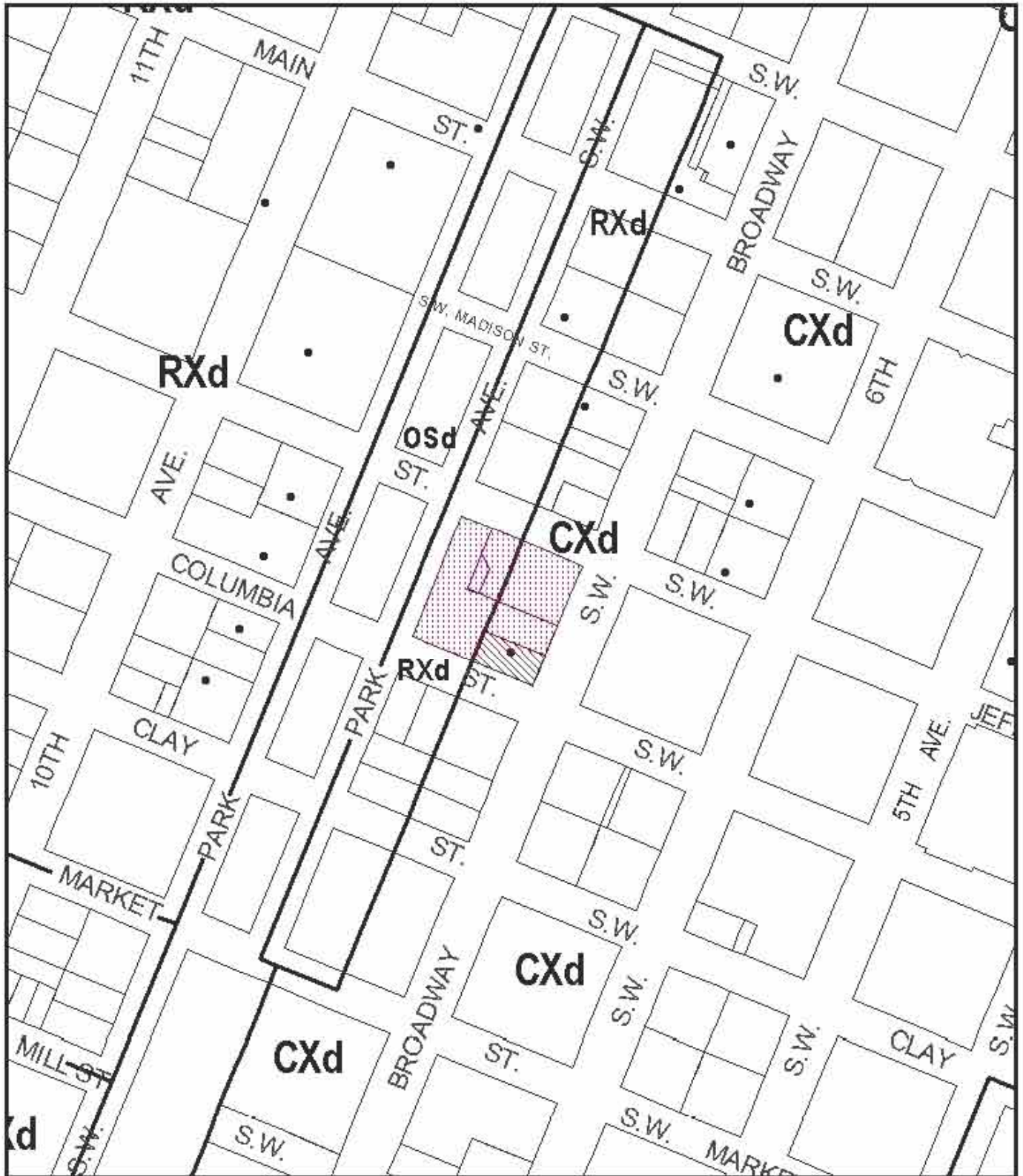
Dave Skilton
September 4, 2008

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).

EXHIBITS – NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans & Drawings
 - 1. Cover Sheet
 - 2. Fire and Life Safety Plans, and Code Summary
 - 3. Demolition – Crawl Space
 - 4. Demolition – First Floor
 - 5. Demolition – Second Floor
 - 6. Demolition – Third Floor
 - 7. Demolition – South Elevation
 - 8. Demolition – East Elevation
 - 9. Demolition – North Elevation
 - 10. Demolition – West Elevation
 - 11. Site Plan (attached)
 - 12. Details – Exterior
 - 13. Crawl Space Plan
 - 14. First Floor Plan
 - 15. Second Floor Plan
 - 16. Mezzanine Floor Plan
 - 17. Roof Plan
 - 18. Enlarged Floor Plans
 - 19. South Elevation (attached)
 - 20. East Elevation (attached)
 - 21. North Elevation
 - 22. West Elevation

23. Longitudinal Section
 24. Cross Section
 25. Additional Cross Sections
 26. Additional Exterior Details
 27. Roof Details
 28. Additional Roof Details
 29. Wall, Floor, and Ceiling Types
 30. Interior Details
 31. Window and Door Schedules
 32. Structural Note and Legends
 33. Shear Wall Details and Schedules
 34. Crawl Space and First Floor Framing Plans
 35. Second and Third Floor Framing Plans
 36. Roof Framing Plan
 37. Structural Elevations
 38. SMF Elevations and Details
 39. Crawl Space Framing Details
 40. Second Floor Framing Details
 41. Additional Second Floor Framing Details
 42. Third Floor and Roof Framing Details
 43. Exterior Lighting Rendering
 44. Monument Signage Details
 45. Lighting Fixture Details –13
 46. Lighting Fixture Details
- D. Notification information:
1. Request for response
 2. Posting letter sent to applicant
 3. Notice to be posted
 4. Applicant's statement certifying posting
 5. Mailed notice
 6. Mailing list
- E. Agency Responses:
1. Bureau of Environmental Services
 2. Site Development Section of Bureau of Development Services
- F. Letters
1. Letter of support, July 26, 2008, from George L. Vogt, Executive Director, Oregon Historical Society.
 2. Letter of support, August 18, 2008, from Philip L. Stewart, Chairman, AIA Historic Resources Committee.
 3. Letter of support, August 21, 2008, from Cathy Galbraith, Executive Director, Bosco-Milligan Foundation.
 4. Letter of support, by fax, August 22, 2008 from James S. Heuer, Chairman, Ladd Carriage House Committee of the Bosco-Milligan Foundation.
 5. Letter of conceptual approval, Joy Sears, Restoration Specialist, Oregon State Historic Preservation Office.
- G. Other
1. Original LUR Application
 2. Site History Research
 3. 120 Decision Waiver
- cc: Applicants and Representatives
Neighborhood Associations
Those who testified, orally or in writing
Development Services Center



ZONING

-  Site
-  Also Owned
-  Historic Landmark



This site lies within the:
CENTRAL CITY PLAN DISTRICT

File No. LU 07-129341 HDZM
 1/4 Section 3128
 Scale 1 inch = 200 feet
 State_Id 1S1E04AD 300
 Exhibit B (May 15, 2007)

PRELIMINARY
NOT FOR
CONSTRUCTION

CARLETON HART ARCHITECTURE
2025 15TH AVENUE WEST, SUITE 2000, DENVER, CO 80202
303.733.8222 | 603.548.9241 | carltonhart.com



LADD CARRIAGE HOUSE REHABILITATION
LADD TOWER, LLC
1331 SW BROADWAY | PORTLAND, OR
90% CONSTRUCTION DOCUMENTS

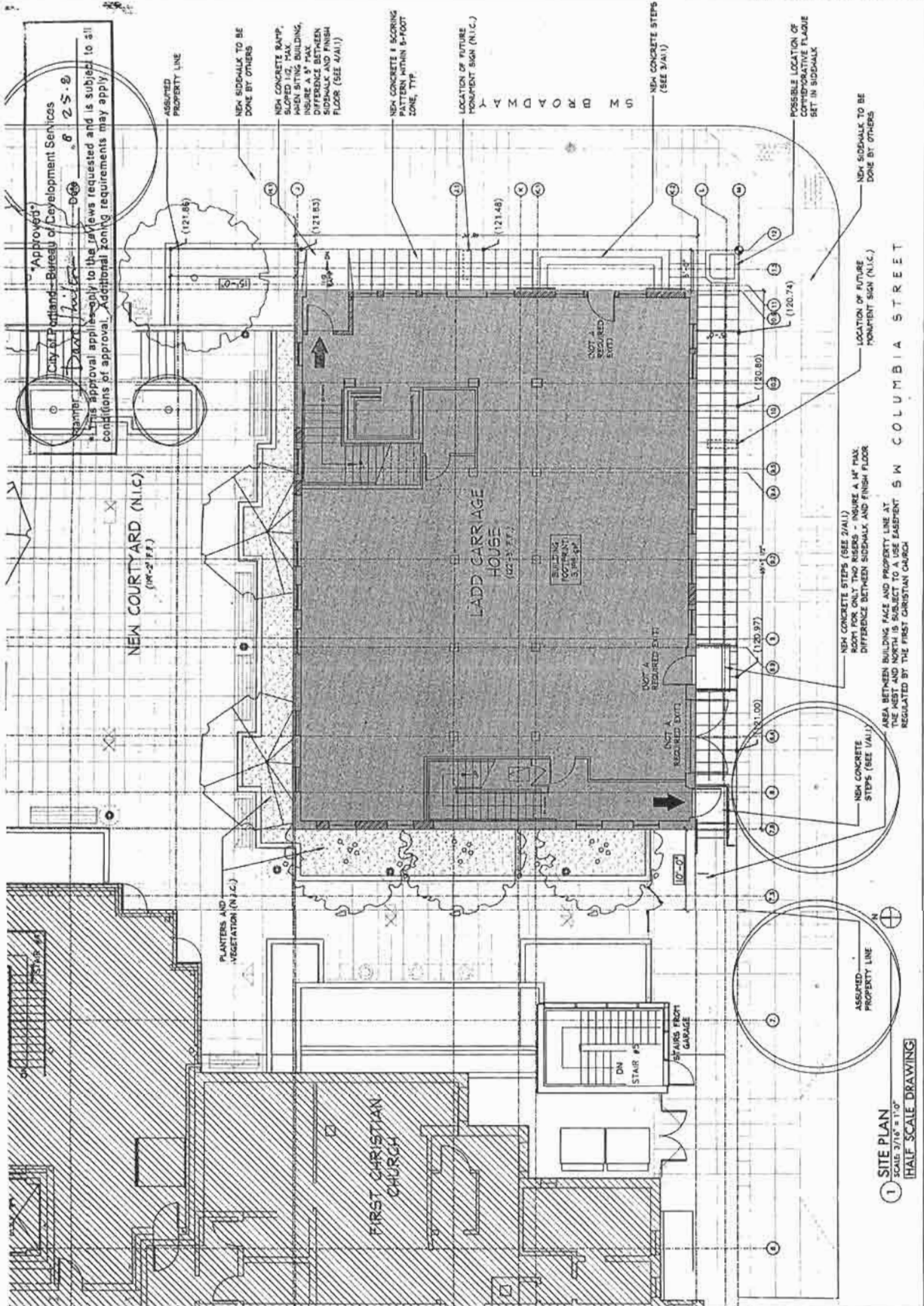
SITE PLAN

PROJ NO
20703

08.04.08

Exhibit C-11
LU07129341H0M2

A1.0



Approved by
City of Portland - Bureau of Development Services
Division of Planning
Project No. 20703
This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

1 SITE PLAN
SCALE: 3/16" = 1'-0"
HALF SCALE DRAWING

PRELIMINARY
NOT FOR
CONSTRUCTION

CARLETON HART ARCHITECTURE
705 STATE STREET | PORTLAND, OREGON 97208
503.255.1111 | carletonhart.com

LADD CARRIAGE HOUSE REHABILITATION
LADD TOWER, LLC
1331 SW BROADWAY | PORTLAND, OR
50% CONSTRUCTION DOCUMENTS

SOUTH ELEVATION
PROJ. NO. 20703
08.04.08

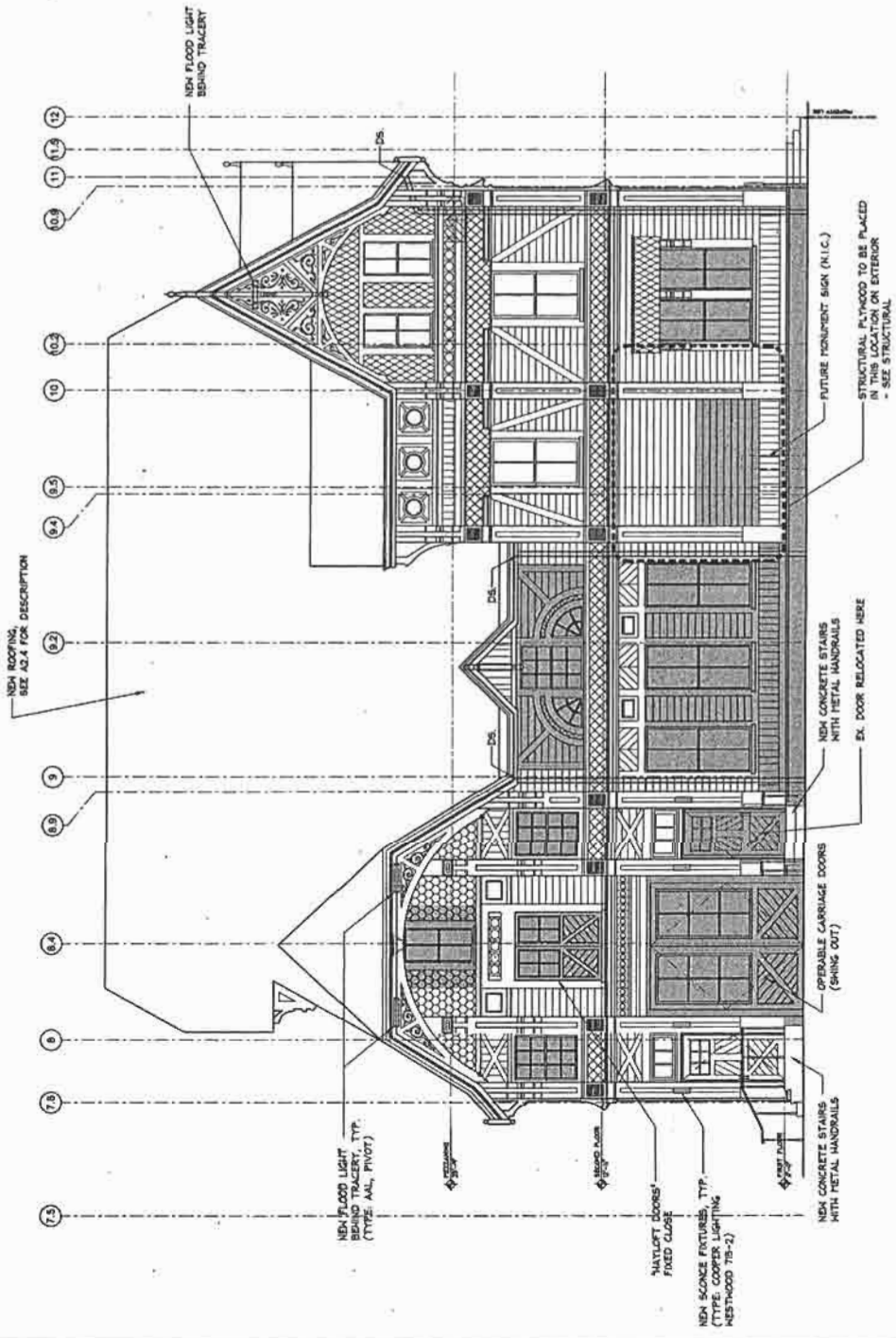
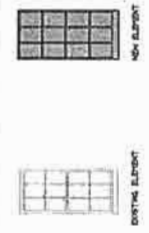
Exhibit C-19
LU07129341HDMZ

A3.0

ELEVATION GENERAL NOTES

1. ROOF LINES WITH HATCHED AREAS BEHIND DOTTED LINES REPRESENT ROOF PITCHES.
2. ALL NEW ROOFING SHALL BE SHINGLES, 1/2" MIN. THICKNESS, 30 YEAR WARRANTY, 30 YEAR LIFE EXPECTED. ALL EXISTING ROOFING SHALL BE REMOVED AND REPLACED WITH NEW ROOFING.
3. WINDOWS AND DOORS TO BE TREATED AS DEMONISHED IN THESE SUBFILES.
4. GRANTY TO BE CLEANED, PATCHED AS NEEDED, AND PAINTED TO MATCH EXISTING SURFACES.
5. PAINTED SURFACES TO BE PRIME AND PAINTED WITH COLOR AS SCHEDULED.

ELEVATION LEGEND



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
HALF SCALE DRAWING

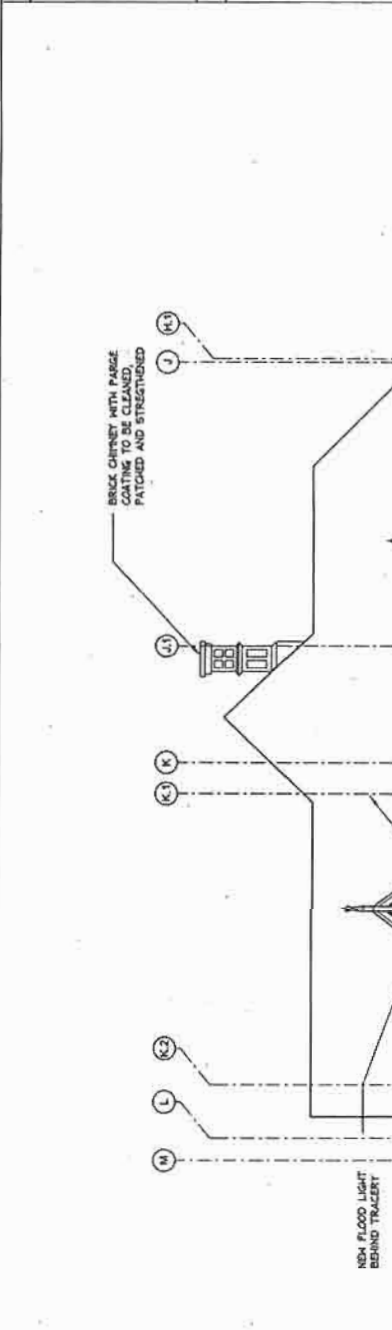
Approved
City of Portland - Bureau of Development Services
Planner Dave Jackson Date 8.25.08
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

ELEVATION GENERAL NOTES

1. HEAVY LINES WITH INCISED AREAS INDICATE GROTTES FOR NEW ELEMENTS.
2. PATCH ALL DAMAGED WOOD ELEMENTS, IF TOO DAMAGED REPLACE WITH NEW WOOD. PATCH WITH MATCHING MATERIAL, THEN WITH IN-KIND MATERIAL. STAIN AND FINISH TO MATCH ORIGINAL.
3. WINDOWS AND DOORS TO BE TREATED AS SHOWN IN THEIR SCHEDULES.
4. GUTTER TO BE CLEANED, PATCHED AS NEEDED, AND PAINTED.
5. ALL WOOD ELEMENTS TO BE PRESSED AND PAINTED WITH COLOR AS SCHEDULED.

ELEVATION LEGEND

	EXISTING ELEMENT
	NEW ELEMENT



EAST ELEVATION

PROJ. NO. 20703
09/24/08

LADD CARRIAGE HOUSE REHABILITATION
LADD TOWER, LLC
1331 SW BROADWAY | PORTLAND, OR
100% CONSTRUCTION DOCUMENTS

CARLETON HART ARCHITECTURE
1000 SW 10TH AVENUE, SUITE 200
PORTLAND, OR 97204
503.281.1111

EXHIBIT C-20
07-12-2011
HDZM

A3.1

EAST ELEVATION
SCALE: 1/4" = 1'-0"

Approved
City of Portland - Bureau of Development Services
Planner *Dave Felt* Date **8-25-08**
* This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.