



City of Portland
Bureau of Development Services
Land Use Services Division

1900 SW Fourth Ave. Suite 5000
Portland, Oregon 97201
Telephone: 503-823-7300
TDD: 503-823-6868
FAX: 503-823-5630
www.portlandonline.com/bds

Date: October 27, 2008
To: Interested Person
From: Noelle Elliott, Land Use Services
503-823-7812 / Noelle.Elliott@ci.portland.or.us

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 08-157982 DZ – MECHANICAL AT 511 SW 10TH AVE

GENERAL INFORMATION

Applicant: 511 SW 10th LLC
621 SW Alder St #605
Portland, OR 97205

Representative: J. Burke, PMI Constructors Inc, 503-240-2692
PO Box 1316
Kent, WA 9803-51316

Site Address: 505-515 SW 10th Ave

Legal Description: BLOCK 253 LOT 1&2, PORTLAND
Tax Account No.: R667727990, R667727990
State ID No.: 1N1E34CC 05800, 1N1E34CC 05800
Quarter Section: 3029
Neighborhood: Downtown Cmty Assoc., contact Jennifer Geske at 503-750-9843.
Business District: Downtown Retail Council, contact Portland Business Alliance at 503-224-8684.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Plan District: Central City - West End Central City - Downtown
Zoning: CXd: Central Commercial zone with a design overlay
Case Type: DZ: Design Review
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant seeks design review approval to install an 8-inch exhaust duct to be located between a 13-story building and an above grade parking lot in the central city. Together the building and structured parking lot occupies a full block at 511 SW 10th Ave. The new pipe will project 8'-0" above the height of the second floor of the parking structure, and will be painted a medium grey tone to match the color of existing exhaust ducts on the building exterior. The

new duct will replace an existing 6-inch duct located just to the south of the proposed duct. The proposed development is located in the approximate center of the block, and is visible from the structured parking lot and screened from NW 10th Ave from the building.

Because the proposal is for a site with a design overlay zone and exterior alterations are proposed, design review is required.

Modification requested through Design Review, PZC 33.825.040:

33.510.224 Mechanical Equipment along the Portland Streetcar Alignment

The applicant seeks a modification to the standards for screening and enclosure of mechanical equipment along the Portland Streetcar Alignment. Section 33.510.224.C of the Zoning Code contains additional regulations for certain sites located within the Portland Streetcar Alignment Special Areas (PZC Map 510-11). The code requires all allowed mechanical equipment installed in this area to be completely screened from the sidewalk. The proposed exhaust stack will be visible from sidewalks to the north, south, and west of the site. The applicant requests a modification to waive the requirements for screening the new exhaust pipe.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- Chapter 33.825 Design Review
- Chapter 33.825.040 Modifications Requested Through Design Review
- Central City Fundamental Design Guidelines

ANALYSIS

Site and Vicinity: The site is developed with a high-rise, modern office building with ground floor retail, built in 1956. The building itself is notable for its height and modern style in an area dominated by pre-war buildings, many of which are no more than five stories in height. The building is located in the northeastern quadrant of the block bounded by SW Alder, SW Washington, SW 10th and SW 11th Avenues. An associated parking deck occupies the northwest quadrant of the block, tapering down to a surface lot at the southwest quadrant.

Portland's *Transportation System Plan* classifies SW 10th and 11th Avenues as Traffic Access Streets, Transit Access Streets, Central City Transit/ Pedestrian Streets, and Community Main Streets. SW 10th Avenue contains the northbound Portland Streetcar tracks and SW 11th Avenue contains the southbound tracks. SW Washington Avenue is designated as a Transit Access Street and City Walkway and SW Alder is a City Walkway. All surrounding streets are Local Service Bikeways and the site is within the Downtown Pedestrian District.

Zoning: The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together.

The design (d) overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

Land Use History: City records indicate that prior land use reviews include the following:

- LUR 96-013700 DZ (reference file # 96-00813): Approval of new fabric awnings with new signs located at the awning valence and new downlighting for the sidewalk area only [the awning and valence signs are not illuminated, the downlighting is baffled with light-diffusing fabric], new planters for street trees, new metal picket fence, trellis, and security gate.
- LUR 99-016765 DZ (reference file # 99-00360): Approval to replace 4 windows on the west elevation with louvers.
- LUR 99-017032 DZ (reference file # 99-00627): Approval of 52 new dish antennas at six separate mounting sites at the mechanical penthouse roof level of an existing 13 -story office building and approval of new air conditioning mechanical equipment located on a lower roof of the building. At each mounting site, 8 or 10 antenna dishes are arranged in two horizontal rows within a structural metal framework; the dishes are shielded from view by screen panels that have acrylic fabric stretched over a metal framework.
- LU 02-111307 DZM: Approval of a proposal to construct an 8-foot tall metal enclosure for mechanical equipment on the open second-floor deck of an existing parking garage next to an office tower. The enclosure is to be 23'-0" by 23'-6" and is to be made of vertical metal siding finished to match the metal panels of the office tower. A 7'-0" high metal door is to face south. One new pipe is to extend out of the new mechanical enclosure and extend up the exterior chase of the office tower, and 4'-0" high bollards are to be placed around the enclosure at approximately 6 feet apart.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **September 30, 2008**. The following Bureaus have responded with no issues or concerns:

- Portland Fire & Rescue;
- Portland Water Bureau;
- Urban Forestry Division of Portland Parks & Recreation;
- Bureau of Transportation Engineering & Development Review;
- Site Development Section of the Bureau of Development Services;

The Life Safety (Building Code) Section of the Bureau of Development Services responded with the following comments: Based on the information provided, there appears to be no conflicts between the proposal and applicable building codes. The exhaust fan termination must be at least 10 feet from the adjacent property line and openings into the building. A separate Mechanical Permit is required for the work proposed. *Please see Exhibit E.1 for additional details.*

The Bureau of Environmental Services responded with the following comment, “BES has no objections to the proposed exhaust stack and generator within the existing parking garage. Further development of the property would be subject to the Bureau of Environmental Services’ standards and requirements during the building plan review process.” *Please see Exhibit E-2 for additional details.*

Neighborhood Review: A “Notice of Proposal in Your Neighborhood” was mailed on September 30, 2008. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

➤ Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental Design Guidelines.

Central City Fundamental Design Guidelines

These guidelines provide the constitutional framework for all design review areas in the Central City.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

Findings: The proposal includes the installation of an 8" exhaust duct located next to existing mechanical equipment in an area between a parking structure and an adjacent high-rise commercial building. The duct will project 8"-0' above the height of the parking structure and will be painted light gray to match existing mechanical ductwork in this area. The duct will be pulled back approximately 38'-0" feet from the closest sidewalk at SW Washington Street, and therefore will have little impact on the surrounding pedestrian environment.

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

Findings: The proposed exhaust duct will be constructed of durable materials and painted light gray to match existing ductwork installed at this location. Further, the duct will be grouped and aligned with existing mechanical equipment and ductwork, maximizing the sense of visual cohesion provided by the installation of the equipment. *Therefore, this guideline is met.*

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal’s architectural integrity.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for C3 and C5: The proposed exhaust duct will have minimal impact on the visual integrity or coherency of the site. The proposed duct will be grouped with, and painted to match existing mechanical equipment located in this area. As the new ducting cannot be positioned on the building roof, its centralized mid-block location at the rear of the building, partially screened from street views by the parking lot, limits its impact on the pedestrian environment. Furthermore, its placement between the parking garage and the building alongside other ductwork provides a comprehensible location for the ductwork that does not functionally or aesthetically impinge on either the building or the parking structure. *Therefore, with the condition of approval that the new duct be painted a light grey to match existing ducts on the building, these guidelines are met.*

➤ **33.825.040 Modifications That Will Better Meet Design Review Requirements:**

The review body may consider modification of site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the design review process. These modifications are done as part of design review and are not required to go through the adjustment process. Adjustments to use-related development standards (such as floor area ratios, intensity of use, size of the use, number of units, or concentration of uses) are required to go through the adjustment process. Modifications that are denied through design review may be requested as an adjustment through the adjustment process. The review body will approve requested modifications if it finds that the applicant has shown that the following approval criteria are met:

A. Better meets design guidelines. The resulting development will better meet the applicable design guidelines; and

B. Purpose of the standard. On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.

The following modifications are requested:

1] 33.510.224.C, Mechanical Equipment along the Portland Streetcar Alignment, Screening and enclosure, requires that mechanical equipment installed in this area to be screened from the sidewalk by walls, fences, or plants. The proposed exhaust stack will be visible from sidewalks to the north, south, and west of the site. The applicant requests a modification to waive the requirements for screening the new exhaust pipe.

Purpose. *These regulations reduce the negative visual and noise impacts of mechanical equipment in areas that allow a mix of residential, commercial, and industrial uses to protect the residential livability, economic vitality, and appearance of these areas. They also minimize the impact of ground-level mechanical equipment along streets and other public areas.*

Findings: The installation of the proposed 8” exhaust duct will have little visual impacts on the surrounding uses and thus meets the intent of the standard and the applicable Design Guidelines, B2, C3 and C5. The proposed duct will be installed approximately 38’-0” feet from the closest public sidewalk at SW Washington Street, therefore, minimizing potential impacts on the surrounding pedestrian environment (Design Guideline B2). The presence

of the exhaust pipe will be further minimized by its paint color, a light gray, which will match existing exhaust ducts and piping, and the building itself. Moreover, the proposed duct has been grouped with existing mechanical ducts, creating a more uniform appearance and focused purpose for this area between the parking structure and high-rise commercial building. The measures that have been taken to reduce the impact of the proposed duct, namely the light gray color and location, better meet Design Guidelines C3 and C5.

Due to the careful placement of the new pipe in a centralized location pulled back from the street, and its paint color that matches existing ducts, the applicable Design guidelines, B2, C3 and C5, and the purpose of the standard are equally or better met. Therefore, this modification merits approval.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.


CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal meets the applicable design guidelines and therefore warrants approval. The new duct should have minimal visual impact on the building or the surrounding urban environment due to its mid-block location a significant distance from the sidewalk. By painting the new duct to match existing ducts located on the west side of the building, and grouping it with the existing pipes, the new addition should appear well integrated with the existing development.

ADMINISTRATIVE DECISION

Approval of one new exhaust duct measuring 0'-8" diameter and 8'-0" tall, per the approved drawings, Exhibits C-1 through C-3, signed and dated October 22, 2008, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions B must be noted on each of the 4 required drawings or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 08-157982 DZ." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. The new duct must be painted a light grey to match existing ducts on the building.

Decision rendered by:  **on October 22, 2008**
By authority of the Director of the Bureau of Development Services

Decision mailed: October 27, 2008

Staff Planner: Noelle Elliott

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on August 26, 2008, and was determined to be complete on **September 25, 2008**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on August 26, 2008.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on November 10, 2008** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded after **November 11, 2008 – (the first business day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

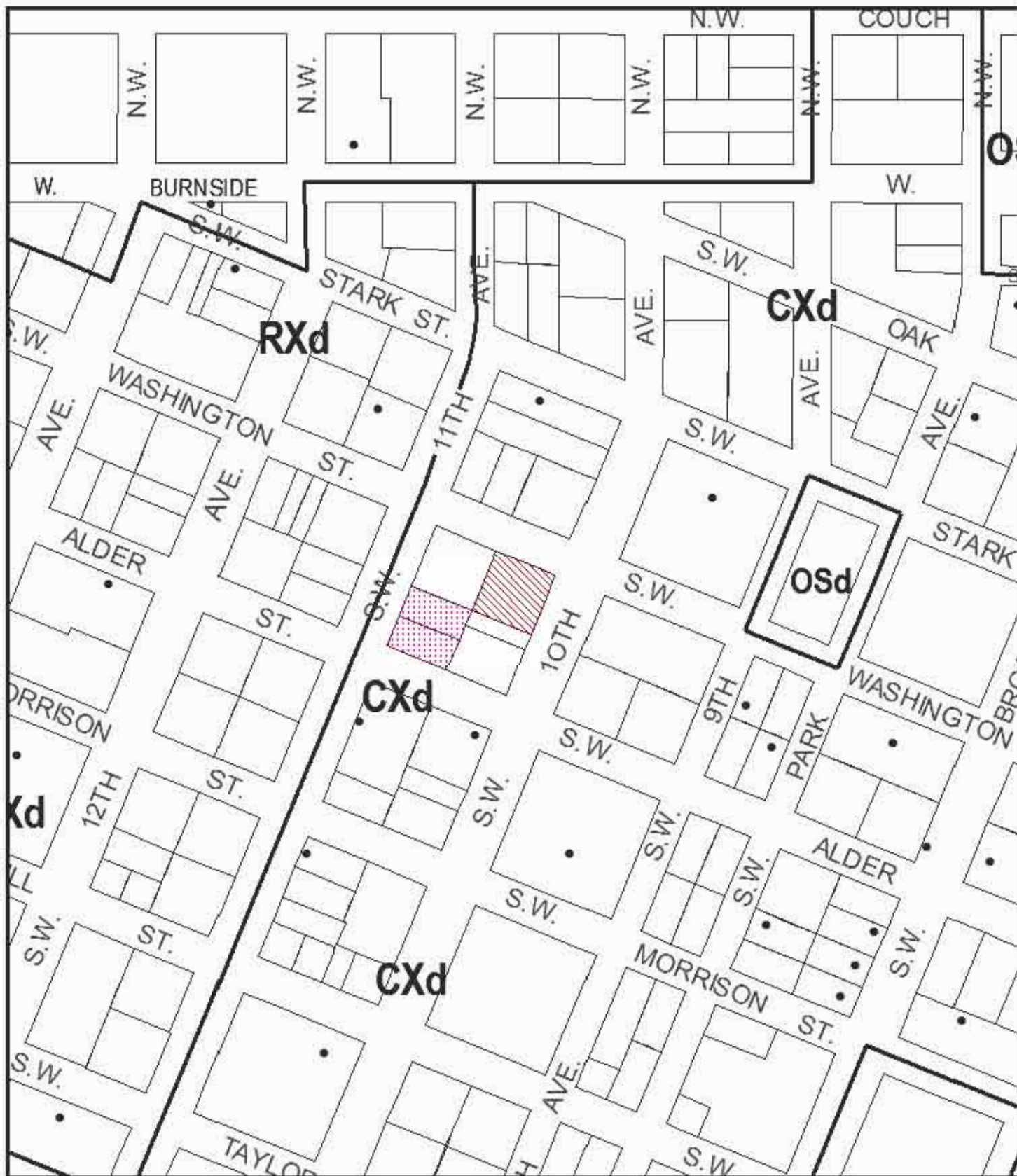
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS




NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Statement and Drawings
 - 2. Additional Information
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. West Elevations
 - 3. North Elevation (attached)
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Life-Safety Plans Examiner of BDS
 - 2. Bureau of Environmental Services
- F. Correspondence: None
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).



ZONING

-  Site
-  Also Owned
-  Historic Landmark



This site lies within the:
CENTRAL CITY PLAN DISTRICT

File No.	LU 08-157982 DZM
1/4 Section	3029
Scale	1 inch = 200 feet
State Id	1N1E34CC 5800
Exhibit	B (Aug 28, 2008)



INFINITY INTERNET
 PORTLAND, OREGON
 SITE PLAN
 SCALE: 1"=50'



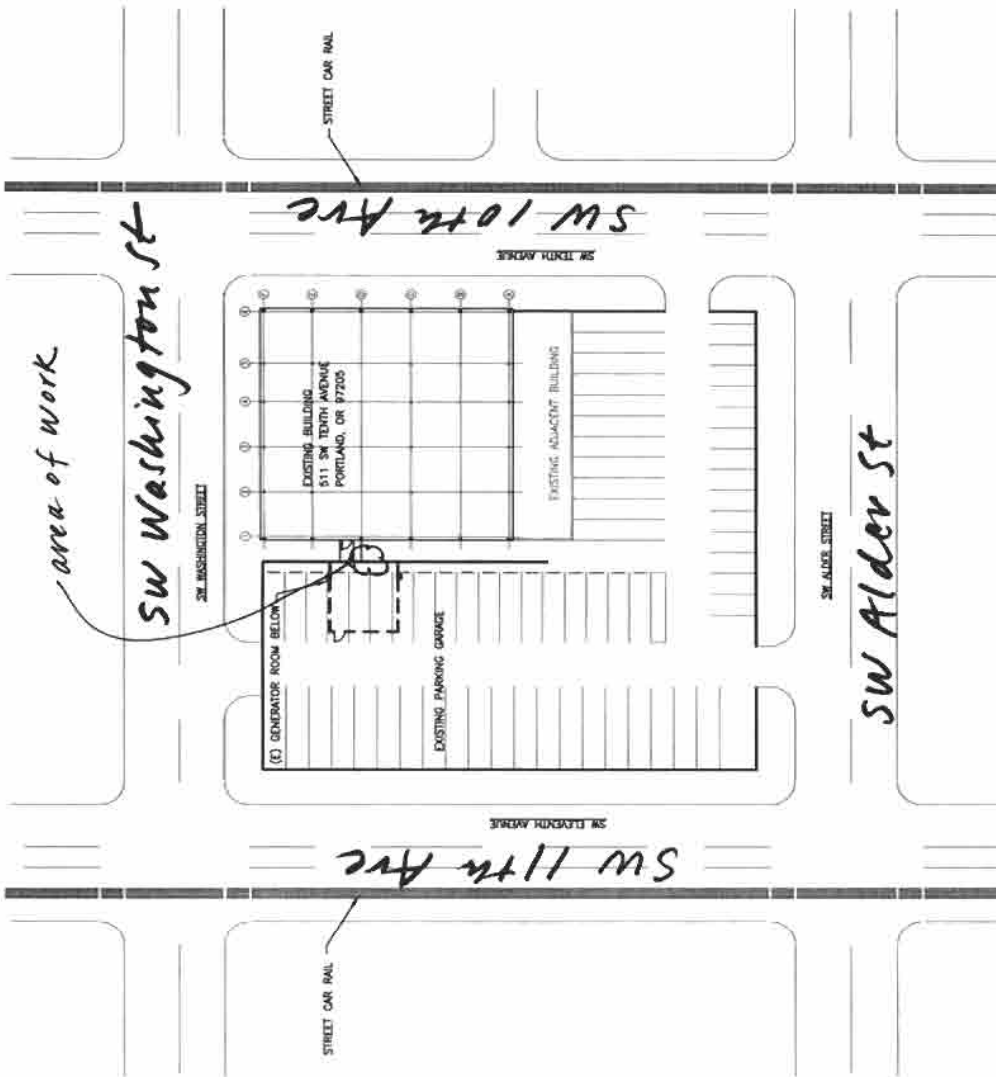
BRADFORD CONSULTING ENGINEERS, INC.
 1000 SW 10TH AVENUE, SUITE 212
 PORTLAND, OREGON 97205
 PH: 503.241.8007
 WWW.BRADFORDENGINEERS.COM

CHECKED BY BEM	REVISION # A	DATE 9/26/08
APPROVED BY MER	PROJECT # BSC08-171	DRAWING SCALE AS NOTED
	DATE 9/26/08	DRAWING NUMBER G001

LW 08-157982 DEM
 Exhibit C-1



Approved
 City of Portland - Bureau of Development Services
 Planner
 * This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.
 Date: 10-22-08



LW 08-157982 DEM

GENERAL NOTES

A. CONTRACTOR TO VERIFY ALL EXISTING AND CONCEALED WORK SUBJECT TO THIS CONTRACT AND TO CORRECT AND REPAIR ALL DEFECTS AND DAMAGE TO EXISTING WORK AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND, OREGON.

B. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF BUILDING CODES AND ALL APPLICABLE ORDINANCES AND RULES AND REGULATIONS.

C. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE AND LOCAL PERMITS FOR THIS PROJECT AND TO OBTAIN ALL NECESSARY APPROVALS FROM THE CITY OF PORTLAND, OREGON.

D. CONTRACTOR TO VERIFY AND MARK ALL EXISTING LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK.

E. CONTRACTOR TO VERIFY AND CORRECT ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING AND CONCEALED WORK PRIOR TO COMMENCEMENT OF WORK.

F. CONTRACTOR TO VERIFY AND CORRECT ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING AND CONCEALED WORK PRIOR TO COMMENCEMENT OF WORK.

KEYED NOTES



BRADFORD
Engineering & Architecture, Inc.

DATE	BY

INFINITY INTERNET
1125 NE 10TH AVE SUITE 200
PORTLAND, OREGON 97232

BRADFORD
Engineering & Architecture, Inc.
1125 NE 10TH AVE SUITE 200
PORTLAND, OREGON 97232

PLANNED COMPLIANCE
THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS SUBJECT TO THE CITY OF PORTLAND, OREGON PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND, OREGON.

DATE: 08/15/08
SCALE: AS SHOWN

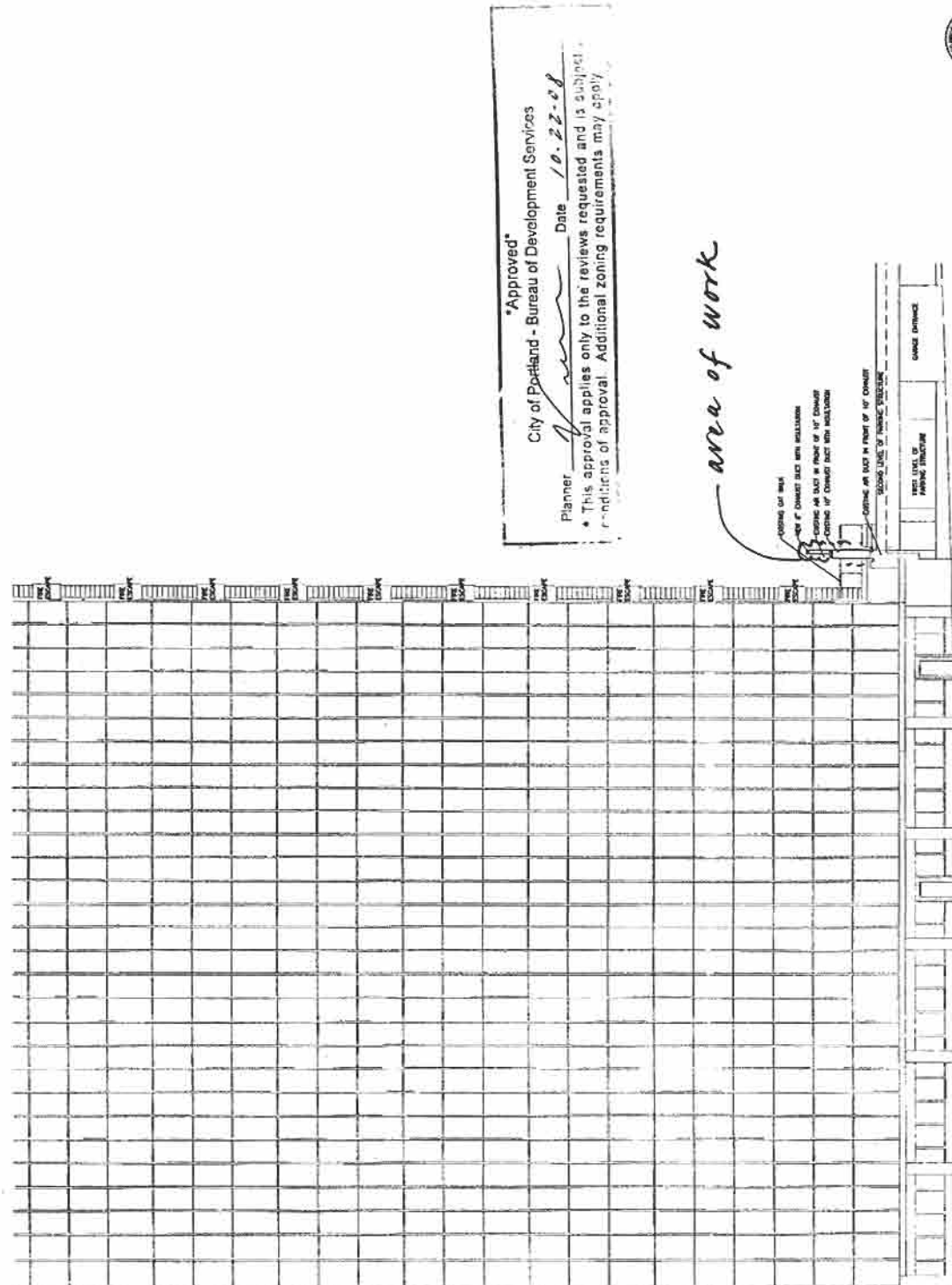
**INFINITY INTERNET
PORTLAND, OREGON
MECHANICAL
NORTH
ELEVATION
PLAN**

DATE: 08/15/08
SCALE: AS SHOWN

PROJECT NO.: 08-157982-DEM

DATE: 08/15/08
SCALE: AS SHOWN

M201



Approved
City of Portland - Bureau of Development Services
Planner: *[Signature]* Date: 10.22.08
* This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.

area of work

CONDENSATE PANS
- CONDENSATE PANS SHALL BE INSTALLED
- CONDENSATE PANS SHALL DRAIN TO THE OUTSIDE
- CONDENSATE PANS SHALL NOT BE INSTALLED

*08-157982 DEM
Exhibit C. 3*

MECHANICAL NORTH ELEVATION PLAN
SCALE: 1/8" = 1'-0"

*North Elevation
(facing SW Washington St)*

LU 08-157982 DEM

GENERAL NOTES

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D. CONTRACTOR TO VERIFY AND MARK ALL EXISTING LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK.

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F. CONTRACTOR TO VERIFY AND CORRECT ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING AND CONCEALED WORK PRIOR TO COMMENCEMENT OF WORK.

KEYED NOTES

INFINITY INTERNET

BRADFORD
Engineering & Architecture, Inc.

DATE	BY

INFINITY INTERNET
1125 NE 10TH AVE SUITE 200
PORTLAND, OREGON 97232

BRADFORD
Engineering & Architecture, Inc.
1125 NE 10TH AVE SUITE 200
PORTLAND, OREGON 97232

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DATE: 08/15/08
SCALE: AS SHOWN

**INFINITY INTERNET
PORTLAND, OREGON
MECHANICAL
NORTH
ELEVATION
PLAN**

DATE: 08/15/08
SCALE: AS SHOWN

PROJECT NO.: 08-157982-DEM

DATE: 08/15/08
SCALE: AS SHOWN

M201

Approved
City of Portland - Bureau of Development Services
Planner: *[Signature]* Date: 10.22.08
* This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.

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*08-157982 DEM
Exhibit C. 3*

MECHANICAL NORTH ELEVATION PLAN
SCALE: 1/8" = 1'-0"

*North Elevation
(facing SW Washington St)*

LU 08-157982 DEM