



City of Portland  
**Bureau of Development Services**  
Land Use Services Division

1900 SW Fourth Ave. Suite 5000  
Portland, Oregon 97201  
Telephone: 503-823-7300  
TDD: 503-823-6868  
FAX: 503-823-5630  
[www.portlandonline.com/bds](http://www.portlandonline.com/bds)

**Date:** October 27, 2008  
**To:** Interested Person  
**From:** Chris Beaney, Land Use Services  
503-823-7983 / [chris.beaney@ci.portland.or.us](mailto:chris.beaney@ci.portland.or.us)

**NOTICE OF A TYPE II DECISION ON A PROPOSAL IN  
YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

**CASE FILE NUMBER: LU 08-159171 DZ NEW ENTRY GATE, WINDOWS  
AND CANOPY**

**GENERAL INFORMATION**

**Applicant:** Julio Rocha, Architect 503-224-9656  
GBD Architects, Inc  
1120 NW Couch, Ste 300  
Portland, OR 97209

**Owner:** Ty Barker  
Unico Properties, Suite 4070  
111 SW 5th Ave  
Portland OR 97204

Association Of Unit Owners Of  
One Eleven Tower Condominium  
111 SW Fifth Avenue  
Portland, OR 97204

**Site Address:** 555 SW OAK ST  
**Legal Description:** Common Elements, One Eleven Tower Condominium  
**Tax Account No.:** R628200010  
**State ID No.:** 1N1E34CD 80000  
**Quarter Section:** 3029  
**Neighborhood:** Downtown Cmty Assoc., contact Jennifer Geske at 503-750-9843.  
**Business District:** None  
**District Coalition:** Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.  
**Plan District:** Central City - Downtown  
**Zoning:** CXd, Central Commercial with design overlay  
**Case Type:** DZ, Design Review  
**Procedure:** Type II, an administrative decision with appeal to the Design Commission.

**Proposal:**

The applicant proposes an entry gate along the SW 5<sup>th</sup> Avenue frontage, between two entry bays. The gate, featuring electronic card entry, will separate the public plaza area from an informal elevator lobby area; a primary access point to commercial parking on upper levels. In addition, the applicant proposes window enclosure of floors two through eight within the non-roofed elevator lobby interior, where currently fabric vertical awning provides weather protection. Lastly, a flat glass canopy will be introduced along the ground floor where currently a shed-style fabric awning exists.

Because the proposal is to a building within a design overlay zone, and exterior alterations are proposed, Design Review is required.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- Chapter 33.825 Design Review
- Central City Fundamental Design Guidelines

**ANALYSIS**

**Site and Vicinity:** The full-block site is bounded by SW Pine Street, SW 5<sup>th</sup> Street, SW Ankeny Street, and SW 4<sup>th</sup> Street, is located within the Downtown Subdistrict of the Central City Plan District. The site is developed with a parking garage constructed in 1983. The garage is associated with U.S. Bancorp Tower, located directly across the 5<sup>th</sup> Avenue from the site.

Portland's Transportation System Plan classifies SW 4<sup>th</sup> Avenue as Traffic Access Street, City Walkway and Community Main Street. SW 5<sup>th</sup> Avenue is designated a Regional Transit Way and Centrak City Transit / Pedestrian Street. SW Ankeny is designated a City Walkway. All four streets are Local Service Bikeways. The site is within the Downtown Pedestrian District. Tri-Met bus route number 4 is along SW 4<sup>th</sup> Avenue.

**Zoning:** The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together.

The design (d) overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

**Land Use History:** City records indicate that prior land use review includes the following:

- DZ 03-81: Design Review Approval for parking garage.
- CU 39-82: A Conditional Use Review and approval for construction of a parking garage.
- CU 56-83: A Conditional Use Review approval for a drive-in banking facility.
- DZ 77-84: A Design Review approval for Storefront improvements to the garage.

**Agency Review:** A *Notice of Proposal in Your Neighborhood* was mailed on **September 15, 2008**. The following Bureaus have responded with no issues or concerns:

- Portland Fire & Rescue;

- Portland Water Bureau;
- Bureau of Environmental Services;
- Urban Forestry Division of Portland Parks & Recreation;
- Bureau of Transportation Engineering & Development Review;
- Site Development Section of the Bureau of Development Services;
- Life Safety (Building Code) Section of the Bureau of Development Services.

The Life Safety Section of the Bureau of Development Services responded with the following comment: “The vertical clearance from the public right-of-way to the lowest part of an awning, including valances, shall be 7 feet minimum. OSSC 3202.2.3” see Exhibit E-1 for additional details.

The Fire Prevention Division of the Portland Fire Bureau responded with the following comment: “ The Fire Bureau has no comments in regards to this design review”. See Exhibit E-2 for additional details.

**Neighborhood Review:** A *Notice of Proposal in Your Neighborhood* was mailed on **September 15, 2008**. No written comments in response to the proposal have been received from the neighborhood association or notified property owners.

## **ZONING CODE APPROVAL CRITERIA**

### **Chapter 33.825 Design Review**

#### **Section 33.825.010 Purpose of Design Review**

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

#### **Section 33.825.055 Design Review Approval Criteria**

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

**Findings:** The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site’s location, the applicable design guidelines are the Central City Fundamental Design Guidelines.

### **Central City Fundamental Design Guidelines**

These guidelines provide the constitutional framework for all design review areas in the Central City.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland’s character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

### **Central City Plan Design Goals**

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;

3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

**A4. Use Unifying Elements.** Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

**Findings:** The proposed alterations will integrate unifying elements and maintain the building's original character and composition. The proposed gate design integrates well with the existing design due to consistent materials used and proportions. The colossal principal entry portal to the garage elevators facing SW 5<sup>th</sup> Avenue is flanked by two grand masonry piers. An x-brace metal grillwork is situated towards the base of the piers; the new entry grillwork continues the pattern, effectively filling a "void" and adding a new layer of richness to the entry sequence. In addition, vertical grill lines from the arch above are continued downward to provide further continuity between the existing and new grillwork. New painted tube steel members will match dimensions of the existing arch and new metalwork dimensions and finish on the entry gate will match the existing architectural motif repeated throughout ground level of garage. This includes the hierarchical use of square tubing found throughout the base of the building, with larger dimensioned framing members with the remaining "x" bracing infill a smaller squared channel.

The new aluminum window system on the upper floors will provide a permanent building envelope, and fill voids of existing recessed openings onto the garage floors two through eight, replacing a fabric material that is non-permanent in nature and does not share existing material vocabulary of the building. *Therefore this guideline is met.*

**A6. Reuse/Rehabilitate/Restore Buildings.** Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

**Findings:** The proposed alterations to the garage's façade will respect the existing nature of the exterior by repairing and repainting the original metal gate and matching new metalwork with the existing motif. The grillwork provides consistency to the base of the building as there are existing grillwork accents; the proposal provides a consistent vocabulary to the building. In addition, existing openings on the second through the eighth floors will be enclosed with the proposed aluminum window system; this envelope will help protect the building against the elements. *Therefore this guideline is met.*

**A7. Establish and Maintain a Sense of Urban Enclosure.** Define public rights-of-way by creating and maintaining a sense of urban enclosure.

**Findings:** Currently, definition between the public and private realm is undefined on the site, the proposal provides clear distinction between the two.

The entry grillwork will further define the public/private spaces of the site facing SW

Fifth Avenue through the introduction of an urban edge to the public plaza and transit mall, yet remain permeable via transparency to the private elevator lobby beyond. *Therefore this guideline is met.*

**A8. Contribute to a Vibrant Streetscape.** Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

**Findings:** The entry grillwork is permeable, with opportunity to view the interior elevator lobby space from the plaza. Further, the grillwork provides pedestrian scale to the entry sequence and adds an additional layer of detail to the ground floor of the building. *Therefore this guideline is met.*

**B5. Make Plazas, Parks and Open Space Successful.** Orient building elements such as main entries, lobbies, windows, and balconies to face public parks, plazas, and open spaces. Where provided, integrate water features and/or public art to enhance the public open space. Develop locally oriented pocket parks that incorporate amenities for nearby patrons.

**Findings B5:** The elevator lobby space currently exists, however, there transition between the public and private space is informal. The proposed gate remodel will formalize the entry and allow views between the plaza area and the elevator lobby. *Therefore this guideline is met.*

**B6. Develop Weather Protection.** Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

**Findings:** The proposed design provides a glass canopy at ground level pedestrian entry to the elevator lobby. The canopy is integrated into the design of the new gate, and will be hidden in elevation behind the gate's horizontal support. It will provide both weather protection at building access point and a transition from the outdoors into the building and vice versa. *Therefore this guideline is met.*

**C2. Promote Quality and Permanence in Development.** Use design principles and building materials that promote quality and permanence.

**C3. Respect Architectural Integrity.** Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

**Findings for C2 and C3:** A major goal of the proposed exterior renovation is to unify and secure the building by choosing a common color scheme for the metal entry gate and tube steel members. The gate is designed with the same architectural motif used throughout the existing building's ground floor. The painted steel tube members represent permanence, and continues the horizontal line of the piers, while the treatment above the grillwork continues vertical lines from the arch above.

The existing upper level openings, for the most part unseen from the street, will not be modified in size or shape, they will simply be filled in with storefront glazing similar to the original design. Moreover the removal of the existing fabric protection at those openings will improve the architectural integrity of the building. Finally the new canopy will replace the current awning, which is out of character with the building. *Therefore these guidelines are met.*

**C5. Design for Coherency.** Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

**Findings:** The proposed metal entry gate will be built of the same material and painted the same color as the existing architectural metal work used throughout the existing building. The dimensions of the flatbar metalwork for the gate motif will match the existing motif located on the ground level of the garage. The dimensions of the tube steel metalwork above the new gate will match the existing arch located above. *Therefore this guideline is met.*

**C6. Develop Transitions between Buildings and Public Spaces.** Develop transitions between private development and public open space. Use site design features such as movement zones, landscape element, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.

**Findings:** The proposed design reinforces an existing transition by providing a clear distinction between public and private space that also increases the overall security of both domains. *Therefore this guideline is met.*

**C8. Differentiate the Sidewalk-Level of Buildings.** Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

**Findings:** The proposed treatment to the base adds onto and continues the existing ground level grillwork, which is limited to the base of the building. The proposal furthers an established design material vocabulary of the base of the building, consisting of masonry and metalwork. *Therefore this guideline is met.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal meets the applicable design guidelines and therefore warrants approval.

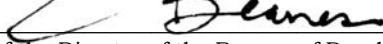
## ADMINISTRATIVE DECISION

Approval of the following:

- An entry gate along the SW 5<sup>th</sup> Avenue frontage, between two entry bays. The gate, featuring electronic card entry, will separate the public plaza area from an informal elevator lobby area; a primary access point to commercial parking on upper levels;
- A window enclosure of floors two through eight within the non-roofed elevator lobby interior, where currently fabric vertical awning provides weather protection;
- A flat glass canopy along the ground floor where currently a shed-style fabric awning exists.

Approval per the approved site plans, Exhibits C-1 through C-3, signed and dated October 23, 2008, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.3. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 08-159171 DZ. No field changes allowed."

**Decision rendered by:**  **on October 23, 2008**  
By authority of the Director of the Bureau of Development Services

**Decision mailed: October 27, 2008**

**Staff Planner: Chris Beanes**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on August 29, 2008, and was determined to be complete on **September 9, 2008**.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on August 29, 2008.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on November 10, 2008** at 1900 SW

Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded after **November 11, 2008 – (the first business day following the last day to appeal)**. A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034  
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.



**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

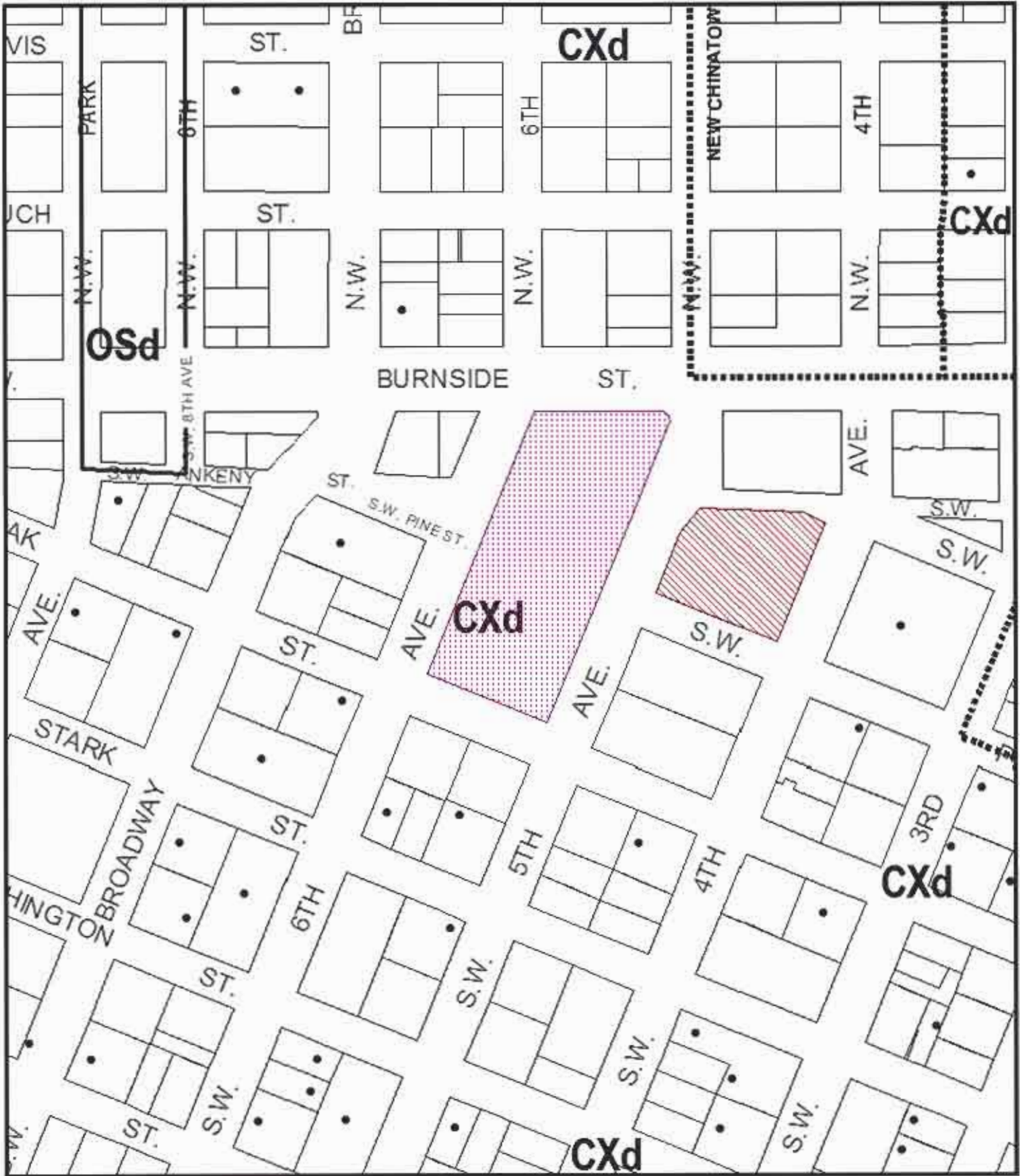
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

#### **EXHIBITS**

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. Site Plan (attached)
  - 2. Plaza Elevation/Enlarged Plan (attached)
  - 3. Elevator Lobby Section and Elevation (attached)
- D. Notification information:
  - 1. Mailing list
  - 2. Mailed notice
- E. Agency Responses:
  - 1. Fire Bureau
  - 2. Life Safety Review Section of BDS
- F. Correspondence: none
- G. Other:
  - 1. Original LU Application
  - 2. Site History Research

**The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).**



# ZONING

-  Site
-  Also Owned
-  Historic Landmark



This site lies within the:  
CENTRAL CITY PLAN DISTRICT

File No.	LU 08-159171 DZ
1/4 Section	3029
Scale	1 inch = 200 feet
State_Id	1N1E34CD 80000
Exhibit	B (Sep 05,2008)

LU 08-159171 02  
Exhibit C.1

**\*Approved\***

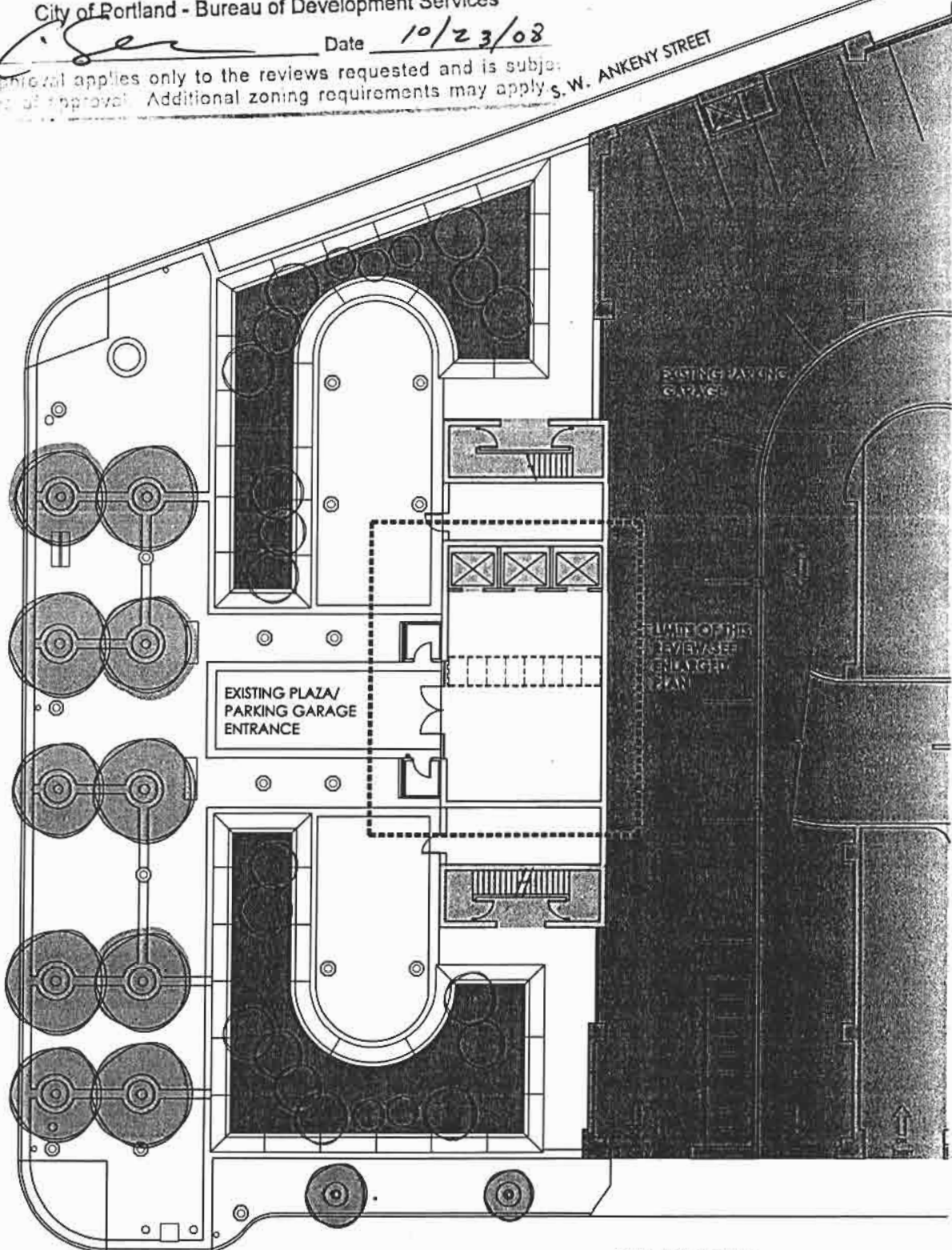
City of Portland - Bureau of Development Services

Planner *[Signature]*

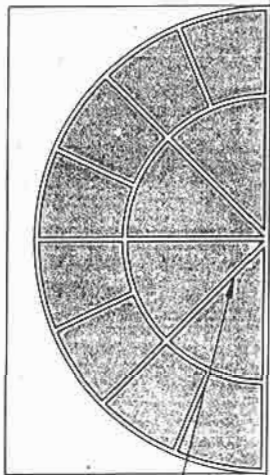
Date 10/23/08

\* This approval applies only to the reviews requested and is subject to the terms of approval. Additional zoning requirements may apply.

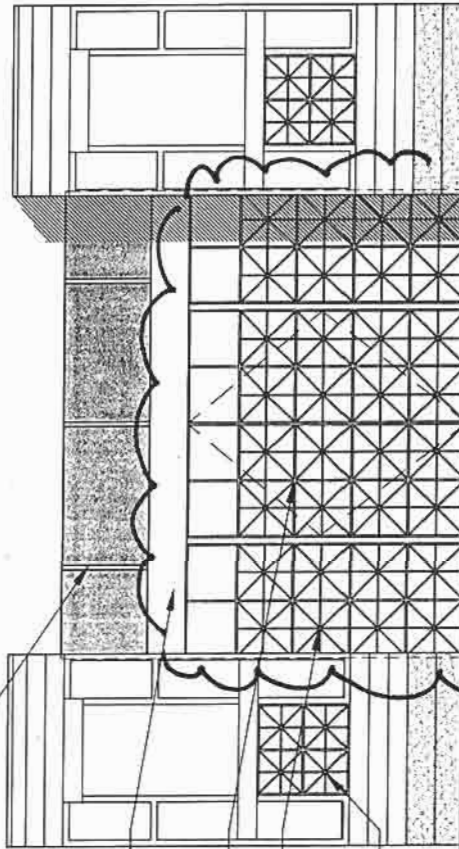
S. W. FIFTH AVENUE



S. W. PINE STREET



EXISTING PAINTED METAL ARCH  
NEW PAINTED TUBE STEEL MEMBERS TO MATCH DIMENSIONS OF ARCH ABOVE



NEW GLASS CANOPY (BEYOND) HIDDEN FROM VIEW BY PAINTED METAL HORIZONTAL GATE SUPPORT  
NEW PAINTED METAL ENTRY GATE  
NEW METAL WORK DIMENSIONS AND FINISH TO MATCH EXISTING MOTIF  
EXISTING ARCHITECTURAL MOTIF REPEATED THROUGHOUT GROUND LEVEL OF GARAGE

LV 08-159171 DZ

4. PLAZA ELEVATION

JNICO PARKING GARAGE

UNICO PROPERTIES

200021.44

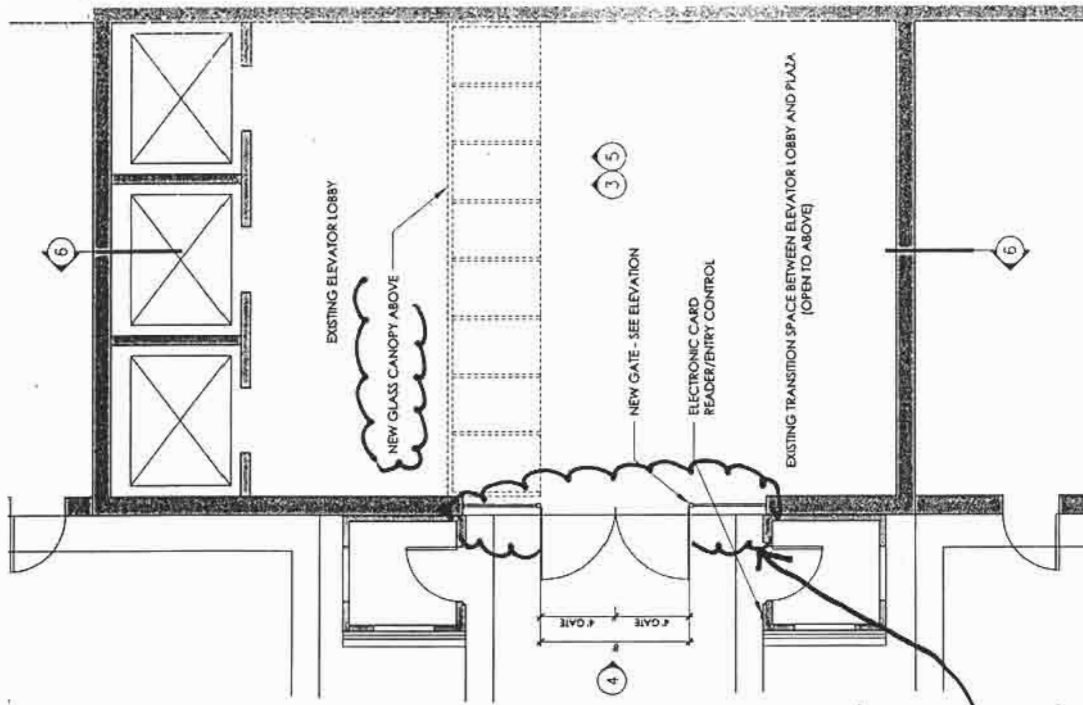
August 29, 2008

SCALE: 1/4" = 1'-0"

GBD ARCHITECTS, INCORPORATED - Portland, Oregon

*new gate*

*555 SW Ock*



EXISTING ELEVATOR LOBBY

NEW GLASS CANOPY ABOVE

NEW GATE - SEE ELEVATION

ELECTRONIC CARD READER/ENTRY CONTROL

EXISTING TRANSITION SPACE BETWEEN ELEVATOR LOBBY AND PLAZA (OPEN TO ABOVE)

2. ENLARGED PLAN

UNICO PROPERTIES

200021.44

August 29, 2008

GBD ARCHITECTS, INCORPORATED

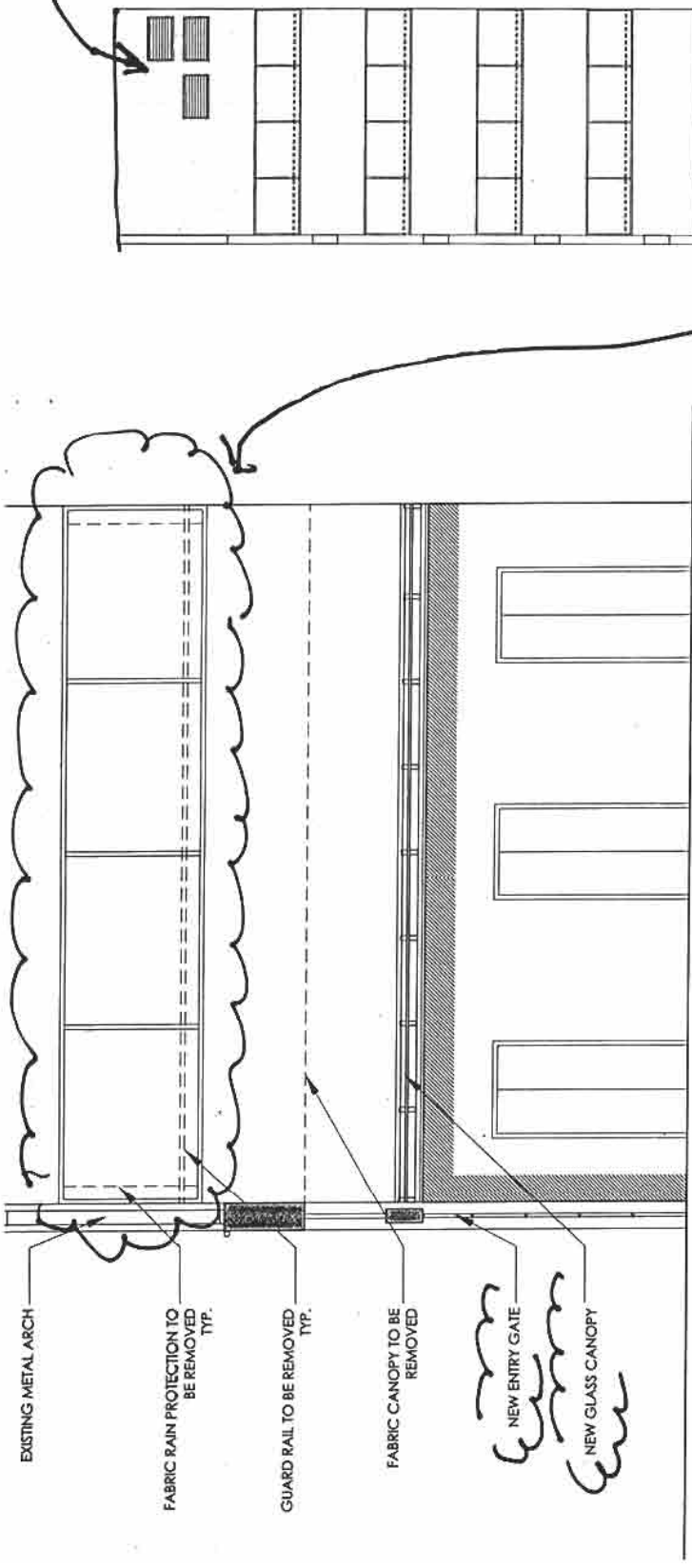
Portland, Oregon

LV 08-159171

Exhibit C.2

\*Approved\*  
City of Portland - Bureau of Development Services  
Planner: *[Signature]* Date: *10/23/08*  
\* Approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

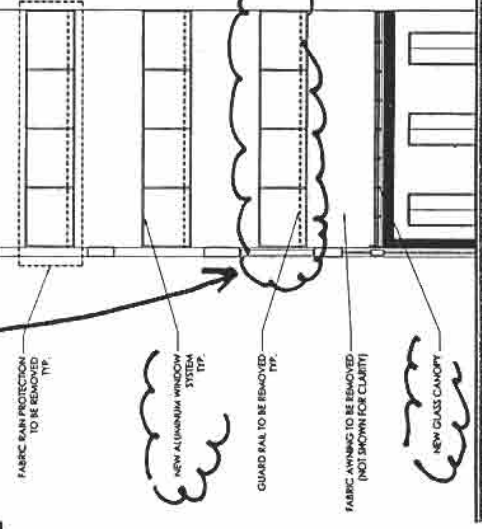
light well  
open to  
sky



LD 08-159171 DZ

5. ELEVATOR LOBBY ELEVATION - ENLARGED  
 UNICO PROPERTIES 20  
 UNICO PARKING GARAGE  
 SCALE: 1/4" = 1'-0"  
 GBD ARCHITECTS, INCORPORATED

new window system - typical



555 SW Oak

\*Approved\*  
 City of Portland - Bureau of Development Services  
 Date: 10/23/08  
 Planner: [Signature]  
 This plan applies only to the reviews required by the City of Portland. Additional zoning requirements may apply.

LD 08-159171

UNICO PROPERTIES  
 2002114  
 August 27, 2008  
 3. ELEVATOR LOBBY ELEVATION

Exhibit C.3