



City of Portland, Oregon
Bureau of Development Services
Land Use Services

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Date: January 30, 2009
To: Interested Person
From: Abigail Fowle, Land Use Services
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NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 08-181553 DZM
EXTERIOR ALTERATIONS TO THE DOWNTOWN CHAPEL

GENERAL INFORMATION

Applicant: Saint Vincent DePaul Catholic Church
Attn: Father Bob Loughery, C.S.C.
601 W Burnside Street/ Portland, OR 97209

Representative: Richard Brown Architect AIA (503) 223-4957
Attn: Geoffrey Harker
239 NW 13th Avenue, Room 305/ Portland, OR 97209

Site Address: 1-7 NW 6TH AVE

Legal Description: EXC SLY 20' IN BURNSIDE ST LOT 1 BLOCK 44 S 20' OF LOT 4
BLOCK 44, COUCHS ADD

Tax Account No.: R180203620

State ID No.: 1N1E34CA 12200

Quarter Section: 3029

Neighborhood: Old Town-China Town, contact Carol McCreary at 503-984-4081.

Business District: Old Town Chinatown Business Association, contact Dorian Yee at 503-224-7066.

District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

Plan District: Central City - River District

Zoning: CXd, Central Employment w/ Design Overlay

Case Type: DZM, Design Review w/ Modifications

Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant seeks Design Review approval for exterior alterations to the Downtown Chapel. The proposal includes the following elements:

- A new steel trellis mounted at the building's southeast corner and projecting 4 feet from the face of the building.
- A new steel c-channel will be added to the building wall and extend from the ends of the trellis out to the edges of the street facing building walls. The c-channels will be mounted at the same height as the trellis and will match dimensionally.
- New light fixtures will be mounted to the trellis and c-channel. Three different fixtures are proposed:
 - 1) Uplights to illuminate the cross and building corner.
 - 2) Downlights to wash the building walls and entrance under the trellis.
 - 3) Downlights to illuminate portions of the south and east façades.
- A new "folding" stainless steel panel element at the building's main entrance. The panel will be mounted to the wall area at this recessed entry, wrap the soffit, cover the stucco band above the entrance and wrap around the southeast corner. New recessed lighting will replace existing lighting within the soffit at this entrance.
- New sign elements, which together measure 139 square feet in sign area.
 - 1) A 60 square-foot stainless steel cross will be mounted to the south building elevation, at the building's second floor.
 - 2) Bronze lettering will be mounted to the stainless steel panel above entrance on the south façade, measuring 45 square feet, and at the portion of the panel on the east facade, measuring 8 square feet in sign area. Because the smaller sign is less than 32 square feet, it does not require Design Review.
 - 3) A 7 square-foot notice case and a 19 square-foot scripture panel will also be added to the south elevation, to the west of the main entrance. However, since these signs are less than 32 square feet, they are not subject to Design Review.
- New energy-efficient metal clad windows will replace all the existing metal windows and match the existing casement style and configuration.
- An application for etched bronze art panels at the building's east elevation is currently under review by the Regional Arts and Culture Council, and therefore, these elements are not subject to Design Review.

MODIFICATION REQUEST (PZC 33.825.040):

- 1) 32.32.030.C.1.b, Maximum sign face area in the right-of-way, requires that no more than 30 square feet of a projecting sign face extend into a right-of-way. The applicant is requesting approval for a 60 square-foot projecting cross, attached to the south building wall near the building's southeast corner.

Exterior alterations to a building within a Design Overlay Zone require Design Review.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- | | |
|---|---|
| ▪ 33.825 Design Review | ▪ <i>River District Design Guidelines</i> |
| ▪ <i>Central City Fundamental Design Guidelines</i> | ▪ 33.825.040 Modifications That Will Better Meet Design Review Requirements |

ANALYSIS

Site: The 5,000 square foot site is located at the intersection of W. Burnside Street and NW 6th Avenue. The existing 3-story, 14,306 square foot building was built in 1910 and occupies the entire site. The building consists of concrete masonry facades with metal windows at the 2nd

and third levels. The main building entrance opens onto W. Burnside Street. The building houses a Catholic church which has continuously served the downtown Portland area since 1919, offering prayer, ministry and social services.

W. Burnside is a designated Major City Traffic Street and a Major Transit Priority Street. NW 6th Ave is designated a Regional Transitway and Major Priority Transit Street and the location for the future downtown north-south Light Rail line. The site is within the North of Burnside Pedestrian District.

Zoning: The Central Commercial (CX) base zone, is Portland’s most densely built, urban zone which allows for a variety of uses that reinforce the city’s role as a commercial, cultural, and governmental center. This type of development is intended to have large buildings that are placed close together and typically cover most of their respective lot areas. This development is also intended to be pedestrian-oriented, with a strong emphasis on a safe and attractive streetscape.

The Design (d) overlay zone designation also ensures that exterior alterations to existing development conserve and enhance the identified historic, scenic, architectural, and cultural values of each design district: in this case, the Central City Plan District and the River District.

Land Use History: City records indicate that prior land use reviews include the following:

- LUR 00-00693 DZM – Design Review approval for new canopies, signage, and lighting and for a Modification to increase the allowable sign area from 150 square feet to 189 square feet to allow a third permanently attached banner sign. These alterations to the building were never built.
- DZ 81-88 – Design Review approval for a new awning.
- DZ 94-85 – Design Review approval for a rooftop exhaust vent.
- DZ 40-85 – Design Review approval for conversion from steam heat to a boiler.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **December 22, 2008**. The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services
- Bureau of Transportation Engineering, *see Exhibit E.1 for additional details.*
- Water Bureau, *see Exhibit E.2 for additional details.*
- Fire Bureau
- Site Development Section of BDS
- Bureau of Parks-Forestry Division
- Life Safety Section of BDS, *see Exhibit E.3 for additional details.*

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on December 22, 2008. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

I. CHAPTER 33.825 DESIGN REVIEW

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental Design Guidelines and River District Guidelines.

River District Design Guidelines and Central City Fundamental Design Guidelines

The River District is planned to become a place that is remarkable within the region. The area is intended to grow rich with special and diverse qualities that are, or will become characteristic of Portland. Further, the River District will accommodate a significant portion of the region's population growth. The plan calls for the creation of a new community of dense neighborhoods, housing a resident population of over 15,000 people, and providing jobs, services, and recreation to this population and others. This area is intended to emphasize the joy of the river, connections to it, and create a sense of community. The goals frame the urban design direction for Central City and River District development.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

River District Design Goals

1. Extend the river into the community to develop a functional and symbolic relationship with the Willamette River.
2. Create a community of distinct neighborhoods that accommodates a significant part of the region's residential growth.
3. Enhance the District's character and livability by fostering attractive design and activities that give comfort, convenience, safety and pleasure to all its residents and visitors.
4. Strengthen connections within River District, and to adjacent areas.

Central City Plan Design Goals

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

A5-1. Reinforce Special Areas. Enhance the qualities that make each area distinctive within the River District, using the following "Special Area Design Guidelines" (A5-1-1 – A5-1-5).

A5-1-4. Reinforce the Identity of the Union Station Area.

Findings for A4, A5, A5-1 and A5-1-4: The existing building is located at prominent intersection at the corner of W Burnside Street and NW 6th Ave along the future downtown north-south Light Rail line. The proposed exterior alterations, which include changes to the main entrance and building corner, new signage, and new exterior lighting, improve the existing building and give it a stronger presence in the area and along the Light Rail line. The existing structure has a fortress-like character due to the absence of windows at the lower levels and the building's stark concrete walls. Thus, the building, as it exists today, is uninviting and does not contribute successfully to the streetscape. The new trellis wrapping the southeast corner, new "folding" stainless steel panel element at the main entrance, new exterior lighting and signage, and future public artwork (to be approved through the Regional Arts & Cultural Council (RACC)) together greatly strengthen the building's presence at the street level. Thus, these changes will invite more pedestrian activity into the area, as well as help the building relate better to the already established pedestrian and public transit character. Additionally, NW 6th Avenue is an important pedestrian and future Light Rail corridor that links the downtown area to Union Station. Because the proposed alterations improve the surrounding streetscape, the building will further strengthen the connection to Union Station and pedestrian experience along NW 6th Avenue from W. Burnside Street and downtown. *Therefore, these guidelines are met.*

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings: The proposed project continues a history of reuse and renovation of this building dating from 1910. The attachment details of the proposed elements have been derived to reduce impact on the existing building. *Therefore, this guideline is met.*

A7. Establish and Maintain a Sense of Urban Enclosure. Define public rights-of-way by creating and maintaining a sense of urban enclosure.

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

Findings for A7 and A8: The alterations proposed to the Downtown Chapel both help further establish a sense of urban enclosure as well as contribute to a vibrant streetscape. While the existing three-story building walls successfully establishes a sense of urban enclosure along W. Burnside Street and NW 6th Avenue, the proposed trellis wrapping the building's southeast corner further creates enclosure for the pedestrian environment.

The existing corner entrance is the primary entry into the building. This entrance will remain and be better defined by a new trellis element, new lighting and new signage. As a result of these alterations, the entrance's presence on the street and corner, as well as the physical connection between the public right-of-way and the building interior, will be strengthened. Even though the existing building does not incorporate windows at the ground floor window, the new exterior lighting will illuminate both the abutting sidewalk area and future public artwork on the east façade, helping to activate the pedestrian

environment and create a safer nighttime experience. *Therefore, these guidelines are met.*

A9. Strengthen Gateways. Develop and/or strengthen gateway locations.

A9-1. Provide a Distinct Sense of Entry and Exit. When developing at gateway locations, provide a distinct sense of entry and exit that relates to the special qualities of an area. This guideline may be accomplished by:

- 1) Orienting building massing and form towards the intersection of a major district entrance.
- 2) Creating structures or art or using special historic structures to frame a key district or special area entry.

Findings for A9 and A9-1: While this building site is not a designated gateway for the Union Station Area or River District, it is located at an important point along W Burnside Street where future light rail and vehicles enter into the District and can connect to Union Station. By articulating the southeast corner of the building with a new trellis and enhanced corner entrance, as well as new lighting and signage, the building has a stronger presence at this important corner and thus works to better highlight an entry point into the River District and to Union Station. *Therefore, these guidelines are met.*

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

B1-1. Provide Human Scale to Buildings along Walkways. Provide human scale and interest to buildings along sidewalks and walkways. This guideline may be accomplished by:

- 1) Providing street furniture outside of ground floor retail, such as tables and chairs, signage and lighting, as well as large windows and balconies to encourage social interaction.
- 2) Providing stoops, windows, and balconies within the ground floors of residential buildings.

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

B6. Develop Weather Protection. Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

Findings for B1, B1-1, B2 and B6: Both existing conditions and the new elements proposed for the Downtown Chapel maintain and enhance the pedestrian experience. All existing entrances and exits at the ground floor of the building will remain and currently provide direct access to the surrounding public right-of-way. The proposed building alterations, such as the steel trellis at the southeast corner, the main entrance's stainless steel "folding" panel and signage, the projecting steel cross, and the new lighting, provide a human scale to the building and create a more articulated and visually interesting edge to the public right-of-way. Additionally, the exterior lighting of the proposed project will enhance pedestrian safety at night by helping to illuminate the sidewalk areas and the recessed main entrance. Furthermore, the new trellis offers an area of transition between the exterior and interior of the building and will help draw the passerby to the weather protection provided by the existing recessed entry. *Therefore, these guidelines are met.*

B7. Integrate Barrier-Free Design. Integrate access systems for all people with the building's overall design concept.

Findings: The existing conditions of the site already comply with principles of barrier-free design. *Therefore, this guideline is met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

C8. Differentiate the Sidewalk-Level of Buildings. Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

Findings for C2, C3, C4, C5 and C8: The architectural changes to the Downtown Chapel incorporate permanent and durable materials through the use of stainless steel panels, a steel trellis and c-channel elements, metal sign components, and quality light fixtures. The painted and stainless steel materials draw from and contribute to the industrial past and rehabilitated present of the area with their expression of structure and durable finishes.

The proposed alterations are respectful of the existing building's architecture, enhancing its existing features and creating a coherent overall building design. The folded plane of stainless steel at the main entrance adheres to the dimensions of the recessed entry as it extends across the entrance wall, wraps the soffit, and turns the building corner. This panel wraps the southeast corner at the level of an existing stucco band, both highlighting and corresponding to this horizontal feature that separates the channeled concrete base from the upper building levels.

The new steel c-channels affixed to the building walls just above the band of stucco, extend in both directions from the new trellis, relating strongly to the existing horizontal pattern at this level and helping to distinguish the sidewalk level of the building from the upper floors while providing an armature for some of the new lighting. The new trellis is also positioned above the stucco band at the same level as the c-channels. Both the trellis and c-channels are the same dimension in elevation, establishing a consistency of elements on the building facades. Furthermore, the trellis works to better define the building corner and main entrance and contributes to the distinction between the ground floor and upper levels. The members of the trellis that tie back to the building walls are positioned with respect to architectural features of the façades, allowing the new light fixtures to systematically illuminate the recesses in the existing wall above and wash the walls below.

The new signage has been carefully designed, located and sized to respect and correspond to the architecture. The new wall signage above the main entrance consists of raised metal lettering and is sized to fit within the fold of the stainless element. The cross is attached to the trellis and makes a minimal connection to the existing building. Both the wall sign and cross help to strengthen and highlight the main entrance and building corner.

In general, the proposed alterations to the Downtown Chapel enhance the design coherency of the existing building by adding visually interesting, well detailed, human-

scale elements to a presently stark and uninviting building. *Therefore, these guidelines are met.*

C7. Design Corners that Build Active Intersections. Use design elements including, but not limited to, varying building heights, changes in façade plane, large windows, awnings, canopies, marquees, signs and pedestrian entrances to highlight building corners. Locate flexible sidewalk-level retail opportunities at building corners. Locate stairs, elevators, and other upper floor building access points toward the middle of the block.

Findings: The proposed alterations to the Downtown Chapel enhance the corner with elements addressing both West Burnside Street and NW 6th Avenue. The trellis wraps the building's southeast corner, both strengthening the buildings presence at this important corner and helping to better define the Chapel's main entrance. The stainless steel "folding" panel system brings an attractive and quality material to the sidewalk level of the building as it turns both horizontal and vertical corners and helps to invite pedestrians into the building. The wall sign and projecting cross contribute to an active corner by helping to highlight the main entrance and draw pedestrians into the building. Additionally, the uplighting of the cross and upper levels of the building, as well as lighting of the main entrance and ground floor building walls at this corner, will create a safer nighttime environment and attract pedestrian activity in the evening, further enlivening the area. *Therefore, these guidelines are met.*

C10. Integrate Encroachments. Size and place encroachments in the public right-of-way to visually and physically enhance the pedestrian environment. Locate permitted skybridges toward the middle of the block, and where they will be physically unobtrusive. Design skybridges to be visually level and transparent.

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

C13. Integrate Signs. Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings for C10, C12 and C13: The proposed project includes a trellis, signage, and lighting that project into the public right-of-way and work together to enhance the building and the pedestrian environment. The existing statue, presently located toward the southeast corner on W Burnside Street, will be removed and relocated to the interior of the building. The new trellis functions in two ways: to better define the building corner and entrance and to provide an armature for lighting that will enhance the nighttime pedestrian environment. The light fixtures on the trellis include uplights that will highlight the recessed wall panels on the upper building levels, as well as the cross, and downlights that will illuminate the main entrance, wall signage and ground floor walls. Additional projecting downlights will be attached to the new c-channels, illuminating the future public artwork, lower building walls, and the abutting sidewalk. The projecting cross consists of steel tube members and is overall 60 square feet in area, but the actual cross shape itself is only 16 square feet. The paired steel tube design of the cross brings a level of articulation and visual interest to the building and lessens the sign's bulk. The longest projection of this sign (4'-8") occurs at the horizontal steel tube members at the upper portion of the cross, which occurs at the second floor level and well above the sidewalk area. The cross works with the trellis and lighting to strengthen the building's presence at the corner, better defining the main entrance and thus improving the pedestrian environment. Thus, the encroachment of the trellis, projecting cross and lighting enhance and articulate the building's architecture as well as improves the surrounding right-of-way.

The additional signage of the proposed project includes a new 45 square foot wall sign above the main entrance, intended to identify the Chapel while providing a human scale

to the pedestrian environment. The new wall sign consists of raised metal lettering, which will be attached to the south facing “fold” of the stainless steel panel. The lettering has been carefully sized to fit appropriately within the stainless panel dimensions between the trellis and entrance doors. Because the lettering is raised, it provides some depth, articulation and human scale to the building wall. Additionally, the location of the sign at the ground floor within a dense urban area, prevents any negative impact on the city’s skyline. Both the new wall sign and cross will effectively identify the Downtown Chapel without adversely impacting the pedestrian environment. *Therefore, these guidelines are met.*

II. SECTION 33.825.040, MODIFICATIONS THAT WILL BETTER MEET DESIGN REVIEW REQUIREMENTS

The review body may consider modification of site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the design review process. These modifications are done as part of design review and are not required to go through the adjustment process. Adjustments to use-related development standards (such as floor area ratios, intensity of use, size of the use, number of units, or concentration of uses) are required to go through the adjustment process. Modifications that are denied through design review may be requested as an adjustment through the adjustment process. The review body will approve requested modifications if it finds that the applicant has shown that the following approval criteria are met:

- A. Better meets design guidelines.** The resulting development will better meet the applicable design guidelines; and
- B. Purpose of the standard.** On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.

The following modifications are requested:

1. **32.32.030.C.1.b, Maximum Sign Face Area in the Right-of-Way**, requires a maximum sign face area in the right-of-way of no more than 30 sq. ft. for projecting signs. The applicant is requesting approval for a 60 square-foot projecting cross, attached at the south building façade near the building’s southeast corner.

***Purpose:** The regulations contained in Chapters 32.30 through 32.38 are land use regulations which work in combination with Title 33, Planning and Zoning, to implement Portland’s Comprehensive Plan. The standards contained in Chapters 32.32 through 32.34 encourage signs to be compatible with the distinct character of specific areas of the city by regulating the size, placement, and features of signs by base zone, overlay zone, and plan district. Chapter 32.34 includes standards that encourage signs that further the objectives of certain land use categories.*

Findings: The intent of this standard is to encourage signs that are compatible with the design character of distinct areas of the city. While the 60 square-foot projecting cross that proposed exceeds the standard, it strengthens the presence of a currently stark building at an important corner of the city where pedestrians, future light rail and vehicles enter the River District and connect to Union Station. The new projecting sign is vertically oriented and overall measures 12’-7” tall by 2’-10” to 4’-8” in width and consists of steel tubes. The base of the cross will be attached to the new trellis and the horizontal members of the cross will attach to the building. The sign will be illuminated by two uplights attached to the trellis, which will adequately provide sign identification and visual interest without adversely effecting the surrounding area or the skyline.

While the overall sign area of 60 square feet exceeds what is allowed, the actual cross shape itself is only 16 square feet. Additionally, the paired steel tube design brings a

level of articulation and visual interest to the building and lessens the sign's bulk. The longest projection of this sign (4'-8") occurs at the horizontal steel tube members at the upper portion of the cross, which occurs at the second floor level and well above the sidewalk area. The cross works with the trellis and lighting to strengthen the building's presence at the corner, better defining the main entrance and thus improving the pedestrian environment. In addition, the proportions of the overall sign and where it attaches to the building corresponds successfully with the architectural patterning and features on the building and is also well sized for the scale of the building. Thus, the projecting cross will enhance and articulate the building's architecture and improve an important street corner without negatively impacting the pedestrian environment. Thus, the sign better meets Central City Fundamental Design Guidelines B2 - Protect the Pedestrian, C10 - Integrate Encroachments, and C13 - Integrate Signs. The proposed 60 square foot sign is compatible with the purpose of the standard being modified and better meets the applicable design guidelines. *The approval criteria are therefore met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The new signage, lighting, trellis and entryway alterations all contribute to reactivating the façades of the Downtown Chapel Building. The modification to increase the sign area brings prominence to the building corner and entrance and adds visual interest to the building from the street level. The proposal meets the applicable design guidelines and approval criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

- Approval of Design Review for a new steel trellis and steel c-channel element, a stainless steel panel element at the main entrance, new exterior lighting, a new 60 square foot projecting corner sign, a 45 square foot wall sign, and new metal windows to replace existing.
- Approval of a Modification to Maximum Sign Face Area in the Right-of-Way (32.32.030.C.1.b) to allow a 60 square foot projecting sign on the south façade.
- Approval per the approved plans, Exhibits C.1 through C.11, signed and dated January 28, 2009, subject to the following conditions:
 - A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.11. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 08-181553 DZM. No field changes allowed."

Decision rendered by:  on January 28, 2009.

By authority of the Director of the Bureau of Development Services

Decision mailed: January 30, 2009

Staff Planner: Abigail Fowle

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on December 4, 2008, and was determined to be complete on **December 17, 2008**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on December 4, 2008.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on February 13, 2009** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **February 17, 2009 – (the next business day following the last day to appeal).**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

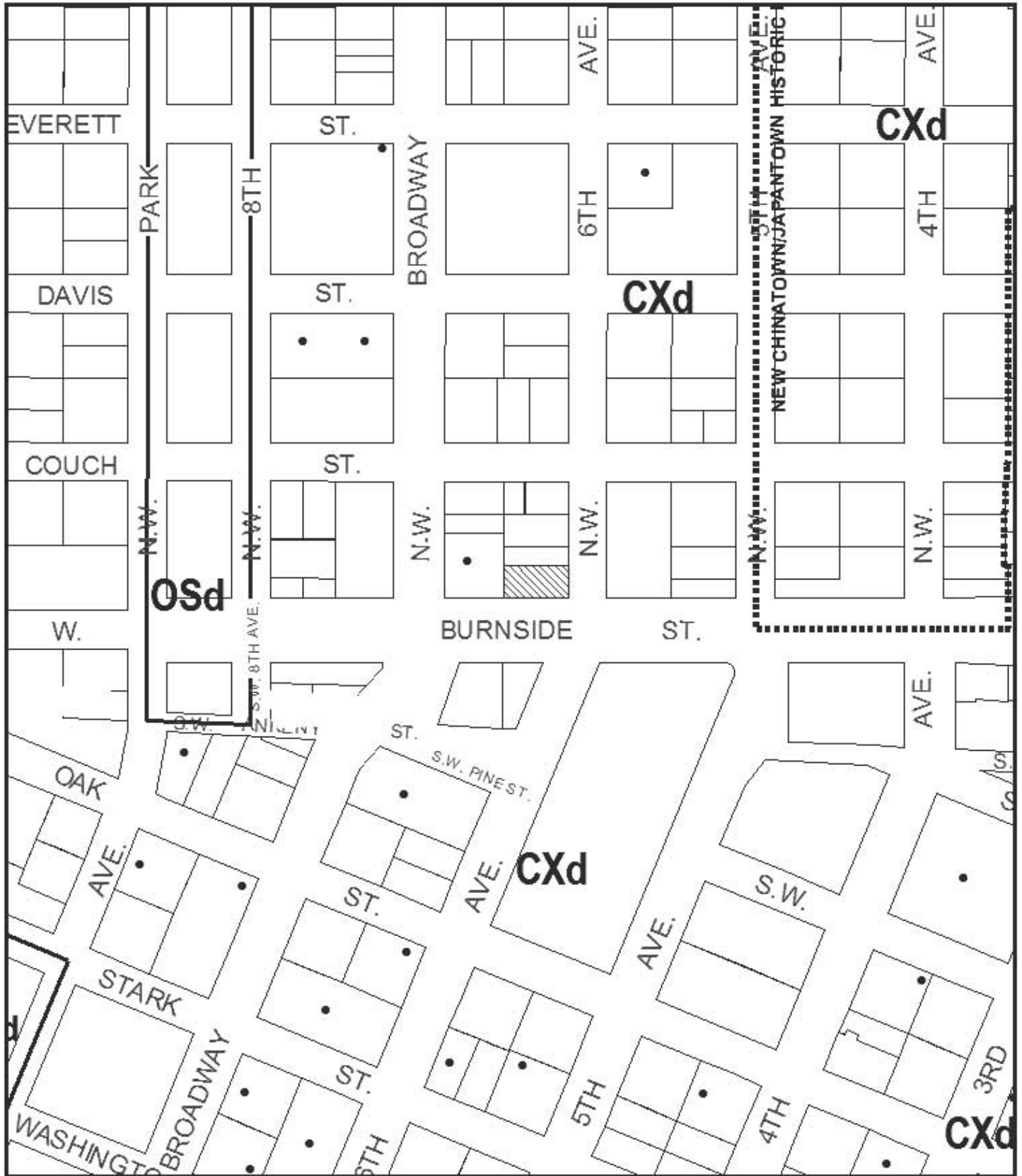
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Photos
 - 2. Renderings
 - 3. Site & Utility Plan (attached)
 - 4. Trellis & Lighting Plan (attached)
 - 5. Existing Elevations
 - 6. Elevations & Trellis Details (attached)
 - 7. Enlarged Elevations
 - 8. Sign Details
 - 9. Lighting & Trellis Details
 - 10. Window Details
 - 11. Lighting Cutsheets
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Transportation Engineering and Development Review
 - 2. Water Bureau
 - 3. Life Safety Section of BDS
- F. Correspondence: None
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).



ZONING



Site



Historic Landmark



This site lies within the:
CENTRAL CITY PLAN DISTRICT

File No. LU 08-181553 DZM

1/4 Section 3029

Scale 1 inch = 200 feet

State_Id 1N1E34CA 12200

Exhibit B (Dec 05,2008)

Handwritten notes:
 7/11/09
 8/20/09
 10/15/09
 11/10/09

RB/A

Richard Brown Architect, AIA
 2500 13th Avenue, Room 303
 Portland, OR 97209
 Tel: 503.743.7733
 Fax: 503.743.7734
 www.rba.com

Downtown Chapel

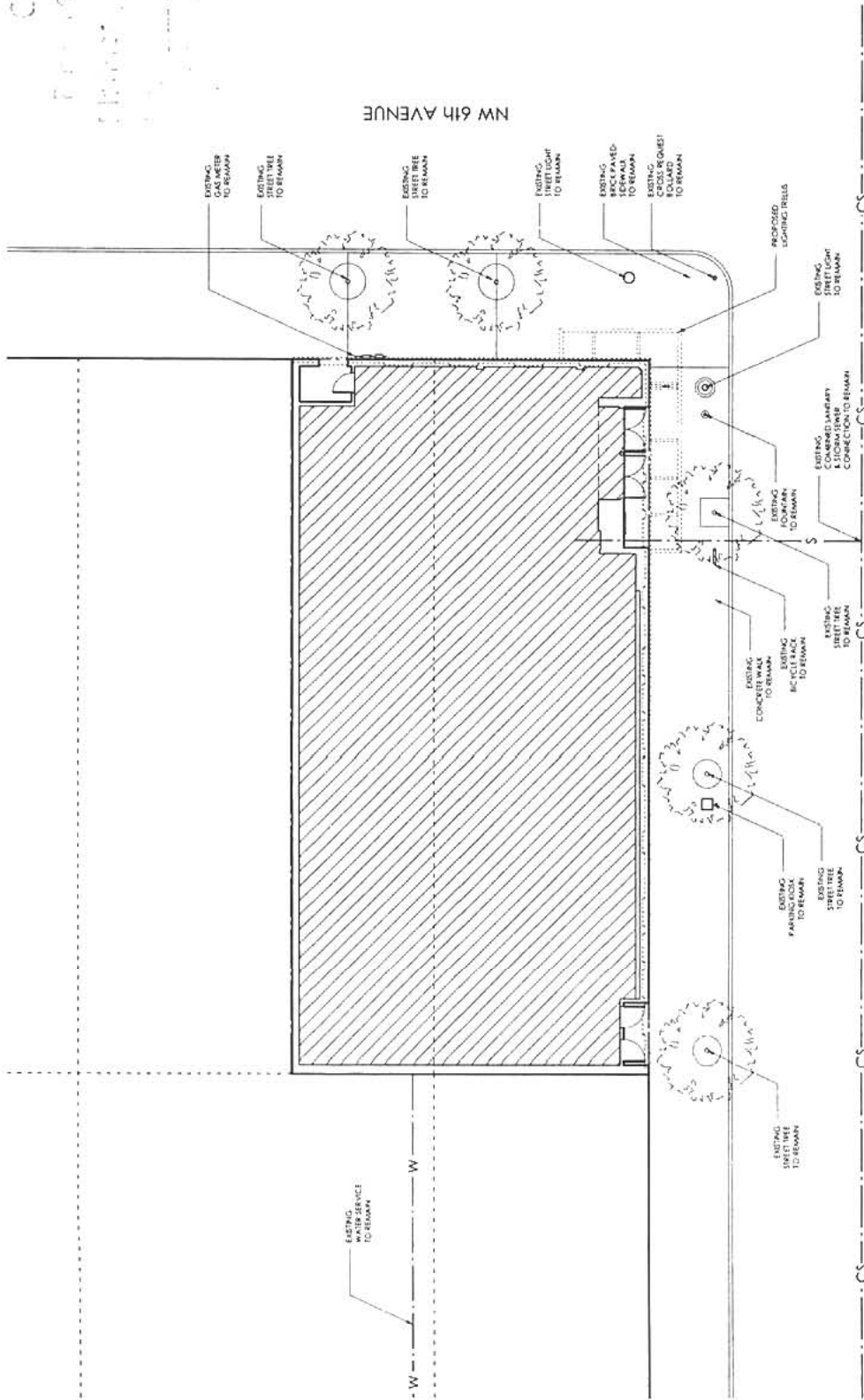
Roman Catholic Parish
 301 West Burnside Street
 Portland, Oregon 97209

Exterior Renovation

SUBMITTED FOR: DATE:
 Design Review Design Review 18
 Design Review Rev. 2009 January 15

SITE & UTILITIES PLAN

A1.0



BURNSIDE STREET

Approved
 City of Portland - Bureau of Development Services

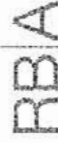
Planner: *Agne T. R.* Date: 1/28/09

* This approval applies only to the reviews requested and is subject to the conditions of approval. Additional zoning requirements may apply.

Handwritten: LU 08-181553 DZM
 Eyh. C.3

LIGHTING SCHEDULE

- A 8 WALL WASHER = HEIGHT HL 410 W/ 36 STEM
- A-1 9 WALL WASHER = HEIGHT HL 410
- B 2 CROSS LIGHTING = INSIGHT MASQUE II
- C 3 DOWN LIGHTING = REVELATION OMS/HDPT/152
- D 4 BUILDING LIGHTING = INSIGHT MASQUE I



Richard Brown Architect AIA
 274 NW 13th Avenue Room 303
 Portland, OR 97209
 PH: 503.241.4333
 FAX: 503.241.4333
 Project #0018

Downtown Chapel

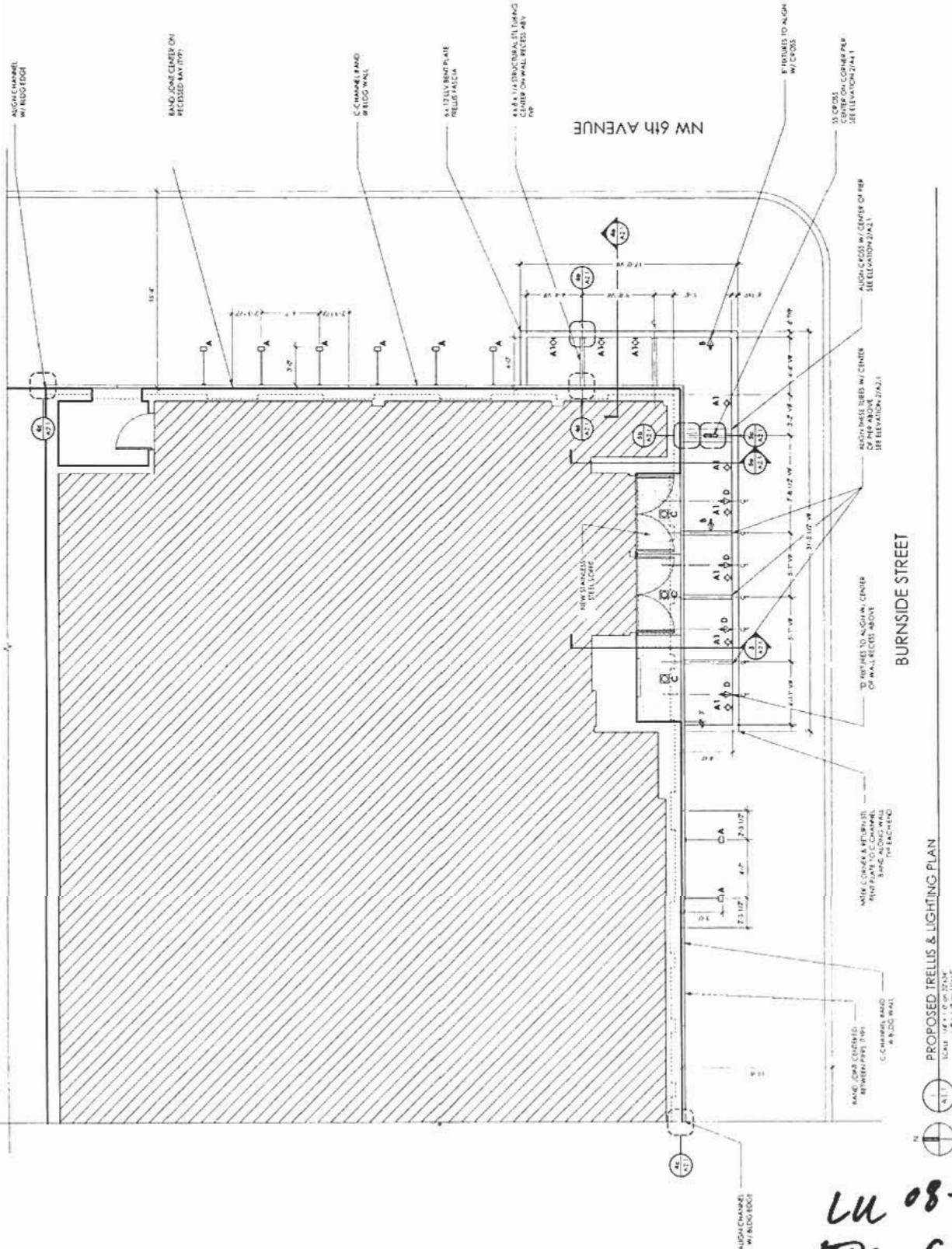
Former Catholic Parish
 401 West Burnside Street
 Portland, Oregon 97209

Exterior Renovation

SUBMITTED FOR: DATE
 Design Review: 2008 December 18
 Design Review: Rev. 2009 January 15

PROPOSED TRELIS & LIGHTING PLAN

A1.1



PROPOSED TRELIS & LIGHTING PLAN

BURNSIDE STREET

NW 6th AVENUE



Approved
 City of Portland - Bureau of Development Services
 Planner: *Angel T.R.* Date: *1/28/09*
 *This plan is for review only to the reviewer and is not to be used for construction purposes.

LU 08-181553 D2M
Edm. C.4

SCALE ALLOWANCES

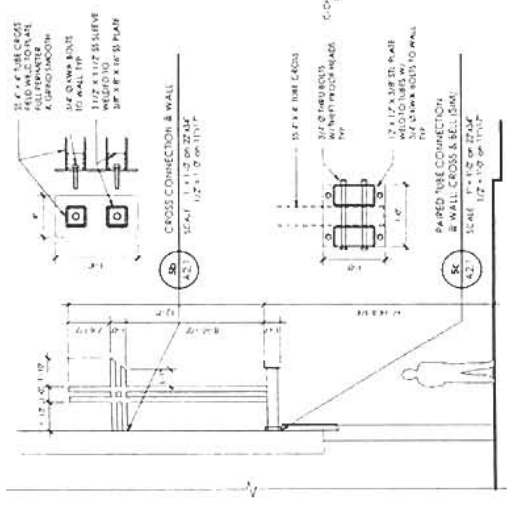
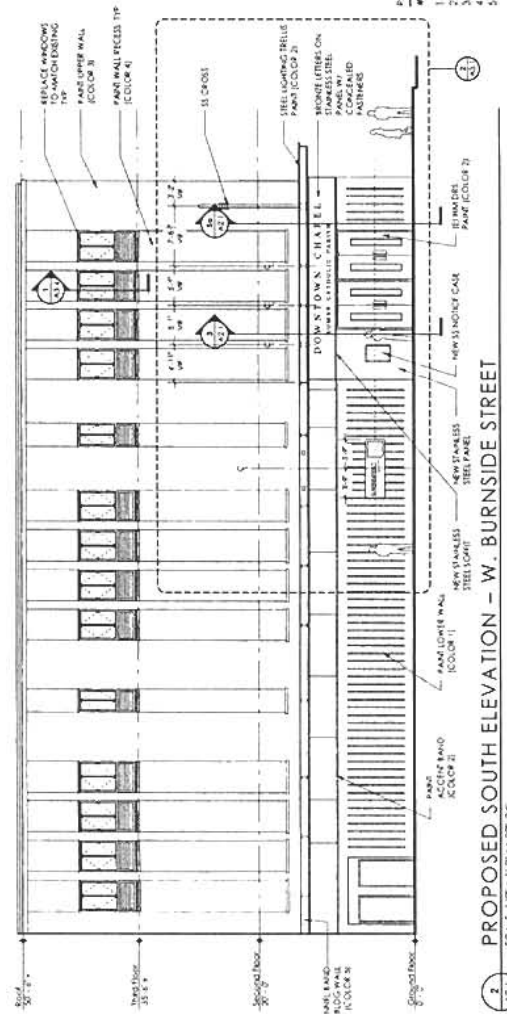
SEE SIGNAGE SCHEDULE - PRIMARY BUILDING WALL
 SIGNAGE AREA = 100 SQ FT ± 1.5' x 100'

1	19" H
2	40" H
3	80" H
4	120" H
5	180" H

* RECIPIED ADJUSTMENT REQUESTED

COLOR

- 1 BENJAMIN MOORE 2144-10 GUACAMOLE
- 2 BENJAMIN MOORE 2080-10 RASPBERRY TRUFFLE
- 3 BENJAMIN MOORE 2155-30 AUTUMN GOLD
- 4 BENJAMIN MOORE 2155-40 GOLDEN TAN
- 5 BENJAMIN MOORE 2155-20 CORDUROY



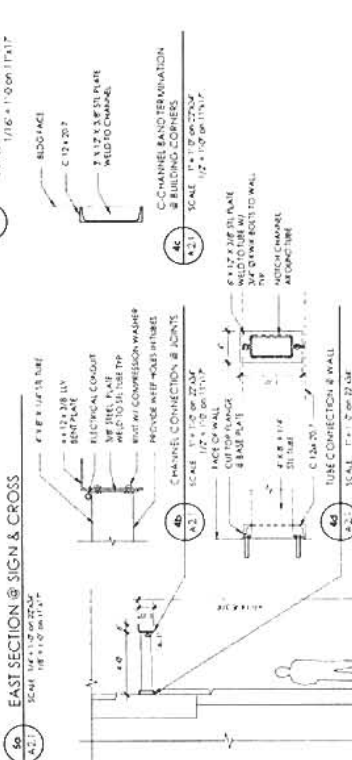
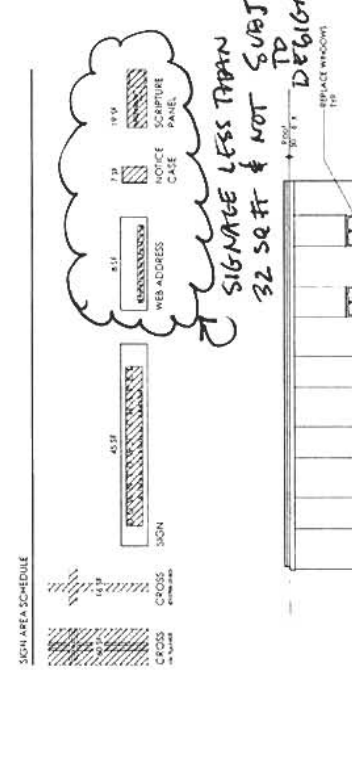
RBIA
 Richard Brown Architects AIA
 320 NW 15th Avenue, Suite 301
 Portland, Oregon 97209
 TEL: 503.224.1700
 FAX: 503.224.1700
 www.rbia.com

Downtown Chapel
 Roman Catholic Parish
 421 West Burnside Street
 Portland, Oregon 97209

Exterior Renovation

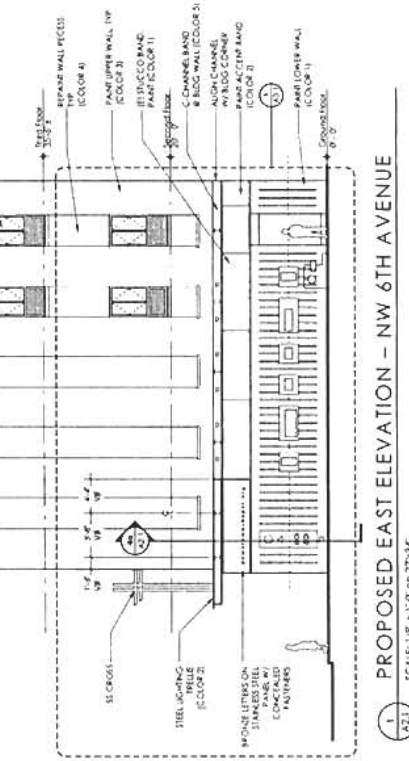
SIGNAGE LESS THAN 32 SQ FT & NOT SUBJECT TO DESIGN REVIEW

DATE: 2008 December 18
 Design Review Fee: 2007 January 15



PROPOSED ELEVATIONS & TRELIS DETAILS

A2.1



Approved*
 City of Portland - Bureau of Development Services
 Planner: *Angela T. F.* Date: *1/20/09*
 * This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.

LU 08-181553 DZM
 E.A. C.G.