



City of Portland
Bureau of Development Services
Land Use Services Division

1900 SW Fourth Ave. Suite 5000
Portland, Oregon 97201
Telephone: 503-823-7300
TDD: 503-823-6868
FAX: 503-823-5630
www.portlandonline.com/bds

Date: September 17, 2008
To: Interested Person
From: Chris Caruso, Land Use Services
503-823-5747 / Christine.Caruso@ci.portland.or.us

**NOTICE OF A TYPE II DECISION ON A PROPOSAL IN
YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

**CASE FILE NUMBER: LU 08-142502 DZ – KGW AT PIONEER
COURTHOUSE SQUARE**

GENERAL INFORMATION

Applicant: Jennifer Polver (executive director)
Pioneer Courthouse Square, Inc.
715 SW Morrison St., Ste 702
Portland, OR 97205
(503) 223-1613

Representative: Don Schmidt (architect)
Soderstrom Architects
1200 NW Naito Parkway, Ste 410
Portland, OR 97209
(503) 228-5617

DJ Wilson (tenant representative)
KGW Media Group Portland
1501 SW Jefferson St
Portland, OR 97201
(503) 226-5123

City of Portland – Pioneer Courthouse Square (listed owner)
701 SW 6th Avenue
Portland, OR 97204

Site Address: 701 SW 6TH AVE

Legal Description: BLOCK 179, PORTLAND
Tax Account No.: R667718360
State ID No.: 1S1E03BB 01900
Quarter Section: 3129

Neighborhood: Downtown Cmty Assoc., contact Jennifer Geske at 503-750-9843.

Business District:	Downtown Retail Council, contact Portland Business Alliance at 503-224-8684.
District Coalition:	Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Plan District:	Central City - Downtown
Zoning:	OSd – Open Space with design overlay
Case Type:	DZ – Design Review
Procedure:	Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The proposal is to remodel the southeast corner tenant space underneath Pioneer Courthouse Square to accommodate a satellite television broadcast studio. The existing brick steps that cut across the storefront will be removed and replaced with a brick-faced wall similar to a wall on the opposite side of the space. Existing steps across the front of the space will be extended to the new wall and a new bronze handrail will be installed. New angled, bronzed anodized aluminum, storefront windows with a new bronzed anodized aluminum mechanical grille will be installed across the front of the space. The wooden double doors, northern handrail and top level guardrail will remain in place. All new material will match material already present in the Square. Pedestrian traffic will continue to have access around this portion of the Square as well as to the double doors at the northern end of the space.

Design Review is required for architectural alterations in designated Open Space (OS) areas.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- 33.825 Design Review
- 33.510 Central City Plan District
- Central City Fundamental Design Guidelines

ANALYSIS

Site and Vicinity: This full block site [40,000 square feet] site is bounded to the north by SW Morrison, to the South by SW Yamhill Street, to the east by SW 6th Avenue, and to the west by SW Broadway. The site is known as Pioneer Courthouse Square, Portland’s downtown public square which is used for a variety of events and gathering opportunities. The existing commercial space is located partially below grade at the southeast corner of the site. SW Broadway is a designated Traffic Access Street, and a City Bikeway and Walkway. SW Yamhill Street, SW 6th Avenue and SW Morrison are Regional Transitways, Major Transit Priority Streets, and Central City Transit/Pedestrian Streets. Furthermore, the site is located within the Central City Pedestrian District. To the east of the site is Pioneer Courthouse, currently undergoing exterior renovation. To the west is Nordstrom [a major retail department store], north is the Northwestern National Bank Building [a designated historic landmark], and south is the Journal Building [also a designated Historic Landmark.] This site is located in the heart of downtown Portland, surrounded by a unique combination of retail stores, restaurants, hotels, and office buildings.

Zoning: The OS zone is intended to preserve public and private open and natural areas to provide opportunities for outdoor recreation and a contrast to the built environment, to preserve scenic qualities and the capacity and water quality of the storm water drainage system, and to protect sensitive or fragile environmental areas.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development must meet the Community Design Standards (Chapter 33.218) or are subject to design review.

Land Use History: City records indicate that prior land use reviews include the following:

- CU 079-69 (69-003029) Denial of application to construct an 800+ space parking garage with ground level retail on the square.
- HL-25-79 (79-005887) Approval of concept for Pioneer Courthouse Square.
- DZ 6-79 (79-004928) Design review discussion with the Portland Development Commission regarding Pioneer Courthouse Square.
- DZ 48-81 (81-004807) Design review for full construction of Pioneer Courthouse Square.
- DZ 50-84 (84-004845) Conceptual approval of fountain locations in only the Pioneer Courthouse Square block, subject to final approval by the Commission.
- DZ 132-85 (85-004342) Approval of new storefront door for Powell’s Travel store.
- DZ 156-85 (85-004414) Approval with conditions for Powell’s Travel store signage.
- DZ 68-89 (89-005003) Approval with conditions for Starbuck’s coffee shop.
- LUR 96-00423 DZ (96-013310) Approval of up to 5 “umbrella-style” transit shelters.
- LUR 98-00859 DZ (98-016165) Approval of expansion and remodel of Starbuck’s.
- LUR 98-00867 DZ (98-016173) Approval of new exterior trellis lighting system.
- LUR 99-00101 DZ (99-016506) Approval for temporary Millennium Countdown Clock.
- LUR 00-00064 CU DZ (00-006619) Application void.
- LUR 01-00205 DZM (01-007604) Approval for a new sign armature, lights, and sign immediately above an existing storefront entry to the indoor area of Pioneer Courthouse Square.
- 02-143485 DZ Approval of a new ATM on the exterior of Starbuck’s.
- 05-104988 DZ Approval of exterior renovations to Starbuck’s structure and plaza.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **August 22, 2008**.

The Life Safety Review Section of BDS responded with the following comment: Please see Exhibit E-1 for additional details.

1. A Building Permit has been applied for and is currently under review or has been issued or, a Life Safety plans examiner has been in contact with the applicant. Please refer to correspondence from the Life Safety plans examiner for building code-related comments.

The following Bureaus have responded with no issues or concerns:

- Site Development Section of BDS
- Bureau of Environmental Services
- Bureau of Parks-Forestry Division
- Bureau of Transportation Engineering
- Fire Bureau
- Water Bureau

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on August 22, 2008. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental Design Guidelines.

Central City Fundamental Design Guidelines

These guidelines provide the constitutional framework for all design review areas in the Central City.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish, and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

Findings for A4 & A5: The consistent use of brick, glass and anodized bronze in the façade of the tenant space conforms to the existing materials palette established for Pioneer Courthouse Square. Brick has been utilized as the primary base material for the Square; glass with anodized bronze aluminum frames and mullions is used for vertical wall structures that enclose Starbuck's in the northwest corner of the Square and to identify the primary Visitor Information Center entrance while bronze handrails and guardrails appear on all levels of the Square. All new material will match existing material in color, size and texture. The proposal will compliment and enliven Pioneer Courthouse Square, reinforcing the Square's role as the downtown hub for information services. *These guidelines are therefore met.*

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings: The proposal reuses an existing tenant space at the southeast corner of Pioneer Courthouse Square that has been unoccupied for a number of years. The existing tenant space will be completely rehabilitated, both interior and exterior. *This guideline is therefore met.*

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

B5. Make Plazas, Parks and Open Space Successful. Orient building elements such as main entries, lobbies, windows, and balconies to face public parks, plazas, and open spaces. Where provided, integrate water features and/or public art to enhance the public open space. Develop locally oriented pocket parks that incorporate amenities for nearby patrons.

Findings for A8 & B5: The installation of new full-height clear glazing across the entire length of the tenant space creates direct visual connections from the adjacent public right-of-way. The new windows are oriented toward a well-traveled corner of Pioneer Courthouse Square - a major north-south connection from the adjacent streets and transit mall as well as one of the primary entry points into this public open space. Existing physical connections from the sidewalks are maintained via the double entry doors at the north end of the tenant space. *These guidelines are therefore met.*

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

B4. Provide Stopping and Viewing Places. Provide safe, comfortable places where people can stop, view, socialize and rest. Ensure that these places do not conflict with other sidewalk uses.

B7. Integrate Barrier-Free Design. Integrate access systems for all people with the building's overall design concept.

Findings for B1, B4 & B7: Pedestrian cross-access circulation routes are being maintained throughout the site and the existing brick steps in front of the tenant space are being expanded. Visitors to Pioneer Courthouse Square will be able to gather at the southeast corner to view interior activities while maintaining vital pedestrian pathways through and around the Square. The new tenant space will be fully accessible from the existing barrier-free access point within the Visitor Information Center. *These guidelines are therefore met.*

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

Findings: The tenant space is set back from the street by adjacent public sidewalks along SW 6th Avenue. Pedestrians are protected from vehicular movement by street trees and street furniture. A new mechanical grille is being installed in the southern bay of the storefront system and will not impact pedestrians walking through this portion of Pioneer Courthouse Square. *This guideline is therefore met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for C2, C3, C4 & C5: The new brick steps and brick side wall, bronze handrail, anodized aluminum storefront and mechanical grille are durable materials that promote a sense of permanence that are present in a number of surrounding structures, including Pioneer Courthouse Square and the adjacent transit mall. The new design complements the existing context of the Square by maintaining the below-grade tenant space, retaining the upper level open public areas and respecting the original design character of areas within the Square by incorporating matching materials. *These guidelines are therefore met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Portland Zoning Code Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposed renovation of the tenant space at the southeast corner of Pioneer Courthouse Square reuses a previously vacant space within the existing structure. New full-height storefront glazing extending across the length of the tenant space and oriented out toward the open space of the Square provides views directly into active spaces. Pedestrians are protected from vehicular traffic by the adjacent wide sidewalk along SW 6th Avenue, existing street trees and street furniture and will have access through and around this area. One mechanical grille is located at the south end of the façade and will not impact pedestrians. Existing stopping and viewing places outside the tenant space are being maintained. The space is fully accessible from the Visitor Information Center main entry. Durable, high-quality materials such as brick, anodized aluminum, glass, and bronze are being used in the design and promote quality and permanence as well as complement the existing materials and design aesthetic present in the Square. This proposal warrants approval.

ADMINISTRATIVE DECISION

Approval of a remodel to the southeast corner tenant space at Pioneer Courthouse Square including:

- removal of the angled brick steps across the main entrance to the tenant space;
- new angled glazing with bronze anodized aluminum mullions, to match existing bronze frames in color, sitting on a new concrete curb across the front of the tenant space;
- a new brick wall and bronze handrail at the southern end of the tenant space that will match existing materials in the Square;
- extension of the brick steps with matching material across the lower level of the public area outside the tenant space to connect with the new brick wall; and
- a new bronze anodized aluminum mechanical grille at the southern end of the glazed façade;

per the approved site plans, Exhibits C.1 through C.13, signed and dated September 15, 2008, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.13. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 08-142502 DZ. No field changes allowed."

Decision rendered by:  **on September 15, 2008.**
By authority of the Director of the Bureau of Development Services

Decision mailed: September 17, 2008

Staff Planner: Chris Caruso

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on July 2, 2008, and was determined to be complete on **August 20, 2008.**

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on July 2, 2008.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on October 1, 2008** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant

prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **October 2, 2008**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a

new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

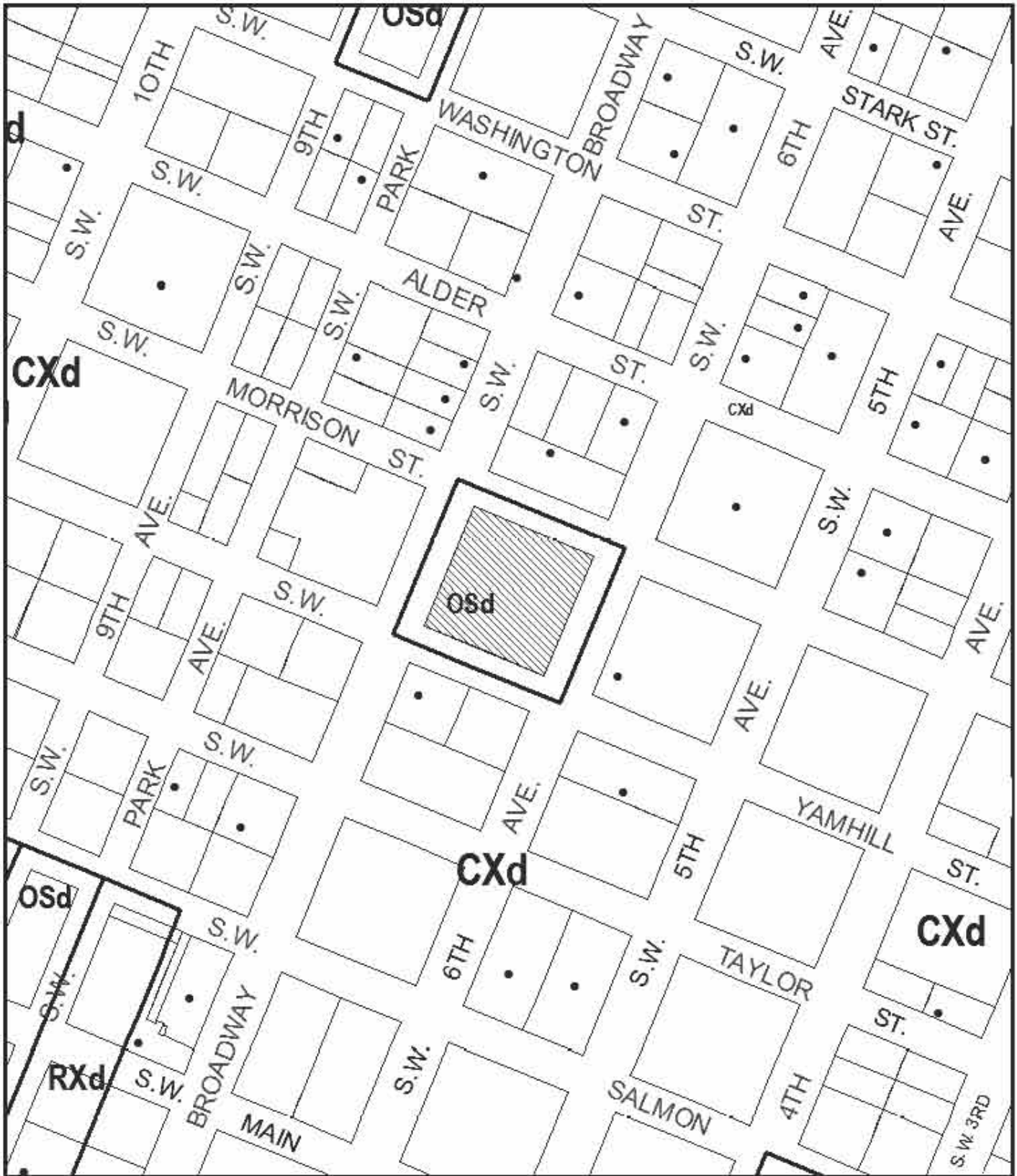
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED


- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. A0.01 Cover Sheet
 - 3. A2.01 Demolition Plans
 - 4. A2.02 Ceiling Plan; Floor Plan (attached)
 - 5. A9.01 Details
 - 6. S1.1 Structural Details
 - 7. S2.1 Structural Details
 - 8. SK1 Ground Floor Level Elevation (attached)
 - 9. SK2 Plaza Level Elevation
 - 10. SK3 Window Wall Section
 - 11. SK4 Mechanical Louver Section
 - 12. SK5 Exterior Details
 - 13. Materials Sheet
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Life Safety Review Section of BDS
- F. Correspondence: none
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research
 - 3. Incomplete Letter dated August 8, 2008
 - 4. Applicant response to Issues to Consider
 - 5. Existing site photos (2 pages)
 - 6. 3-D photo montage of proposal (2 pages)
 - 7. 3-D renderings of proposal (3 pages)

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).



ZONING

 Site

 Historic Landmark



This site lies within the:
CENTRAL CITY PLAN DISTRICT

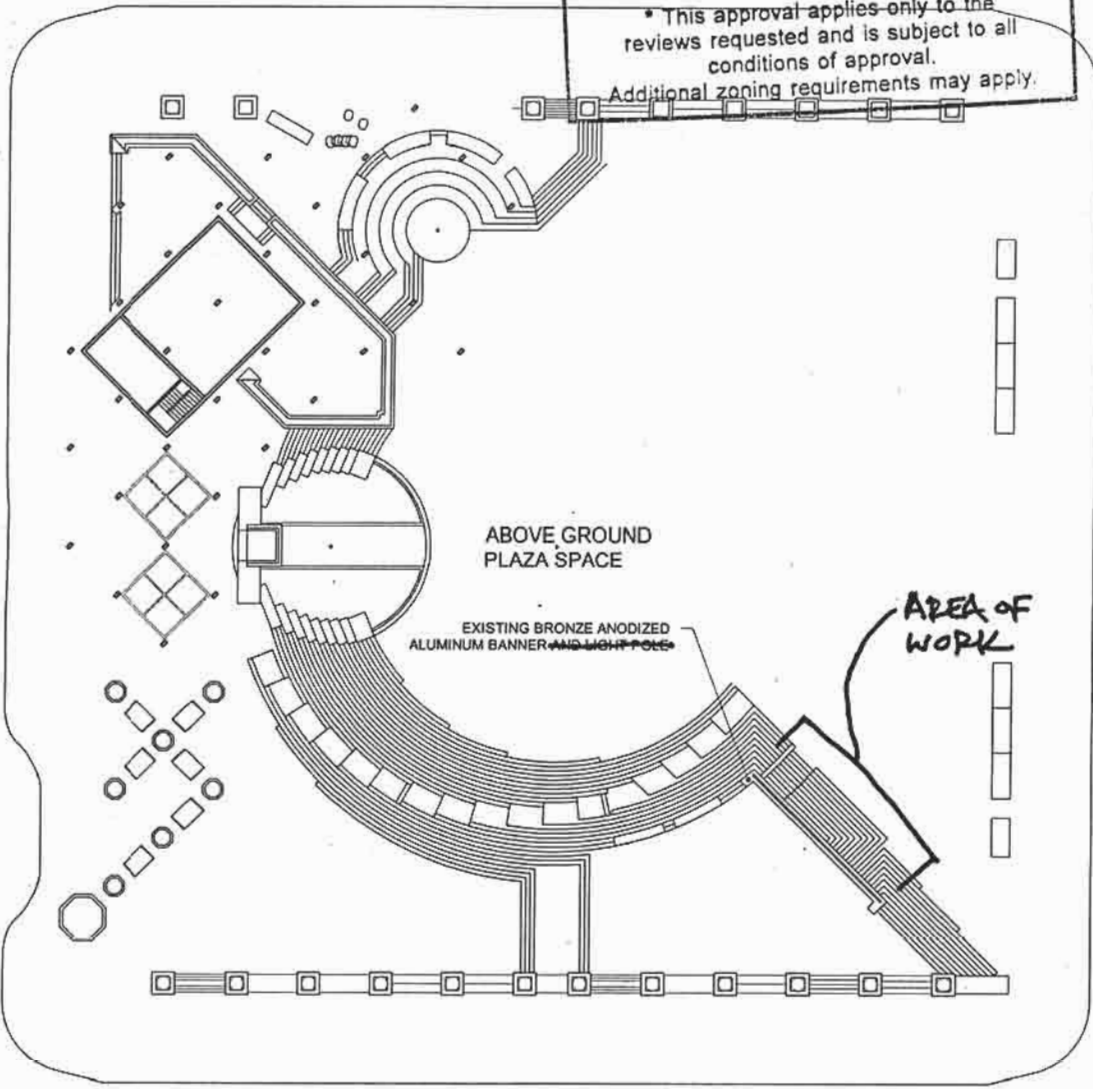
File No.	LU 08-142502 DZ
1/4 Section	3129
Scale	1 inch = 200 feet
State_Id	1S1E03BB 1900
Exhibit	B (Jul 08, 2008)

Approved
City of Portland
 Bureau of Development Services
 Planner Chris [Signature]
 Date 9/15/08

* This approval applies only to the reviews requested and is subject to all conditions of approval.
 Additional zoning requirements may apply.

SW MORRISON ST

SW BROADWAY



SW 6TH AVE.

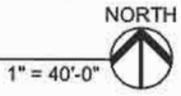
SW YAMHILL ST

SODERSTROM ARCHITECTS, P.C.
 architecture | planning | exterior restoration | interior design

1200 NW Naito Parkway, Suite 410
 Portland, Oregon 97209
 MAIN 503.228.5617 FAX 503.273.8584
 www.sdra.com

PIONEER COURTHOUSE SQUARE - SITE PLAN

Land Use Review LU 08 - 142502 DZ - KGW Studio



SK6

SHEET NO.

EXH. C.1

Approved

City of Portland
Bureau of Development Services

Planner *Chick*

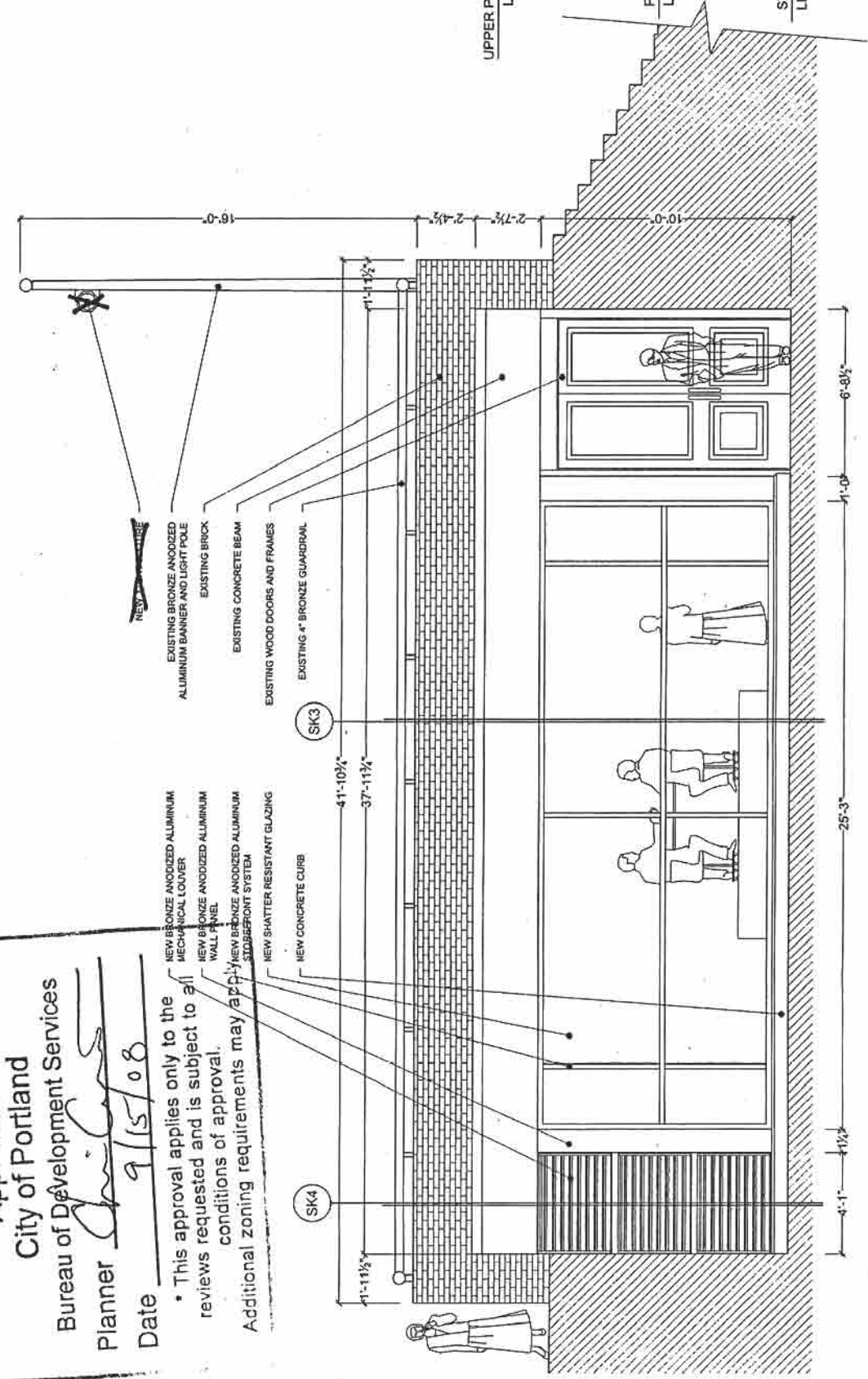
Date *9/15/08*

* This approval applies only to the reviews requested and is subject to all conditions of approval.

Additional zoning requirements may apply.

- NEW BRONZE ANODIZED ALUMINUM MECHANICAL COVER
- NEW BRONZE ANODIZED ALUMINUM WALL PANEL
- NEW BRONZE ANODIZED ALUMINUM STAIRFRONT SYSTEM
- NEW SHATTER RESISTANT GLAZING
- NEW CONCRETE CURB

SODERSTROM ARCHITECTS, P.C.
Architecture | planning | interior restoration | interior design
1200 NW Naito Parkway, Suite 410
Portland, Oregon 97209
MAIN 503.228.5817 FAX 503.273.8584
www.sdra.com



PIONEER COURTHOUSE SQUARE - GROUND FLOOR LEVEL - KGW ELEVATION

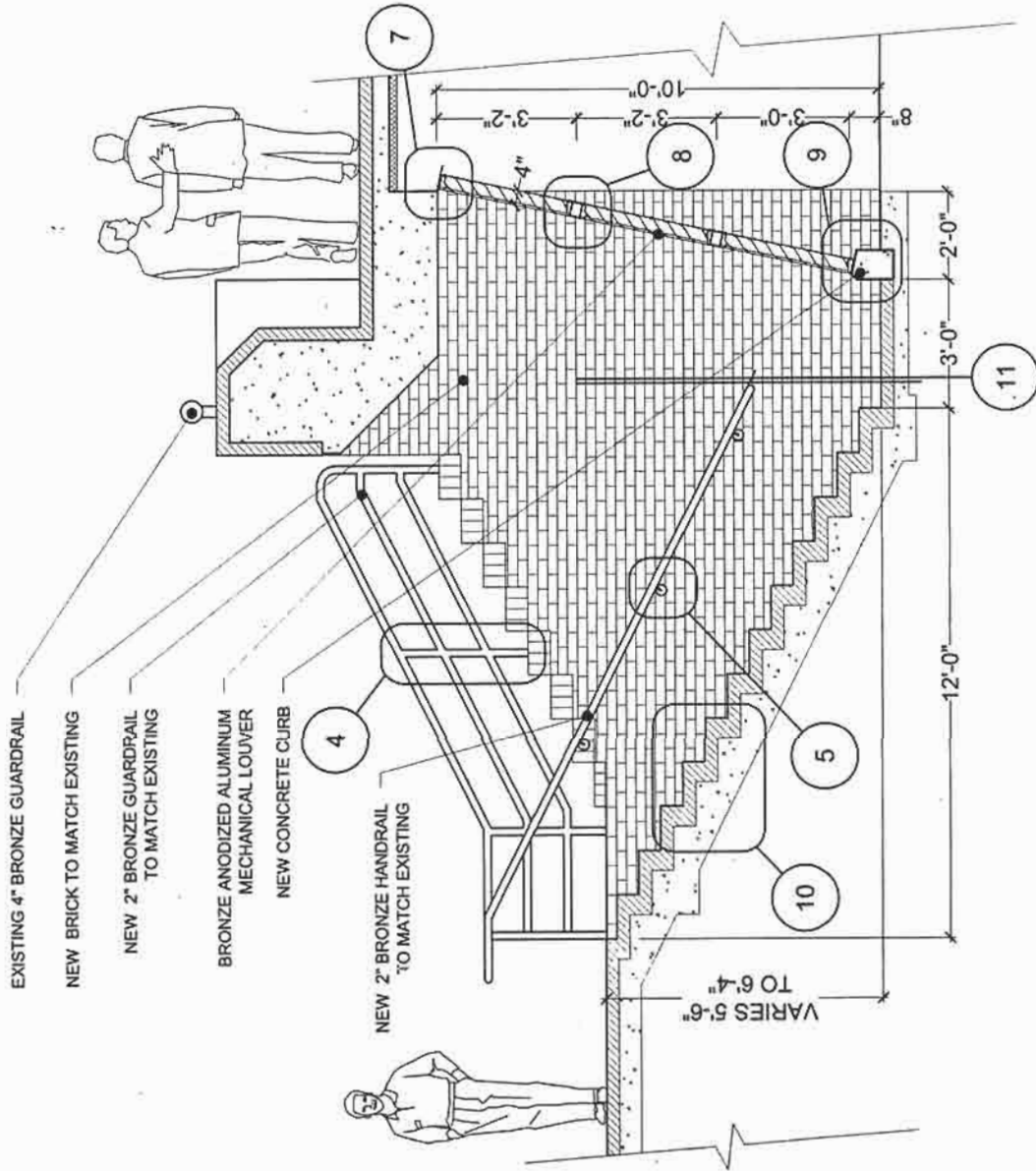
Land Use Review LU 08 - 142502 DZ - KGW Studio

1/4" = 1'-0"

SK1
SHEET NO.

EXH. C. 8

Approved
 City of Portland
 Bureau of Development Services
 Planner *[Signature]*
 Date 9/15/07
 * This approval applies only to the reviews requested and is subject to all conditions of approval.
 Additional zoning requirements may apply.



SECTION @ MECHANICAL LOUVER
 Land Use Review LU 08 - 142502 DZ - KGW Studio 1/4" = 1'-0"