



City of Portland, Oregon
Bureau of Development Services
Land Use Services

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Date: March 4, 2009
To: Interested Person
From: Staci Monroe, Land Use Services
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NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 08-156309 HDZM – HISTORIC DESIGN REVIEW AND MODIFICATIONS FOR TWO BUILDING ADDITIONS AND SITE IMPROVEMENTS

GENERAL INFORMATION

Applicant: Charles Lienert (owner)
St Andrew Catholic Church
806 NE Alberta
Portland OR 97211

Representative: Stephanie Meininger (architect), (503) 736-9979
Diloreto Architecture, LLC
200 NE 20th Suite 200
Portland OR 97232

Site Address: 806 NE ALBERTA STREET & 4925 NE 9th

Legal Description: LOT 1-4 BLOCK 2, LYONS ADD; LOT 16 BLOCK 2, LYONS ADD
Tax Account No.: R520000210; R520000360; R491801050
State ID No.: 1N1E23BC 200; 1N1E23BC 1200; 1N1E23BC 100
Quarter Section: 2531
Neighborhood: NECN, King, contact Maureen Mimiaga at 503-381-4805.
Business District: North-Northeast Business Assoc, contact Joice Taylor at 503-445-1321.
District Coalition: Northeast Coalition of Neighborhoods, contact Lauren McCartney at 503-823-4135.

Plan District: None
Other Designations: Historic Landmark – St. Andrews Parish Catholic Church
Zoning: CG & R2.5ah – General Commercial and Single Dwelling Residential zones with an Alternative Design Density and Aircraft Landing overlay zones

Case Type: HDZM – Historic Design Review with Modifications
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal:

The applicant seeks Historic Design Review and modifications to development standards for two building additions and associated site improvements to the St. Andrews Parish Catholic Church site, which is a designated Historic Landmark. The proposal includes the following:

- 3,000 SF, 2-story addition to the north side of the school building along NE 9th Avenue. The exterior is finished with horizontal 1”x4” cedar siding on the upper floor, concrete base and a wood window system.
- 5,000 SF, 2-story addition to the north side of the community center building along NE 8th Avenue, which includes a roof garden on the northern half. The exterior consists of horizontal and vertical 1”x4” cedar siding, concrete base and wood window system.
- Reconfiguration of both parking areas to include landscaping and permeable pavers.
- Addition of landscaping and permeable pavers throughout the site to provide stormwater control.
- Provide ADA ramps for access to the multiple buildings on site.

Expansion of the school and community center uses as well as vehicle and bike parking regulations will be reviewed under the concurrent Conditional Use review (LUR 08-156321 CU).

Modification requests [PZC 33.846.070]:

1. Not provide a pedestrian connection from the new entrance on the Community Center addition to NE Alberta Street (33.110.245.C.9 and 33.120.255);
2. Reduce the required building setback along NE 8th from 15’-0” to 10’-6” for a vertical trellis structure attached to the building awning (33.110.245.C.1, Table 110-5); and
3. Not provide shrubs per the L3 landscape standard for the required perimeter landscaping along the southern residential property line for the parking lot screening (33.248.020.C).

Since the value of the proposed project exceeds \$124,100 (threshold on date application deemed complete) non-conforming site upgrades are required per Section 33.258.070.D. The section requires 10% of the project value, in this case \$1,655,150, to be spent on the non-conforming site upgrades (\$165,515). Of the 9 required improvements to choose from only 4 have not been met and are applicable to this site. The proposed upgrades include interior and perimeter landscaping for the parking areas, bike parking and pedestrian connections throughout the site.

Proposals for exterior alterations to sites designated as Historic Landmarks require Historic Design Review.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- Other Approval Criteria for Historic Landmarks (Section 33.846.060.G)
- Modifications Considered During Historic Design Review (Section 33.846.070)

ANALYSIS

Site and Vicinity: The 84,000 square foot site consists of 4 lots and is located on the south side of NE Alberta bound by NE 8th and 9th Avenues. The site is developed with the St. Andrews Church, school, rectory and community center buildings as well as a parking lot and grass play field to the south along with two residences used by the parishioners. For this application the two southwestern properties containing the two residences have been removed from the site area and no improvements to these properties are proposed.

The church and rectory buildings are the contributing resources on this historically designated site. The church was built in 1928 in the twentieth century gothic style. It contains two twin towers with conical copper-roofed spires, a cast stone exterior and slate roof. Architectural

details include finials, buttresses, stained glass, lancet windows with cast-stone tracery, ogee entries with cast-stone trim. No changes are proposed on this resource. The 2-story rectory building constructed in 1910 includes architectural characteristics of both the classical and colonial revival style with a symmetrical front façade, accented doorways, and evenly spaced windows on either side of it. The exterior is comprised of brick with a concrete basement. The proposed community center addition will abut the south basement wall of this structure.

The existing school built in 1908 has undergone numerous physical changes throughout the span of its existence. The third floor was rebuilt after a fire in the 1930's. In 1945 the third floor was removed entirely, changed to a flat roof, and a two story wing was added to the south façade. Exterior materials have also since been modified to include white vinyl windows and cedar shingle siding. The proposal includes the addition of a two-story wing to the north façade of this building. The 1-story community center was constructed in the 1970's and is clad with brick veneer, wood, stucco and T1-11 siding. The 2-story addition is proposed on the north side of this building.

The northern one-third of the site is zoned CG, General Commercial, while the remaining portion is zone R2.5ah, Single Family Residential 2,500. Surrounding properties along NE Alberta are also commercially zoned and occupied. A single family residential neighborhood lies east, west and south of the church property as well as north of Alberta Street. A few apartment buildings can also be found within the immediate area.

Zoning: The “CG”, General Commercial, zone is intended to allow auto-accommodating commercial development in areas already predominantly built in this manner and in most newer commercial areas. The zone allows a full range of retail and service businesses with a local or regional market.

The “R2.5”, Single Dwelling 2,500 Residential, zone is intended to foster single-dwelling residences. The minimum density for new lots in this zone is 1 unit per 5,000 square feet and the maximum density is 1 unit per 2,500 square feet. Both detached and attached single-dwellings are allowed. Minimum lot size for both types of development is 1,600 square feet with a minimum lot width of 36 feet, minimum front lot line of 30 feet and minimum depth of 40 feet. There is no required minimum lot width or front lot line for lots that are developed with structures that meet certain additional development standards related to design.

The “a”, Alternative Design Density Zone, overlay is intended to allow increased density that meets design compatibility requirements. It focuses development on vacant sites, preserves existing housing stock, and encourages new development that is compatible with the surrounding residential neighborhood.

The “h”, Aircraft Landing Zone, overlay limits the height of structures and vegetation in the vicinity of the Portland International Airport; a height contour map is available for review in the Development Services Center.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks. The regulations that pertain to these properties protect certain historic resources in the region and preserve significant parts of the region's heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

Land Use History: City records indicate the following land use reviews for this site:

- *CU 051-61:* A 1961 Conditional Use Review approval for a new auditorium, gymnasium and lunchroom building.
- *LUR 08-156321 CU:* A 2008 pending Conditional Use review to expand the school and community center uses.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed on November 28, 2008. The following Bureaus have responded with no concerns:

- Bureau of Transportation Engineering
- Bureau of Parks-Forestry Division
- Fire Bureau

The Water Bureau responded with the following comment (refer to Exhibit E-1 for additional details):

- As this project proposes no new water services or changes to existing water services, the Water Bureau has no concerns at this time.

The Plan Review Section of BDS responded with the following comment (refer to Exhibit E-2 for additional details):

- Based on the information provided, there appears to be no conflicts between this proposal and applicable building codes.

The Site Development Section of BDS responded with the following comment (refer to Exhibit E-3 for additional details):

- New site plan submitted provides deeper drywells for roofs and planters and pervious pavement that provides an escape route without resorting to diverting untreated water to an Underground Injection Control facility (drywell). The information provided adequately demonstrates that on-site infiltration of stormwater is feasible, and proposed conceptual stormwater facilities are acceptable. Final design of these facilities will take place with the building permit application, but no change to the stormwater treatment areas shown on the revised plans is anticipated. Site Development now has no objection to approval of the proposed Historic Design Review.

The Bureau of Environmental Services responded with the following comment (refer to Exhibit E-4 for additional details):

- BDS Site Development has indicated that the additional information provided adequately demonstrates that on-site infiltration of stormwater is feasible and the conceptual stormwater facilities are acceptable....based on this new information, BES has no objections to the requested Historic Design Review and Modifications...Note, detailed review of the design of the facilities will take place during the building permit application process, but BDS Site Development anticipates no change to the stormwater treatment areas shown on the revised plans.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on November 28, 2008. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

(1) Chapter 33.846, Historic Reviews

Purpose of Historic Design Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Design Review Approval Criteria

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is a designated Historic Landmark. Therefore the proposal requires historic design review approval. The relevant approval criteria are listed in 33.846.060 G. 1.-10. In addition, because the site is located within the Central City Plan District, the relevant approval criteria are the Central City Fundamental Design Guidelines.

Staff has considered all criterion and has addressed only those criterion considered applicable to this project.

G. Approval criteria based on the Standards of the Secretary of the Interior:

- 1. Historic character.** The historic character of the property will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the property's historic significance will be avoided.

Findings: No historic materials or features will be altered or removed. Only the detached garage located south of the rectory building is proposed for removal to accommodate the community center addition. This structure is not a contributing resource on this property and therefore its materials are not significant. Similarly, the community center and school buildings are not contributing resources therefore the proposed alterations will not result in the loss of any historic qualities. The community center addition will abut the rectory building at the basement level only which consists of concrete, also not a historically valued material.

Since the major alterations are limited to the non-contributing resources on the site, the historic character of the property, mostly defined by the church and rectory, will be preserved. The addition to rectory is limited to the basement level at the rear, south side of the building thus allowing the entire main brick form and façade of the building to be retained. The building additions on each the school and community center buildings are designed and located in a manner that allows for the original structures to be clearly distinguishable from the new addition thus preserving the character of each.

The site improvements including the landscaping and parking area revisions are designed within the existing outdoor areas. The improvements including the permeable pavers throughout the courtyard area and northern parking area, new planters in the parking area and along the site's perimeter enhance these areas while retaining their original use, form and locations. *This criterion is therefore met.*

- 2. Record of its time.** The historic resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided.

Findings: The proposal does not change or introduce a new use on this site. The additions to the school and community center buildings allow for the use of the existing buildings to be expanded therefore the site will continue to function as it has historically. The exterior changes are limited to the non-contributing, non-historic resources on the site and therefore do not create a false sense of historic development. *This criterion is therefore met.*

- 3. Historic changes.** Most properties change over time. Those changes that have acquired historic significance will be preserved.

Findings: The school, community center and detached garage are all structures that were constructed after the church and rectory and none of them have acquired historic significance due to their past alterations, construction date or materials. None of the original exterior materials of the 1910 school remain (now cedar shingles and vinyl windows) and the original 3rd floor has been removed. The community center building was constructed in the 1970's, which

does not constitute a significant architectural period. The date of the garage's construction is unknown yet its design and materials are indicative of the mid to later 20th century. *This criterion is therefore met.*

4. **Historic features.** Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the old in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence.
5. **Historic materials.** Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used.

Findings: The proposal does not include any alterations to the historic materials or features on either of the contributing resources (church and rectory) on this site. The detached garage to be demolished immediately south of the rectory is not a significant structure. Similarly the school and community center buildings are not considered significant nor do they contain any historic materials or features. As previously mentioned, the original exterior materials of the school no longer exist. The community center was constructed in the 1970's and consists of the original brick veneer, T1-11 and stucco exterior materials, none of which are of historical *value*. *These criteria are therefore met.*

6. **Archaeological resources.** Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken.

Findings: There are no known archaeological resources on this site. *This criteria is therefore not applicable.*

7. **Differentiate new from old.** New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a property. New work will be differentiated from the old.

Findings: As previously mentioned no historic materials on the contributing resources will be destroyed or altered under the proposal. However, both new building additions will be differentiated from the older existing structures to which they are attached to in terms of design and materials.

The addition to the school's northern end will provide some symmetry to this rectilinear building yet appear as a modern interpretation of the dated design. The addition will align with the existing footprint of the building, as well as with the basement and parapet height, and balance the structure by centrally locating the main entrance on the 9th Avenue façade. The window design and material as well as the exterior siding are clearly contemporary. The new horizontal 1"x4" cedar siding will be different yet compliment the wood shingles that are to remain on the southern portion. The transition between these materials will be an offset of approximately 0'-2" that will further define the new and original walls. The proposed wood window systems are different material than the existing vinyl windows yet they compliment the proportions and placement of those to remain.

The community center addition will connect the community center and rectory buildings. The addition will be attached to the rectory at the basement level only, which will be set back approximately 3'-0" from the existing basement wall along the west side. This setback allows for the original form and footprint of the rectory to be clearly distinguished from the new addition. The concrete

material of the basement addition will match the rectory and the new wood casement windows complement the similarly proportioned double hung windows on the rectory. The addition will align with the west wall of the community center building along SE 8th although the use of materials and overall design are clearly discernible from the 1970's original building. The addition is a flat-roofed, boxy design compared to the series of undulating roofs and varying wall heights of the existing building. The new vertical and horizontal cedar siding on the addition will sit approximately 0'-3" off the stucco wall surface of the adjacent building further defining the new from the original.

This criterion is therefore met.

- 8. Architectural compatibility.** New additions, exterior alterations, or related new construction will be compatible with the resource's massing, size, scale, and architectural features. When retrofitting buildings or sites to improve accessibility for persons with disabilities, design solutions will not compromise the architectural integrity of the historic resource.

Findings: The addition to the school not only complements the design and form of the existing structure it is attached to it also corresponds to the defining characteristics of the Gothic style church, verticality and light. The addition aligns with the footprint and the basement and parapet height of the existing school. The new windows align with the existing windows as well as match their proportions and sequence on both the upper and basement levels creating a coherent composition. The continuous wall of windows on the north façade allows for an extensive amount of natural light to enter the building reminiscent of the light characteristic of gothic architecture. The wall also serves to provide a reflection of the church's decorative façade and features as it sits opposite of this window wall across the parking area. The perpendicular windows on the addition reinforce the verticality of the gothic features found in the pointed arches, windows, towers and spires on the church. Although different types of wood siding, existing is 1'-2" tall cedar shingles and new is 1"x4" horizontal wood, the similar materials will complement one another yet distinguish the original building from the new addition. The existing wood shingles will be painted to match the color of the stone accents on the church while the new horizontal siding will be stained clear and more in the tone with the natural stone of the church.

The Community Center addition is scaled and designed to complement the rectory building. Its boxy design resembles the massing of foursquare layout of the rectory. The basement addition with the eco-roof and courtyard on top aligns with the height of the rectory basement. The new wood windows are of the same material and similar vertical proportions as the existing windows. Both entrances to the addition on the west and east façades are adorned with flat horizontal canopies reminiscent of the decorative pediment and pillars that accentuate the main entry on the rectory. The addition also complements the community center to which it is attached. The building height of the addition intersects with the height of the sloped roof on the community center. This is achieved by wrapping an 8'-0" section of the northern portion of the community center wall with the new exterior material to resolve the differences in height and roof forms. The screen wall with landscaping (vines) in front of a portion of the addition helps to break up the mass of the boxy design that corresponds to the community center scale which is segmented by the undulating roof and change in building materials.

All of the buildings have different interior floor heights. This issue is resolved internally for the school addition, however more challenging for the community center addition. In order to align the different floor heights of the community

center, rectory, and the addition that connects them a series of ramps have been added. These ramps have been incorporated into the eco-roof and courtyard for site design that connects pedestrians and those with disabilities in a manner that does not alter or compromise architectural integrity of either contributing resource.

This criterion is therefore met.

- 9. Preserve the form and integrity of historic resources.** New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic resource and its environment would be unimpaired.

Findings: Both additions are located south of the contributing church and rectory resources on the property and in a manner that if removed in the future would not affect the integrity of either resource or the structures to which they are being attached. The school addition would extend into an existing parking area and remain 55'-0" from the southern façade of the church. This physical separation and distance allows the form and integrity of the church to remain unimpaired. The community center addition is connected to the southern wall of the rectory at the basement level only and is stepped back off the west wall preserving the form of the brick building from both street-facing facades. This addition could easily be removed in the future without negatively affecting the character of this building as its only alteration is to the concrete basement. *This criterion is therefore met.*

- 10. Hierarchy of compatibility.** Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a Historic or Conservation District, with the rest of the district. Where practical, compatibility will be pursued on all three levels.

Findings: As discussed above in Criterion 8 both building additions are compatible with both contributing resources on the site. The alterations also compliment adjacent and neighboring properties in terms of scale, materials and placement. The additions are setback at least 15'-0" from the street they front retaining the existing building lines which is consistent with the residential buildings across the street. The height of the 2-story structures are also similar to the surrounding single family homes and apartment buildings as well as the commercial buildings on Alberta Street. The exterior wood siding proposed on both additions is a material found on nearly all the houses in the area. The site is not within a designated Historic or Conservation district. *This criterion is therefore met.*

(2) 33.846.070 Modifications That Will Better Meet Design Review Requirements

The review body may consider modification of site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the historic design review process. These modifications are done as part of historic design review and are not required to go through the adjustment process. Adjustments to use-related development standards (such as floor area ratios, intensity of use, size of the use, number of units, or concentration of uses) are required to go through the adjustment process. Modifications that are denied through historic design review may be requested as an adjustment through the adjustment process. The review body will approve requested modifications if it finds that the applicant has shown that the following approval criteria are met:

- A. **Better meets historic design review approval criteria.** The resulting development will meet the approval criteria for historic design review than would a design that meets the standard being modified; and

- B. **Purpose of the standard.** The resulting development will meet the purpose of the standard being modified or the preservation of the character of the historic resource is more important than meeting the purpose of the standard for which a modification has been requested.

The following modifications are requested:

Modification #1 - Not provide a pedestrian connection from the new entrance on the Community Center addition to NE Alberta Street (33.110.245.C.9 and 33.120.255).

Purpose: *The pedestrian standards encourage a safe, attractive, and usable pedestrian circulation system in all developments. They ensure a direct pedestrian connection between abutting streets and buildings on the site, and between buildings and other activities within the site. In addition, they provide for connections between adjacent sites, where feasible. The standards promote configurations that minimize conflicts between pedestrians and vehicles. In order to facilitate additional pedestrian oriented space and less impervious surface, the standards also provide opportunities for accessways with low traffic volumes, serving a limited number of residential units, to be designed to accommodate pedestrians and vehicles within the same space when special paving treatments are used to signify their intended use by pedestrians as well as vehicles.*

Findings: The new main entrance on the west façade of the Community Center addition is located 15' from the sidewalk on NE 8th Avenue providing a direct connection for pedestrians accessing the building. The Zoning Code requires additional pedestrian connections to abutting streets, in this case NE Alberta and NE 9th Avenue. A walkway up the stairs and over the roof garden connects the new entry to 9th Avenue, however the church and rectory building locations along the north side of the property would result in a walkway that runs parallel and within 11' of the sidewalk on NE 8th Avenue. Pedestrians on NE Alberta could just as conveniently use the sidewalk on 8th Avenue for a direct connection to this entrance, thus meeting the intent of the regulation. The modification to not provide the additional walkway along side the existing sidewalk on 8th Avenue allows the open, landscaped space that surrounds the resource and rectory building to be maintained which is a defining characteristic of this property and thus better meets Criterion 1 (Historic Character). *The approval criteria are therefore met.*

Modification #2 - Reduce the required building setback along NE 8th from 15'-0" to 10'-6" for a vertical trellis structure attached to the building awning (33.110.245C.1, Table 110-5).

Purpose: *The general base zone development standards are designed for residential buildings. Different development standards are needed for institutional uses which may be allowed in single-dwelling zones. The intent is to maintain compatibility with and limit the negative impacts on surrounding residential areas.*

The setback regulations for buildings and garage entrances serve several purposes:

- *They maintain light, air, separation for fire protection, and access for fire fighting;*
- *They reflect the general building scale and placement of houses in the city's neighborhoods;*
- *They promote a reasonable physical relationship between residences;*
- *They promote options for privacy for neighboring properties;*
- *They require larger front setbacks than side and rear setbacks to promote open, visually pleasing front yards;*
- *They provide adequate flexibility to site a building so that it may be compatible with the neighborhood, fit the topography of the site, allow for required outdoor areas, and allow for architectural diversity; and*
- *They provide room for a car to park in front of a garage door without overhanging the street or sidewalk, and they enhance driver visibility when backing onto the street.*

Findings: The proposed building addition to the community center meets the minimum 15'-0" setback for institutional uses in residential zones, however a wood landscape screen wall and stairs projects 4'-6" into this setback triggering a modification to the standard. The stair provides access to the rooftop courtyard and to the series of ramps and walkways that create the interior circulation on the site. The open work wood screen that extends from the canopy above along the front of the stairs allows for climbing plants including wisteria, hops and trumpet honeysuckle vines to create green screen. The open tread design of the stairs and the vertical wood slats of the screen wall result in a light transparent element that helps to break up the mass of the west façade without adding bulk to the building. The houses across the street have front building setbacks that range from approximately 12'-0" to 15'-0" from the sidewalk. Within these front yards are stairs that lead to the front porches. The stairs on the community center function and appear in a similar manner and therefore are compatible with the adjacent residential neighborhood and the purpose of the standard. The modification better meets Criterion #10 (Hierarchy of Compatibility) in that the stairs are a compatible features of the adjacent residential properties. *The approval criteria are therefore met.*

Modification #3 - Not provide shrubs per the L3 landscape standard for the required perimeter landscaping along the south side of the parking area (33.248.020.C).

Purpose: *The City recognizes the aesthetic, ecological, and economic value of landscaping and requires its use to:*

- *Preserve and enhance Portland's urban forest;*
- *Promote the reestablishment of vegetation in urban areas for aesthetic, health, and urban wildlife reasons;*
- *Reduce stormwater runoff pollution, temperature, and rate and volume of flow;*
- *Establish and enhance a pleasant visual character which recognizes aesthetics and safety issues;*
- *Promote compatibility between land uses by reducing the visual, noise, and lighting impacts of specific development on users of the site and abutting uses;*
- *Unify development, and enhance and define public and private spaces;*
- *Promote the retention and use of existing vegetation;*
- *Aid in energy conservation by providing shade from the sun and shelter from the wind;*
- *Restore natural communities through re-establishment of native plants; and*
- *Mitigate for loss of natural resource values.*

Findings: Due to the non-conforming upgrades triggered by the project's value, per Section 33.258.070, landscaping is required along the perimeter of all parking and vehicle areas. This results in a required 5'-0" deep planter along the south edge of the parking area to the L3 landscape standard. The applicant proposes two planters adjacent to the parking lot and at the south end of the play field that meet the width requirement. The planter adjacent to the parking lot will contain some shrubs, while the planter at the back of the play field will not contain any shrubs as required by the L3 landscape standard. The modification is requested due to concerns of safety and the need for visibility to keep undesirable activities from occurring in the play field. Some shrubs and dense, mature plants and vines are growing along the existing chain link fence and provide some screening although not continuous. The trees proposed and existing plants still meet the intent of the regulations in that they provide shade from the sun, reduce stormwater runoff and enhance the visual character of the area while recognizing safety concerns. The two 10'-0" deep landscape planters at the north end of the play field that flank the basketball hoops provide an additional buffer from the vehicle area. The modification better meets Criterion #10 (Hierarchy of Compatibility) in that the trees and open grassy field are compatible landscape features of the adjacent residential properties. *The approval criteria are therefore met.*

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The purpose of the historic design review process is to ensure that exterior alterations to existing buildings protect the integrity of the special characteristics of the historic resources. The proposed building additions not only complement the buildings to which they are attached they also respect the architectural details and design of the two contributing resources on the designated site. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of the following building and site improvements:

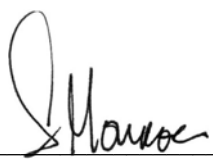
- 3,000 SF, 2-story addition to the north side of the school along NE 9th Avenue. The exterior is finished with cedar siding on the upper floor, concrete base and a wood window system.
- 5,000 SF, 2-story addition to the north side of the community center building along NE 8th Avenue, which includes a roof garden on the northern half. The exterior consists of horizontal and vertical cedar siding, concrete base and wood window system.
- Reconfiguration of both parking areas to include landscaping and permeable pavers.
- Addition of landscaping and permeable pavers throughout site to provide stormwater control.
- Provide ADA ramps for access to the multiple buildings on site.

Approval for the following Modification requests:

1. Not provide a pedestrian connection from the new entrance on the Community Center addition to NE Alberta Street (33.110.245.C.9 and 33.120.255);
2. Reduce the required building setback along NE 8th from 15'-0" to 10'-6" for a vertical trellis structure attached to the building awning (33.110.245.C.1, Table 110-5); and
3. Not provide shrubs per the L3 landscape standard for the required perimeter landscaping along the southern residential property line for the parking lot screening (33.248.020.C).

Per the approved site plans, Exhibits C-1 through C-15, signed and dated 3/2/09, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.15. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 08-178127 HDZM. No field changes allowed."

Decision rendered by:  on March 2, 2009

By authority of the Director of the Bureau of Development Services

Decision mailed: March 4, 2009

Staff Planner: Staci Monroe

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on November 17, 2008, and was determined to be complete on **November 25, 2008**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on November 17, 2008.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant waived the 120-day review period, as stated with Exhibit G-3.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on March 18, 2009** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal

to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **March 19, 2009 – (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and

- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

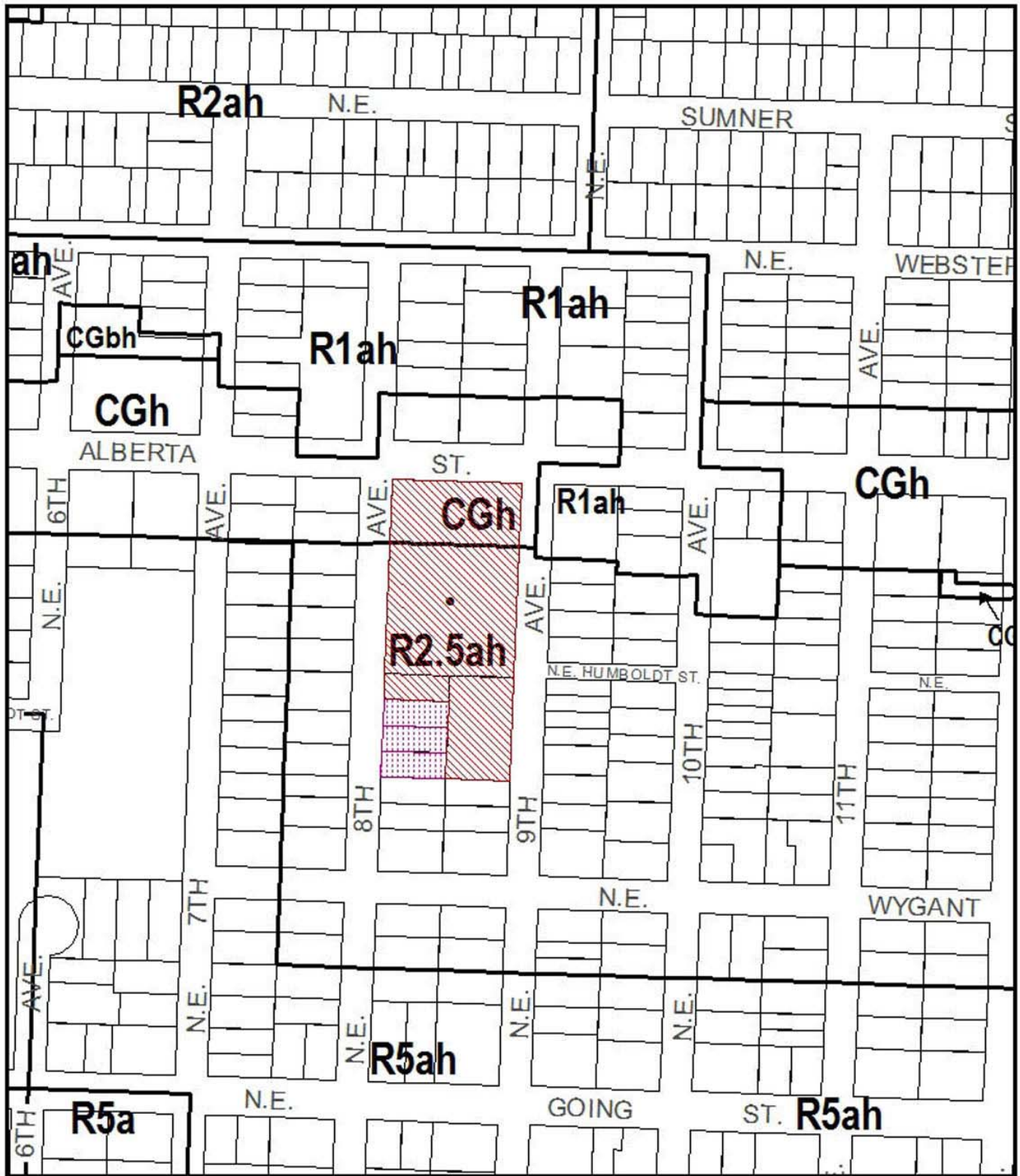
EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)

- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. North School Window Wall Enlarged Elevation & Details
 - 3. West Community Center Enlarged Elevations & Plan View
 - 4. Colored Elevations (attached)
 - 5. Enlarged Community Center and School Elevations
 - 6. Community Center Building Cross-Sections
 - 7a. Window and Siding Details
 - 7b. Exterior Siding Details
 - 7c. Community Center Canopy Details
 - 8. Landscape plan
 - 9. Paver Options A (Uni-Eco Stone in Grey)
 - 10. Paver Option B (SF Rima in Cascade Blend)
 - 11. Window Details
 - 12. Concrete Stair Tread Detail
 - 13. Railing Example Photo
 - 14. Perspective Photos
 - 15. Light Detail
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Water Bureau
 - 2. Plan Review Section of BDS
 - 3. Site Development Review Section of BDS
 - 4. Bureau of Environmental Services
- F. Correspondence: none.
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research
 - 3. 120-Day Waiver

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).



ZONING

-  Site
-  Also Owned
-  Historic Landmark



File No. LU 08-156309 HDZM
 1/4 Section 2531
 Scale 1 inch = 200 feet
 State_Id 1N1E23BC 100
 Exhibit B (Nov 25, 2008)

**PRELIMINARY
NOT FOR
CONSTRUCTION**

**DESIGN DEVELOPMENT
ST. ANDREW CATHOLIC CHURCH
806 NE ALBERTA ST
PORTLAND, OR.**

REVISIONS:

NEW SITE PLAN

A1.2

*08-156309 H02H
12.12.08
EX. C-1*

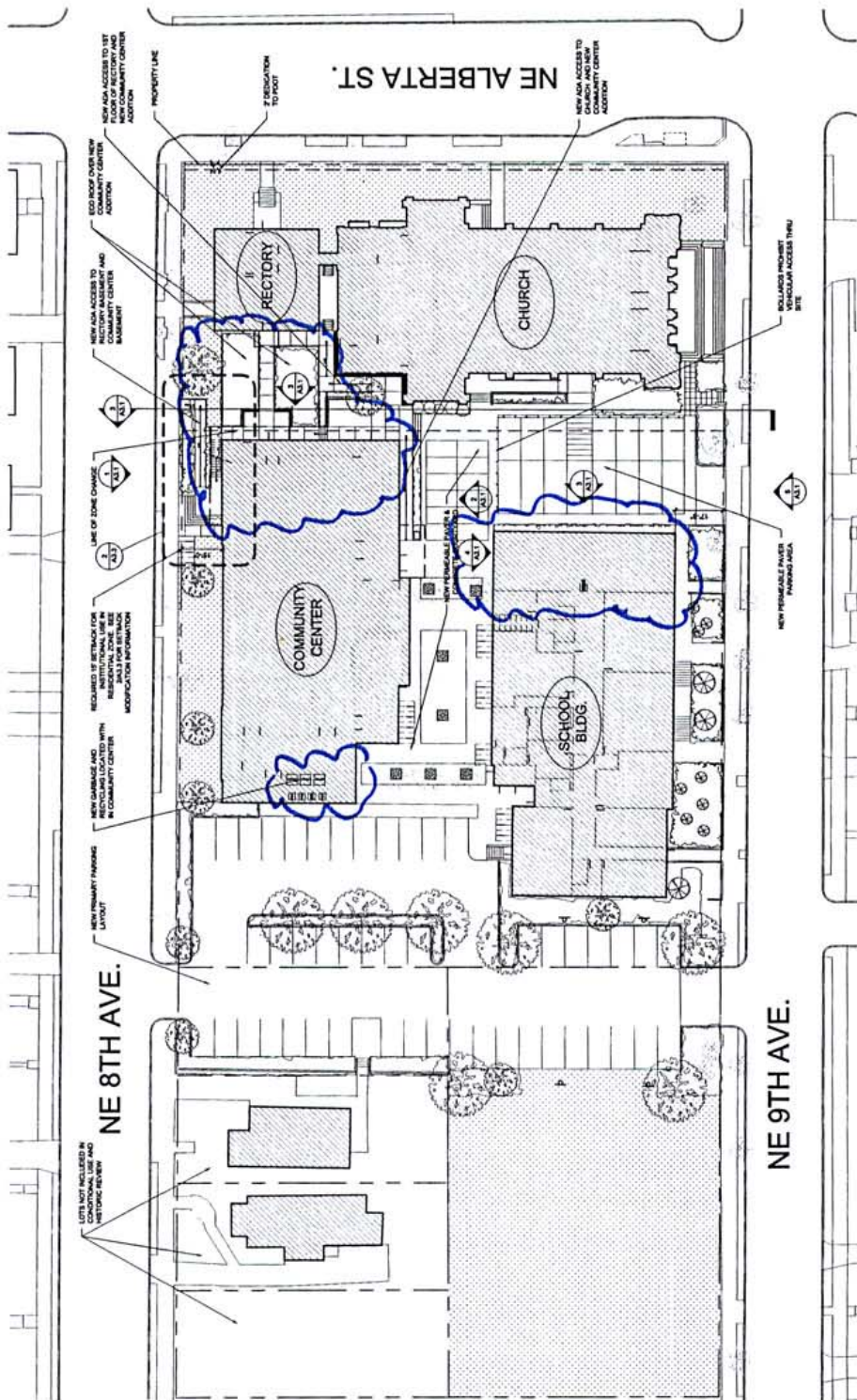
SITE PLAN LEGEND:



LANDSCAPE REQUIREMENTS:

OS ZONE
PROVIDED - 5% OF SITE
PROVIDED - 2%
RETRACTOR
RETRACTOR - 2% OF SITE
PROVIDED - 5%
PROVIDED - 5%

Approved
City of Portland - Bureau of Development Services
Planner: *SMW* Date: *3/2/09*
*** This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.**



10' 20' 40' 80'

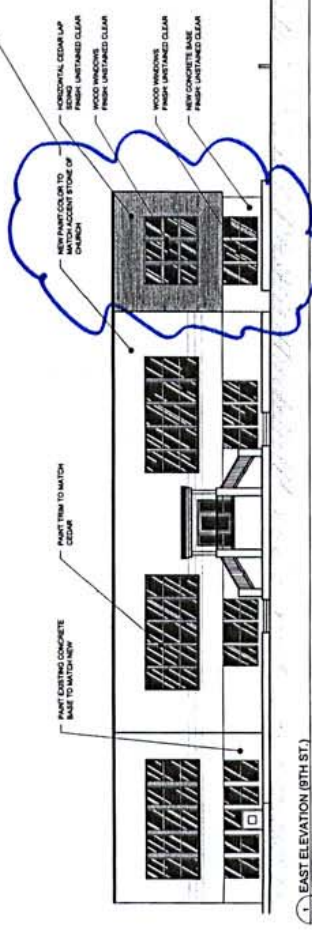
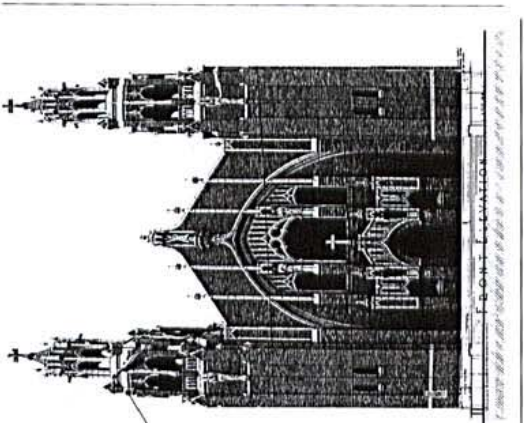
NEW SITE PLAN

AREAS OF BUILDING ALTERATIONS & ADDITIONS

*08-156309 H02H
EX. C-1*

PRELIMINARY
NOT FOR
CONSTRUCTION

DESIGN DEVELOPMENT
ST. ANDREW CATHOLIC CHURCH
806 NE ALBERTA ST
PORTLAND, OR



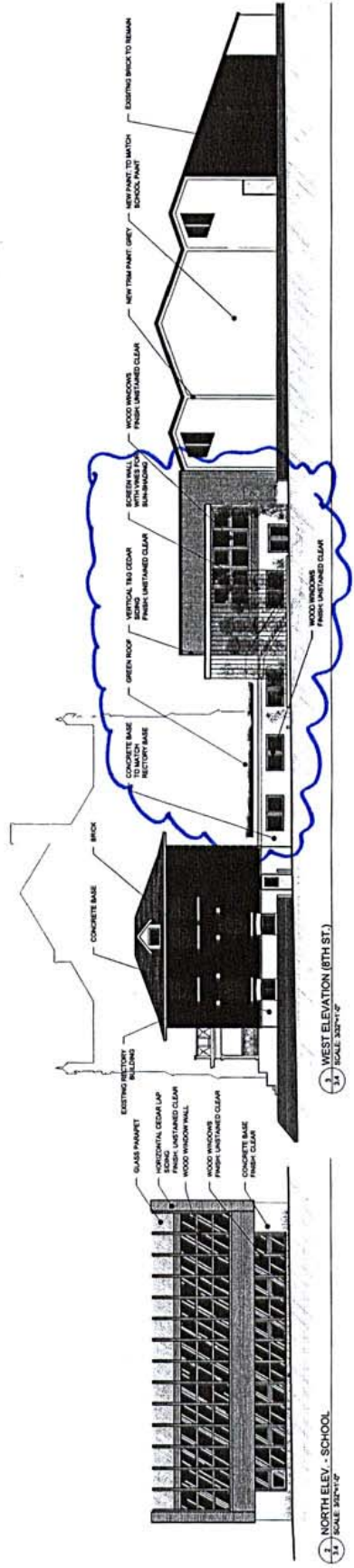
1. EAST ELEVATION (8TH ST.)
SCALE 3/8"=1'-0"

SCHOOL ADDITION

Approved
City of Portland - Bureau of Development Services
Planner: SMon Date: 3/2/09
* This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.

REVISIONS:

COLORED ELEVATIONS
A3.4
08-156309-HD2H
12.1.2008
EX. C-4



2. WEST ELEVATION (8TH ST.)
SCALE 3/8"=1'-0"

3. NORTH ELEV. - SCHOOL
SCALE 3/8"=1'-0"

COMMUNITY CENTER ADDITION

08-156309 HD2H EX. C-4