



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**

1900 SW 4th Avenue, Suite 5000  
Portland, Oregon 97201  
503-823-7300  
Fax 503-823-5630  
TTY 503-823-6868  
[www.portlandonline.com/bds](http://www.portlandonline.com/bds)

**Date:** April 28, 2009  
**To:** Interested Person  
**From:** Kate Marcello, Land Use Services  
503-823-9162 / [kate.marcello@ci.portland.or.us](mailto:kate.marcello@ci.portland.or.us)

## **NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

### **CASE FILE NUMBER: LU 09-114522 DZ** **REAR ADDITION TO SINGLE-FAMILY RESIDENCE IN GATEWAY PLAN DISTRICT**

#### **GENERAL INFORMATION**

**Applicants/Owners:** J.P. Teets and Susan Ferguson  
5605 E Burnside St, Suite B02  
Portland, OR 97215

**Site Address:** 620 SE 106<sup>th</sup> Avenue

**Legal Description:** TL 6400 0.18 ACRES, SECTION 03 1 S 2 E  
**Tax Account No.:** R992030820  
**State ID No.:** 1S2E03BA 06400  
**Quarter Section:** 3141  
**Neighborhood:** Mill Park, contact Rosemary Opp at 503-256-4591.  
**Business District:** Gateway Area Business Association, contact Fred Sanchez at 503-256-3910.  
**District Coalition:** East Portland Neighborhood Office, contact Richard Bixby at 503-823-4550.  
**Plan District:** Gateway  
**Zoning:** Office Commercial 2 base zone (CO2); Design overlay zone (d)  
**Case Type:** Design Review (DZ)  
**Procedure:** Type II, an administrative decision with appeal to the Design Commission.

**Proposal:** The applicants requests Design Review approval for a rear addition to an existing single-family house in the Gateway Plan District. Details of the proposal include the following:

- The addition would be about 300 square feet in size and would be located at the rear of the house.
- The cladding would be vinyl siding to match the existing siding on the house.
- The roof would have asphalt composition shingles to match the existing shingles on the house.
- The addition would have one window and sliding-glass doors on the rear façade, and one high horizontal window on the south façade.
- On the south façade of the existing house, an existing one-over-one window would be replaced with a high horizontal window.
- The existing chimney would be extended in height as needed.
- A new concrete-surfaced patio would also be constructed. The aforementioned sliding-glass doors on the rear façade of the addition would provide access to the patio.

Because the proposal is for non-exempt exterior alterations to an existing building on a site with design overlay zoning in the Gateway Plan District, Design Review is required prior to the issuance of building permits.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33 (Portland Zoning Code). The relevant criteria are:

- 33.825 Design Review;
- 33.526 Gateway Plan District; and
- Gateway Regional Center Design Guidelines.

## ANALYSIS

- I. Site and Vicinity:** The property comprises 7,946 square feet (0.18 acres). The house is 817 square feet in size and the attached garage is 348 square feet. Paving on the site consists of a driveway, walkway, and patio, totaling 600 square feet. The house was constructed in 1943. It is one story tall.

The original cladding, doors, windows, roofing, and any decorative trim or other details have been obscured or removed. The house currently has horizontal vinyl siding, vinyl windows, vinyl faux shutters, and asphalt composition shingles. The garage has a vinyl roll-up/overhead door and asphalt composition roof shingles. The front façade of the house has two horizontal slider windows with faux shutters and a solid front door. The rear façade has a one-over-one window, two horizontal slider windows, and one half-lite door. The north façade has one horizontal slider window with faux shutters and one door. The south façade has two one-over-one windows, one of which has faux shutters. There is a brick chimney located in the northern portion of the roof.

The subject house is one in a row of four houses on SE 106<sup>th</sup> Avenue. Counting from the north, the subject house is the first one. The second house is also residential. The third house contains Ferguson Land Surveying Incorporated and the fourth house contains Portland Rose Accounting & Tax Company. All four properties are designated with Commercial Office 2 zone, intended primarily to accommodate office uses.

The immediate vicinity contains a mixture of development types. A two-story office building constructed in 1978 abuts the subject site to the north, and occupies the northeast corner of SE 106<sup>th</sup> Avenue and SE Washington Street. A multi-tenant two-story office building is located across SE 106<sup>th</sup> Avenue from the subject site. The office building was constructed in 1975 and fronts a large paved parking lot. The back of the building is located on SE 106<sup>th</sup> Avenue. A Mexican restaurant, Acapulco, is also located across SE 106<sup>th</sup> Avenue from the

subject site. It too was built in 1975 and it fronts the same parking lot as the office building. Its rear façade is also located on SE 106<sup>th</sup> Avenue. Other nearby uses include a precinct for Portland City Police located about 200 feet south of the subject site on the west side of SE 106<sup>th</sup> Avenue, and the East Portland Community Center about 600 feet south of the subject site on the east side of SE 106<sup>th</sup> Avenue. Floyd Light Middle School (part of David Douglas School District) and Floyd Light Park, are located on an approximately 500,000-square-foot site directly behind the subject site. The large paved parking lot for the school abuts the rear yard of the subject site. Automobile access to the school site is from SE 106<sup>th</sup> Avenue, about 200 feet south of the subject site.

The surrounding context is varied. The eastern vicinity contains mostly residential structures, including single-family houses, manufactured homes, and multi-family apartment buildings. The northern vicinity contains mostly auto-oriented strip commercial development along SE Washington Street, and residential uses beyond. To the west, there is large-scale (“big-box”) strip commercial development, including Mall 205. To the south, there is a multi-building senior retirement home, Portland Adventist Medical Center, and Portland Adventist Academy.

With regard to the surrounding transportation infrastructure, the City of Portland’s Transportation System Plan (TSP) classifies SE 106<sup>th</sup> Avenue as a Local Service Bikeway. SE Washington Street is classified as a Major City Traffic Street, Transit Access Street, City Bikeway, and Regional Main Street. The site is located in a designated pedestrian district – the Gateway Pedestrian District. The nearest mass transit service is located about 300 feet away on SE Washington Street, where there is an eastbound stop for TriMet bus route #15, which provides service to Park Rose-Sumner Transit Center.

The site is located in the Gateway Plan District. The Gateway area has been designated by Metro regional government as a Regional Center. It is the only Regional Center within Portland city limits. Gateway is envisioned as a mixed-use, high-density district with multi-modal transportation, in anticipation of accommodating a sizable share of Portland’s growing population over the next several decades. Gateway is intended to become the Portland metropolitan area’s “second downtown.” Some low-density parts of Gateway that contain mostly single-family houses have been re-zoned for higher-density housing, mixed-use development, and commercial development. Thus many properties that currently contain single-family houses are likely to witness significant changes in urban form and use in the coming years.

The Gateway Regional Center Design Guidelines are intended to “help shape new sites and buildings as they redevelop one proposal at a time” (Introduction, *Gateway Regional Center Design Guidelines*). The Design Guidelines are intended principally to address new buildings, large developments, and commercial development.

- II. Zoning:** The Commercial Office 2 (CO2) zone is a low- and medium-intensity office zone for businesses with a local or regional emphasis. The zone is intended to prevent the appearance of strip commercial development by allowing office uses but not other commercial uses. Development is expected to be generally auto-accommodating, except where the site is adjacent to a transit street.

The Design (d) overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design overlay zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, Design Review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

- III. Land Use History:** City records indicate no prior land-use reviews for this site.

- IV. Agency Review:** A *Notice of Proposal in Your Neighborhood* was mailed on March 31, 2009.
- Three bureaus responded with no comments:
    - Portland Fire & Rescue;
    - Urban Forestry Division of Portland Parks & Recreation; and
    - Development Review Section of the Bureau of Transportation.
  - Four bureaus responded with comments and with no objections to the proposal:
    - The Bureau of Environmental Services responded with comments regarding stormwater management requirements (Exhibit E-1).
    - The Site Development Section of the Bureau of Development Services responded with comments regarding stormwater management and utility plan requirements at the time of building permit submittal (Exhibit E-2).
    - The Life Safety/Building Code Section of the Bureau of Development Services responded to say that a building permit has been applied for and is currently under review (Exhibit E-3).
    - The Portland Water Bureau responded to say that there is an existing water service meter for the subject site, and that the water main serving the site is located in SE 106<sup>th</sup> Avenue (Exhibit E-4).
- V. Neighborhood Review:** A *Notice of Proposal in Your Neighborhood* was mailed on March 31, 2009. No written comments in response to the proposal have been received from the neighborhood association (Mill Park Neighborhood Association) or notified property owners.

## ZONING CODE APPROVAL CRITERIA

### Chapter 33.825 Design Review

#### Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

#### Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

**Findings:** The site is designated with design overlay zoning (d). Therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Gateway Regional Center Design Guidelines.

#### Gateway Regional Center Design Guidelines

The Gateway Regional Center is the City of Portland's only designated regional center. The area is envisioned to redevelop into a highly urbanized, pedestrian-oriented center, with an overall built size and scale second only to Portland's Central City.

The purpose of design review is to carry out the urban design vision for the District by emphasizing unique district assets in a manner that is respectful, creative, supportive, and compatible with all its areas. Although the District is a complex urban environment, it can become a cohesive whole with the use of these design principles.

#### Gateway Regional Center Design Goals

Ten goals for design review in the Gateway Regional Center have been established to enhance the area's design quality, support its livability, and guide its transition to a pedestrian-oriented, active, urban regional center. They are:

1. Encourage urban design excellence.
2. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Gateway Regional Center as a whole.
3. Provide for a pleasant, rich, and diverse experience for pedestrians.
4. Assist in creating a regional center that emphasizes a mix of active uses and experiences and is safe, lively, and prosperous.
5. Provide for the humanization of the Gateway Regional Center through the promotion of parks, plazas, open spaces, public art, and trees.
6. Integrate and honor the diversity and history of Gateway.
7. Integrate sustainable principles into the development process.
8. Encourage the development of a distinctive character for sub-districts within the regional center, and link them.
9. Encourage and incorporate transit orientation and usage.
10. Enhance the physical and visual linkages between the Gateway Regional Center and adjacent neighborhoods.

*Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.*

**B1. Convey Design Quality and Building Permanence.**

Use design principles and building materials that convey quality and permanence.

**B3. Design for Coherency.**

Integrate the different parts of a building to achieve a coherent design.

**Findings for B1, B3:** The proposed addition will have vinyl siding, vinyl windows, and asphalt-composition roof shingles. These are the same materials as those on the existing house. Using matching materials imbues the addition with a sense of quality and permanence.

Placement of new elements on the addition will be consistent with the placement of existing windows on the house. The headers of the new windows on the south façade will align with the header of the existing window to be retained on the south façade. The header of the new window on the rear façade will align with the top of the new sliding-glass doors on the rear façade. The new sliding-glass doors will be located in approximately the same location as the existing door to be replaced.

Design principles related to the location and form of the addition also convey quality and permanence. The proposed addition will be located at the rear of the existing house. The side façades of the addition will not protrude beyond the side facades of the existing house. This inconspicuous location of the addition ensures that the existing appearance of the house when viewed from the street will remain unaffected. Additionally, the building footprint of the addition will have the same rectangular, orthogonal form as the existing house, further ensuring that it will not result in a visual obstruction on the site.

Thus the proposed addition uses design principles and materials that convey quality and permanence, thereby achieving a coherent design for the house.

*These guidelines are met.*

**B5. Integrate Roofs, Rooftop Lighting, and Signs.**

Integrate rooftop components, functions and related screening elements with the building's architecture. Integrate exterior lighting, signs and any related structural equipment at or near the roof with the building's architecture. Orient lighting to highlight the building's architecture.

**Findings for B5:** The subject house features a hipped roof. With the proposed rear addition, the roof will remain hipped. Currently, the trapezoidal sides of the roof are at the west (front) and east (rear) elevations, and the triangular sides of the roof are at the north and south elevations. Now the trapezoidal sides of the roof will be at the north and south elevations, and the triangular sides will be at the west and east elevations. As the house will continue to feature a hipped roof, the proposed change is minimal and will not have an adverse effect on the overall design cohesion of the house.

The roof on the existing attached garage, which is also hipped, will change as well, resulting in a somewhat modified hip form. Currently the peak of the garage roof is pointed when viewed at the front elevation, and the southwest ridge of the garage roof turns directly south to meet the northeast ridge of the roof on the house. Now the southwest ridge of the garage roof will extend directly south, making the peak of the garage roof flat when viewed at the front elevation. The trapezoidal sides of the garage roof are the north and south sides; the triangular sides are the west and east sides. This configuration will remain the same, albeit somewhat modified to transition to the roof of the existing house and the addition. The change in the roof form of the garage will not affect the overall design cohesion of the garage or the house.

The roof will have no screening elements, exterior lighting, signage, or related structural equipment.

*This guideline is met.*

## **DEVELOPMENT STANDARDS**

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## **CONCLUSIONS**

The proposal is tasked with achieving integration with the existing appearance of the house, which is significantly different from its original 1940s-era appearance. The proposal achieves integration through inconspicuous location of the addition, the use of matching materials, and consistent location of elements such as windows and doors. The modification of the garage roof and the roof on the house constitute minor changes in the overall design of the house.

This proposed addition to a single-family house will not adversely affect the design-related goals of the Gateway Plan District, which principally pertain to new buildings, large developments, and commercial development, as described in the *Gateway Regional Center Design Guidelines*. Gateway's ability to develop into a dense, mixed-use, multi-modal district, in accordance with its role as Portland's only Metro-designated Regional Center and its classification as a Plan District, also will not be affected by the proposal.

The proposal meets the applicable design guidelines and therefore warrants approval.

## **ADMINISTRATIVE DECISION**

Approval of an approximately 300-square-foot addition and a new concrete patio, at the rear of the existing house.

Approval per the approved plans and drawings, Exhibits C-1 through C-6, signed and dated April 24, 2009, subject to the following conditions:

- A. As part of the building permit application submittal, each of the four required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C-1 through C-6. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 09-114522 DZ. No field changes allowed."

**Staff Planner: Kate Marcello**

**Decision rendered by:**  **on April 24, 2009**

By authority of the Director of the Bureau of Development Services

**Decision mailed: April 28, 2009**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on March 13, 2009, and was determined to be complete on March 27, 2009.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on March 13, 2009.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on Tuesday, May 12, 2009** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for

property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **Wednesday, May 13, 2009 (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034  
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

#### **EXHIBITS**

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans and Drawings:
  - 1. Site Plan (attached)
  - 2. West and East Elevations (attached)
  - 3. North and South Elevations (attached)
  - 4. Roof Plan – Existing and Proposed (attached)
  - 5. Foundation Plan
  - 6. Building Sections, Roof Framing Plan
- D. Notification information:
  - 1. Mailing list
  - 2. Mailed notice
- E. Agency Responses:
  - 1. Bureau of Environmental Services
  - 2. Site Development Review Section of the Bureau of Development Services
  - 3. Life Safety/Building Code Section of the Bureau of Development Services
  - 4. Portland Water Bureau
- F. Correspondence: None received.
- G. Other:
  - 1. Original LU Application
  - 2. Site History Research
  - 3. Site Visit Photographs

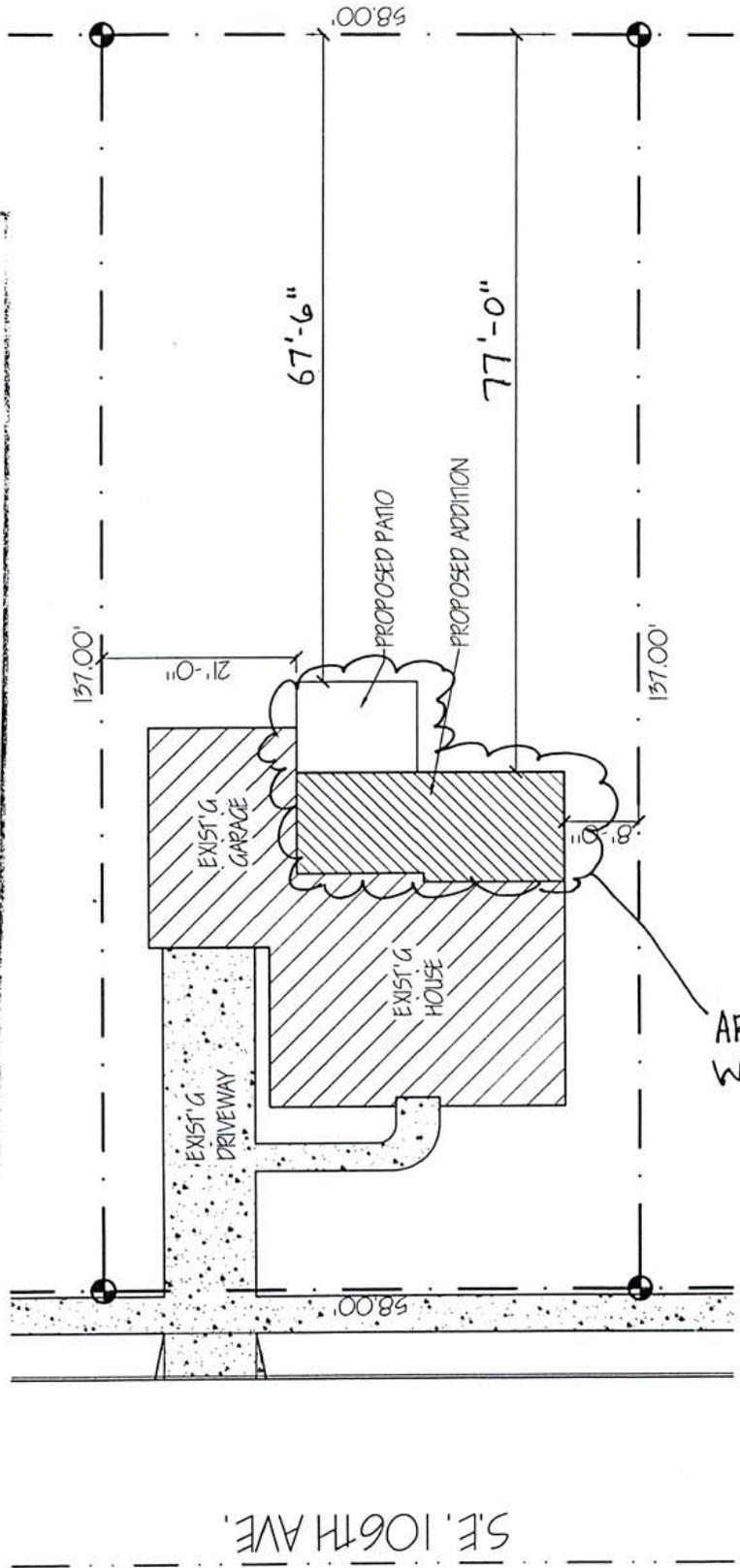
**The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-7300 (TTY 503-823-6868).**



620 SE 106th Ave



\*Approved\*  
 City of Portland - Bureau of Development Services  
 Planner *Katchmeel* Date *April 24, 2009*  
 \* This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.



AREA OF WORK

SITE PLAN  
1" = 20'-0"  
NORTH

DAVID ADAMS - BUILDING DESIGNER  
 311 ENGLE AVE.  
 MOLALLA, OREGON 97038  
 (503) 829-4836

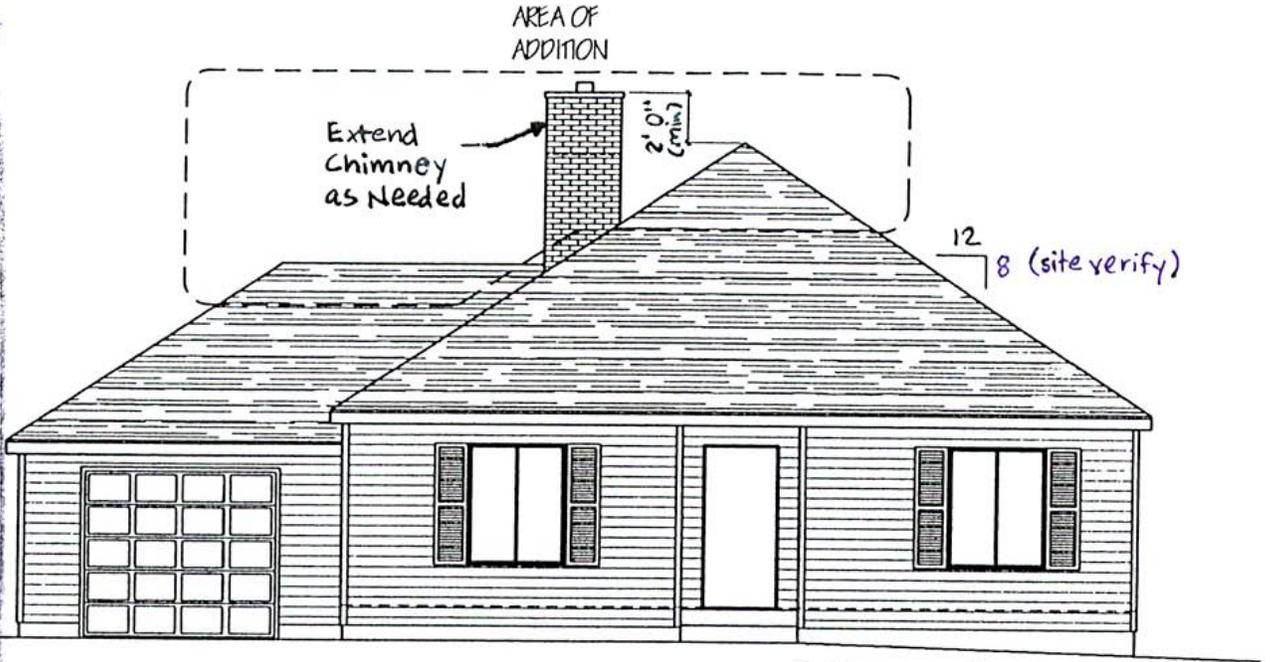
PROJECT FOR:  
 TEETS / FERGUSON RESIDENCE  
 620 S.E. 106TH AVE.  
 PORTLAND, OREGON 97216

DATE: 3/11/09

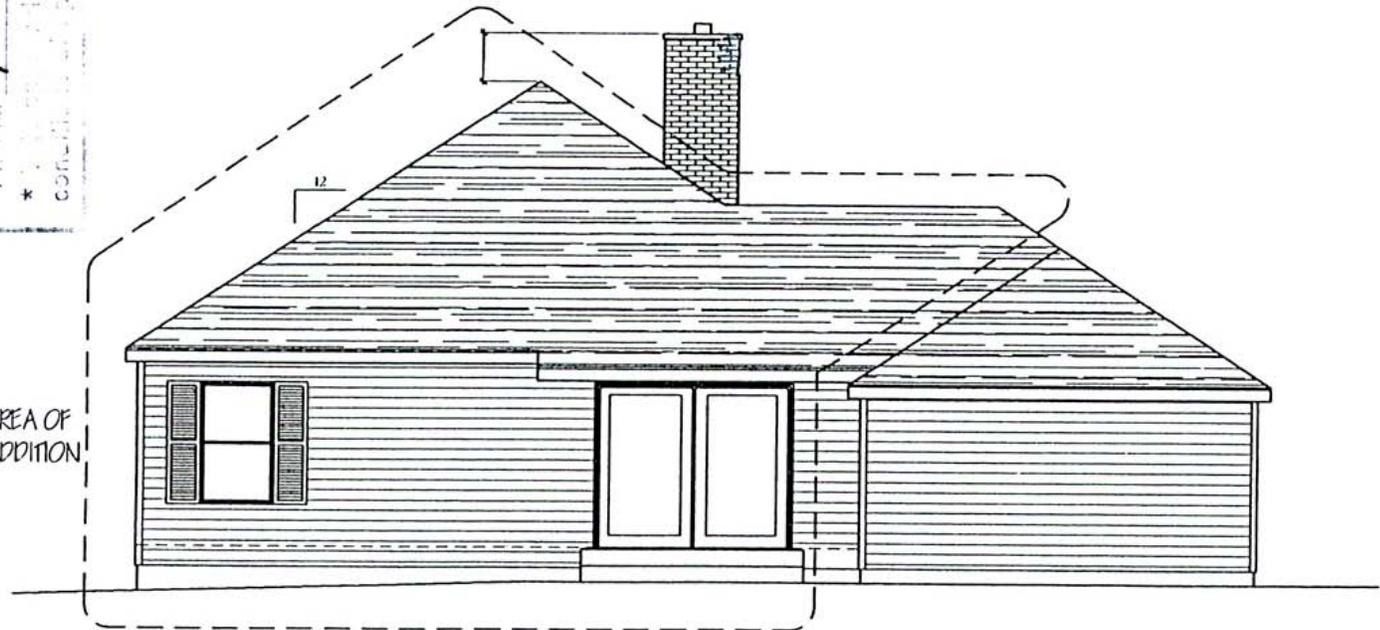
# West and East Elevations

620 SE 106<sup>th</sup> Ave

\*Approved\*  
City of Portland - Bureau of Development Services  
Planner: *Kate Mello*  
Date: *April 24, 2009*  
\*This drawing applies only to the reviews requested on this project. Consult with the Bureau of Development Services for additional zoning requirements in your area.\*



WEST ELEVATION (front)



EAST ELEVATION (rear)

Scale: 1/4" = 1'-0"

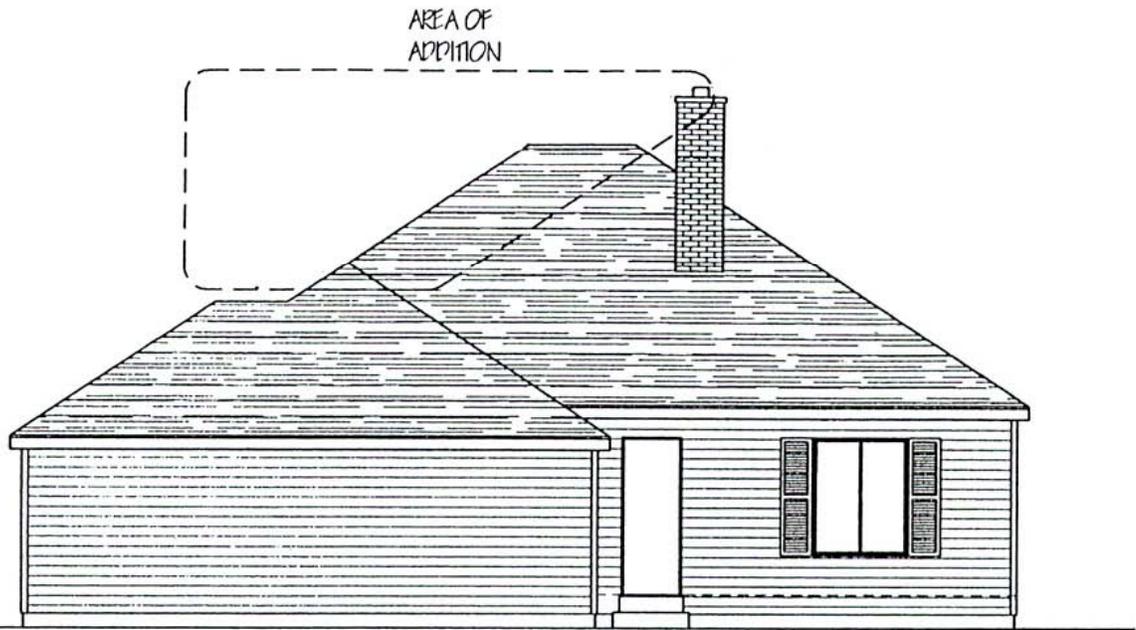
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case #: LU 09-114522 DZ  
Exhibit C-2

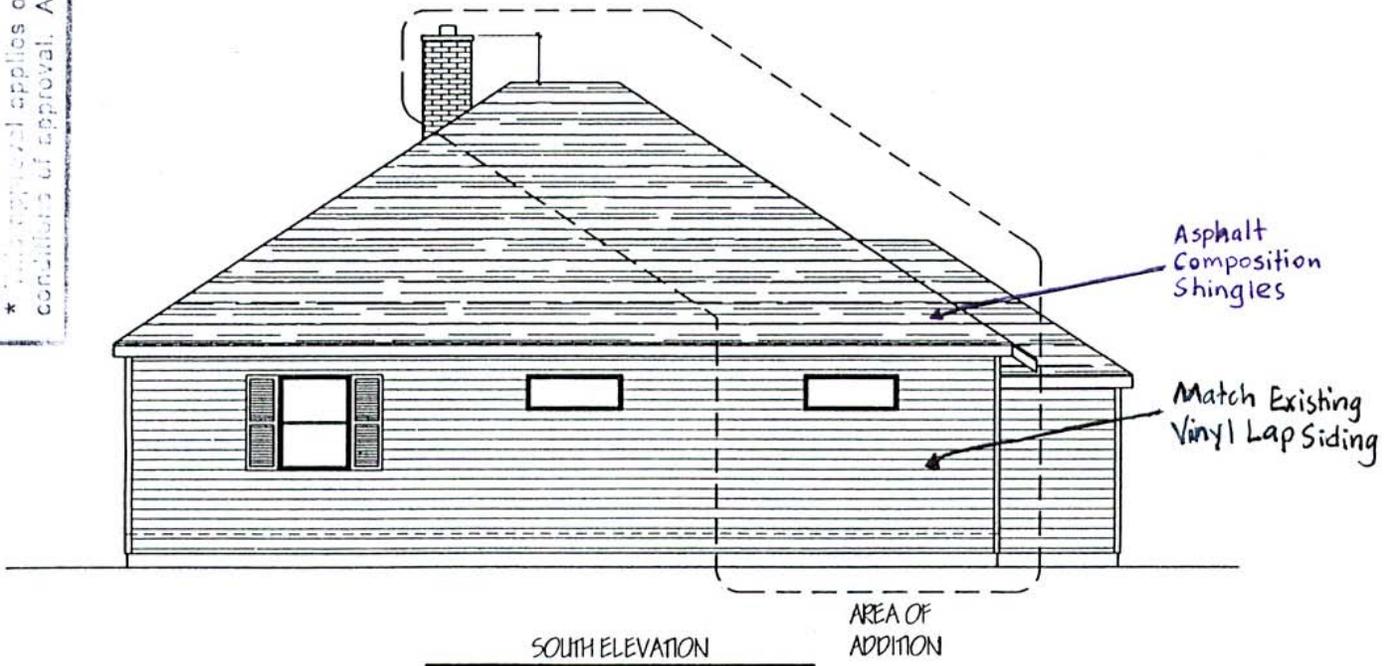
# North and South Elevations

620 SE 106<sup>th</sup> Ave

\*Approved\*  
City of Portland - Bureau of Development Services  
Planner: *Kate Helle* Date: *April 24, 2009*  
\* This approval applies only to the reviews requested and does not constitute a final approval. Additional zoning requirements may apply.



NORTH ELEVATION



SOUTH ELEVATION

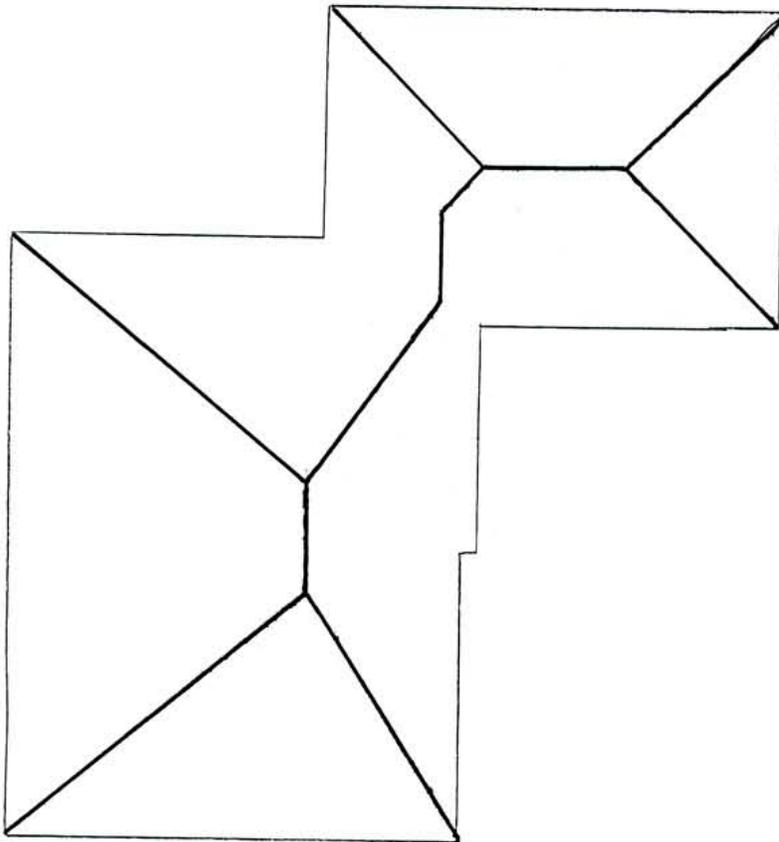
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Sheet size has been altered. Scale is for full-size sheet.

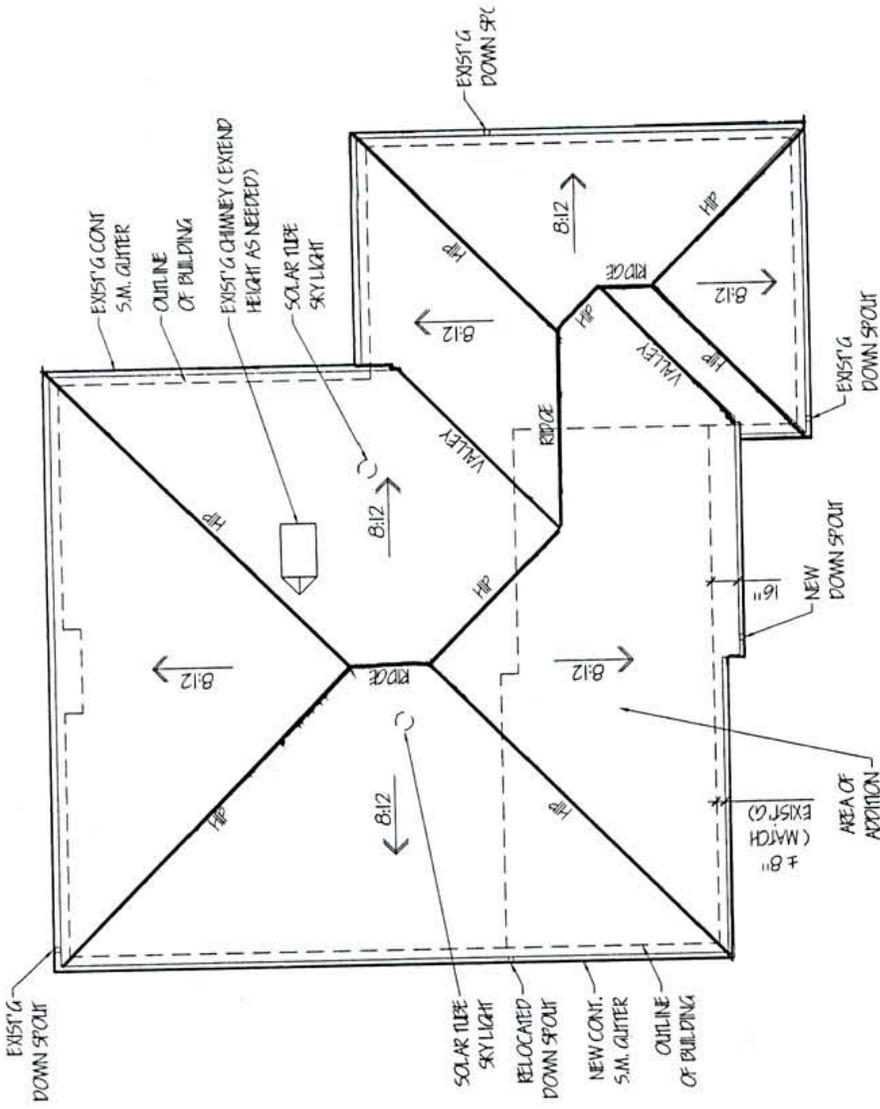
case #: LU 09-114522 DZ

Exhibit C-3

620 SE 106th Ave



Existing Roof Plan



Proposed Roof Plan



Scale: 1/8" = 1'-0"

\*Approved\*  
 City of Portland - Bureau of Development Services  
 Planner Kate Mello Date April 24, 2009  
 \* This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.

Case #: LU 09-114522 DZ

Exhibit C-4