



City of Portland, Oregon
Bureau of Development Services
Land Use Services

1900 SW 4th Avenue, Suite 5000
Portland, Oregon 97201
503-823-7300
Fax 503-823-5630
TTY 503-823-6868
www.portlandonline.com/bds

Date: June 30, 2009
To: Interested Person
From: Kate Marcello, Land Use Services
503-823-9162 | kate.marcello@ci.portland.or.us

NOTICE OF A TYPE I DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it to the Oregon Land Use Board of Appeals (LUBA) at 550 Capitol St. NE, Suite 235, Salem, OR 97301. The phone number for LUBA is 1-503-373-1265. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 09-111775 HDZ **NEW GARAGE DOORS, LIGHT FIXTURES, AWNINGS AT NON-CONTRIBUTING STRUCTURE IN EAST PORTLAND/GRAND AVENUE HISTORIC DISTRICT**

GENERAL INFORMATION

Applicant: Ken Spearing, Pike Awning Company
7300 SW Landmark Lane | Portland, OR 97224
(503) 624-5600

Owner: Huffco Portland LLC
15019 S Rivershore Drive | Vancouver, WA 98683

Site Address: 1006 SE Grand Avenue

Legal Description: EXC PT IN ST LOT 1&2 BLOCK 127, PARK ADD TO E P
Tax Account No.: R644500090
State ID No.: 1S1E02BC 01300
Quarter Section: 3131
Neighborhood: Buckman, contact Susan Lindsay at 503-725-8257.
Business District: Central Eastside Industrial Council, contact Juliana Lukasik at 503-287-5886.

District Coalition: Southeast Uplift, contact Leah Hyman at 503-232-0010.
Plan District: Central City - Central Eastside
Other Designations: Part of East Portland/Grand Avenue Historic District
Main Building: Primary Contributing Structure
Annex Building (site of proposal): Non-contributing Structure

Zoning: Central Employment base zone (EX), Design overlay zone (d), Historic Resource Protection overlay zone (East Portland/Grand Avenue Historic District)

Case Type: Historic Design Review (HDZ)
Procedure: Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal: The applicant requests Historic Design Review approval for the following new elements at the annex to the Arcoa Building, whose historic name is “US Laundry Company Building”:

(Note: The garage doors and light fixtures have already been installed, without first undergoing Historic Design Review. They are part of this Historic Design Review so that they can be “legalized” per 33.445.320A.1 of the Portland Zoning Code.)

1. Garage Doors

Three new garage doors are proposed on the annex building. The garage doors are composed of clear anodized aluminum with rectangular areas of glazing. Each garage door is 8'-0" wide x 9'-0" tall.

- Two garage doors are installed on the east façade where previously there were two solid garage doors.
- The third garage door is installed on the north façade. A new opening has been made in the building façade to accommodate the garage door.

2. Light Fixtures

Three new light fixtures are proposed on the annex building. The fixtures are down-lights. Each fixture is made of metal and has a decorative ring pattern at the upper portion. The fixtures are located adjacent to the new garage doors, and are aligned with the tops of the garage doors.

- Two light fixtures are located on the east façade. One is located between the two new garage doors and the other one is located north of the garage doors, near the north end of the façade.
- The third light fixture is located on the north façade, east of the new garage door.

3. Awnings

Two awnings will be installed on the annex building. The awnings are composed of black fabric (Sunbrella brand) with square aluminum tubes for the framing. Each awning is 3'-0" deep and about 4'-10" tall, with a 1'-0" valence at the front. The sides of each awning are open.

- One awning will be located at the person door on the east façade. The awning will be about 5'-0" wide.
- The other awning will be located on the north façade, at the new aforementioned garage door. The awning will be about 10'-0" wide.

Because the proposal is for non-exempt exterior alterations to an existing building in a designated Historic District, Historic Design Review is required.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33 (Portland Zoning Code). The relevant approval criteria are:

- 33.846 Historic Reviews,
- Central City Fundamental Design Guidelines, and
- East Portland/Grand Avenue Historic District Guidelines.

ANALYSIS

- I. **Site and Vicinity:** The subject site is located in the East Portland/Grand Avenue Historic District, which became a National Register Historic District in 1990. It is an approximately 20-block area roughly bounded by SE Ankeny Street, SE Main Street, Martin Luther King Jr. Boulevard, and 7th Avenue. The historic period of significance for the district is 1883 through 1930. There are four basic property types found within the district: commercial, industrial, social/cultural, and governmental. The district was originally the downtown area of the City of East Portland, which consolidated and became part of the City of Portland in 1891.

The site is located in the north portion of the block bounded by SE Grand Avenue, Yamhill Street, 6th Avenue, and Taylor Street. The site contains the U.S. Laundry Building, also known as the Arcoa Building; an annex building; and an asphalt parking lot.

The U.S. Laundry Company Building is a three-story commercial building that is square in plan and massing. The building is composed of concrete with brick cladding. There are large rectangular window openings at all three floors. At the second and third floors, each opening has three windows, and at the first floor each opening has four windows. There are transom windows at the window openings on the first and second floors. The main entrance to the building is on the SE Grand Avenue façade, which is divided into three bays. The SE Yamhill façade is divided into four bays. There are quoins at the building corners. The frieze is decorated with dentils and there are corbelled brick panels between the second- and third-floor windows. The parapet is flat. The original windows have been replaced with fixed windows.

The building was constructed in 1907. It first housed the US Laundry Company, which was owned by John Dannells, who also owned the building. When he died in 1926, he was eulogized as a “pioneer laundryman.” The building is classified as a Primary Contributing Structure in the East Portland/Grand Avenue Historic District, meaning it was built during the first period of historic significance mentioned in the first paragraph.

The annex building was likely constructed at some point in the last 30 to 40 years. It is one story tall and is composed of corrugated metal, with a concrete base. The entrance to the annex is located on the east façade abutting the parking lot. The annex is classified as a Non-contributing Addition in the East Portland/Grand Avenue Historic District.

With regard to the surrounding transportation environment, Portland’s Transportation System Plan (TSP) has classified SE Grand Avenue as a Major City Traffic Street, Major Transit Priority Street, City Bikeway, Central City Transit/Pedestrian Street, and Regional Main Street. SE Yamhill Street and 6th Avenue are TSP-designated Local Service Bikeways and Local Service Walkways. The site is well-served by mass transit. There is an eastbound stop for TriMet bus route #15 located about 240 feet north of the site at the southeast corner of SE Belmont Street and Grand Avenue, and there is northbound stop for bus route #6 located about 175 feet south of the site at the southeast corner of SE Grand Avenue and Taylor Street. When it opens in Spring 2012, the site will also be served by Portland Streetcar’s newest line, which will be located on SE Grand Avenue and Martin Luther King, Jr Boulevard. Construction begins in late 2009.

- II. Zoning:** The Central Employment (EX) base zone allows mixed uses and is intended for areas in the center of the City that have predominantly industrial-type development. The intent of the zone is to allow industrial and commercial uses that need a central location. Residential uses are allowed, but are not intended to predominate or set development standards for other uses in the area.

The Design (d) overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design overlay zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, Design Review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Historic Resource Protection overlay zone is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks. The regulations that pertain to these properties protect certain historic resources in the

region and preserve significant parts of the region's heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

III. Land Use History: City records indicate prior land-use reviews:

1. DZ 112-90 (90-004224): Design Review approval for a new awning with signage.
2. DZ 071-90 (90-004076): Design Review approval for a new painted wall sign.
3. LUR 97-00748 DZ (97-014794): Design Review approval for improvements to the main entry area on the front façade, including: new storefront system, two new shed-style awnings, and new light fixtures.
4. LUR 98-01059 DZ (98-016365): Design Review approval for a new awning on the south elevation.
5. LUR 99-00952 DZ (99-017357): Design Review approval for three sets of telecommunications antennae on the rooftop.
6. LUR 00-00749 DZ (00-007304): Design Review approval for nine telecommunications antennae pole-mounted to an existing penthouse.
7. LUR 01-00746 HDZ (LUR 01-008143): Historic Design Review approval for three telecommunications antennae within a 1'-0"-diameter cylinder, attached to the wall of an existing penthouse.

IV. Agency Review: A *Notice of Proposal in Your Neighborhood* was mailed on May 8, 2009.

- Five bureaus responded with no comments.
 1. Portland Fire & Rescue;
 2. Portland Water Bureau;
 3. Bureau of Environmental Services;
 4. Urban Forestry Division of Portland Parks & Recreation; and
 5. Site Development Review Section of the Bureau of Development Services.
- Two bureaus responded with comments and with no objections to the proposal.
 1. The Life Safety/Building Code Section of the Bureau of Development Services responded, stating that a "building permit is required for the work proposed and the proposal must be designed to meet all applicable building codes and ordinances. (Exhibit E-1)
 2. The Portland Bureau of Transportation responded, stating that International Building Code (IBC) encroachment standards must be met for "awning projection and door operation." (Exhibit E-2)

V. Neighborhood Review: A *Notice of Proposal in Your Neighborhood* was mailed on May 8, 2009. No written comments in response to the proposal have been received from the neighborhood association (Buckman Community Association), notified property owners, or other members of the public.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846, Historic Reviews

Purpose of Historic Design Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Design Review Approval Criteria

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the East Portland/Grand Ave. Historic District. Therefore the proposal requires Historic Design Review approval. The relevant approval criteria are the East Portland/Grand Avenue Design Zone Design Guidelines and the Central City Fundamental Design Guidelines.

East Portland/Grand Avenue Historic Design Zone Design Guidelines and Central City Fundamental Design Guidelines

The opportunity exists to re-establish the visual and developmental patterns that supported this District as a bustling, urban environment through sensitively designed infill, new construction and restoration. The goal is to integrate the old with the new to enhance the District's continuity. By building upon the basic design tenets historically established here, yet considering the functional needs of new but compatible uses, this goal can be reached and the future of a vibrant Historic District secured.

The Central City Fundamental Design Guidelines and East Portland/Grand Avenue Historic Design Guidelines focus on four general categories. **(A) Portland Personality** addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis** addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design** addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas** provides design guidelines for the four special areas of the Central City.

East Portland/Grand Avenue Historic Design Zone Goals

- Encourage urban design excellence in the Central City.
- Integrate urban design and preservation of our heritage into the process of Central City development.
- Enhance the character of Portland's Central City districts.
- Promote the development of diversity and areas of special character within the Central City.
- Establish an urban design relationship between the Central City districts and the Central City as a whole.
- Provide for a pleasant, rich and diverse pedestrian experience in the Central City.
- Provide for the humanization of the Central City through promotion of the arts.
- Assist in creating a 24-hour Central City which is safe, humane and prosperous.
- Assure that new development is on a human scale and that it relates to the character and scale of the area and the central City.

Central City Plan Design Goals

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project. First, staff addresses the Central City Fundamental Design Guidelines. Then staff addresses the East Portland/Grand Avenue Historic Design Guidelines.

Note: The annex building, which is the site of the proposed alterations, is referred to as "the building" and "the subject building." These terms refers to the annex building only and do not include the U.S. Laundry Company/Arcoa Building.

I. Central City Fundamental Design Guidelines

A4. Use Unifying Elements.

Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish, and Identify Areas.

Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

C4. Complement the Context of Existing Buildings.

Complement the context of existing buildings by using and adding to the local design vocabulary.

Findings for A4, A5, C4: Historic photos of the City of East Portland reveal many commercial buildings with a wide variety of awnings to provide ample weather protection to passersby. Today the trend continues. Many buildings in the vicinity of the subject building have awnings and canopies in a variety of traditional and more modern styles. The District contains buildings with awnings made of fabric, corrugated metal, and vinyl. Awning styles vary, from half-barrel and marquee awnings to shed-style awnings. Given such variation, the proposed awnings are an appropriate addition to the building and the District. The awnings will help to unify the subject building with its surrounding context, including the US Laundry Company/Arcoa Building to which it is connected.

Therefore these guidelines are met.

A6. Reuse/Rehabilitate/Restore Buildings.

Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings for A6: The proposed awnings, light fixtures, and garage doors will contribute to the continued re-use of the annex building by enhancing its appearance, providing weather protection at its main entrance and north façade, and providing night-time lighting in the abutting pedestrian environment.

Therefore this guideline is met.

A7. Establish and Maintain a Sense of Urban Enclosure.

Define public rights-of-way by creating and maintaining a sense of urban enclosure.

B1. Reinforce and Enhance the Pedestrian System.

Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

B4. Provide Stopping and Viewing Places.

Provide safe, comfortable places where people can stop, view, socialize and rest. Ensure that these places do not conflict with other sidewalk uses.

B6. Develop Weather Protection.

Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

Findings for A7, B1, B4, B6: Currently there is no weather protection along the entire 200-foot-long northern edge of the subject block. The proposed awning on the north façade will introduce much-needed protection from rain, wind, and sunlight. Additionally, the awning will provide passersby and building patrons with ample space to stop, socialize, and observe surrounding street-level activity. The awning also enhances the pedestrian environment by highlighting the

transition between the sidewalk and the building's interior. This transition between public and private spheres fosters a stronger sense of urban enclosure on the northern edge of the block.

Therefore these guidelines are met.

A8. Contribute to a Vibrant Streetscape.

Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

Findings for A8: The proposed glazed garage doors significantly increase the amount of glazing on the building's east and north façades, allowing views into the building's interior. The garage door on the north façade will abut the sidewalk, strengthening the visual connection between the public sphere of the streetscape and the private sphere of the building's interior. When the weather is favorable, the garage doors can be opened to allow even ampler views and a stronger connection between interior and exterior. Thus the proposal contributes to a vibrant streetscape in the District.

Therefore this guideline is met.

B2. Protect the Pedestrian.

Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

C12. Integrate Exterior Lighting.

Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

Findings for B2, C12: Three light fixtures are installed on the building: two on the east façade and one on the north façade. The light fixtures are aligned with the tops of the adjacent garage doors. The lights have metal housing that is similar in appearance to the clear anodized aluminum on the garage doors. The fixtures are downlights and thus will provide night-lighting that offers a sense of safety to pedestrians on abutting sidewalks. The simple, industrial-type style of the light fixtures makes them an appropriate addition to the building as well as the surrounding area, which contains many buildings constructed as light-industrial warehouses. The lights will not impact views of the Portland skyline at night.

These guidelines are therefore met.

C2. Promote Quality and Permanence in Development.

Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity.

Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C5. Design for Coherency.

Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for C2, C3, C5: The proposal employs durable materials that impart a sense of quality and permanence to the building. The proposed awnings will be made of Sunbrella-brand black fabric with square aluminum tubes for framing; the garage doors are made of clear anodized aluminum; and the lights have metal housing.

The proposed alterations are compatible with the subject building and allow it to remain a coherent composition. Firstly, the two proposed garage doors on the east façade are located at existing garage door openings. Secondly, the new opening for the new garage door occurs on the north façade at a location where previously there was blank façade with no architectural features. Thirdly, the awnings will be located between the tops of existing door openings and the bottom of the existing metal parapet; this portion of the façade is blank and has no architectural features. The locations for the awnings – at the entrance to the building and at a garage door that functions as a storefront window – are logical and appropriate. Lastly, the light fixtures are also placed appropriately, adjacent to the garage doors and aligned with the tops of the doors. The lights, awnings, and garage doors will provide articulation that gives a strong, unified identity to the building's two street-facing facades.

The proposed alterations are compatible with regard to materials. The awning frames, garage doors, and housing and decorative rings on the light fixtures are all made of metal, which is the predominant material on the subject building. The alterations are also compatible with regard to style. The simple, basic style for the awnings, garage doors, and lights integrates well with the building, which exhibits a simple rectangular form, corrugated metal façade and parapet, and concrete foundation, with no ornamentation or architectural adornment.

The simple design of the garage doors, awnings, and lights is in keeping with the secondary nature of the subject building. The abutting US Laundry Company/Arcoa Building will retain its stature as the more architecturally prominent, historically significant structure on the site.

Therefore these guidelines are met.

C9. Develop Flexible Sidewalk-Level Spaces.

Develop flexible spaces at the sidewalk-level of buildings to accommodate a variety of active uses.

Findings for C9: Whereas previously the building had no glazing on any façade, now the building will have ample glazing provided by the three proposed garage doors. The new glazing increases the flexibility of the subject building to accommodate a variety of active uses in the future.

Therefore this guideline is met.

II. East Portland/Grand Avenue Historic District Guidelines

Guidelines for Alterations

**A61. Use Special East Portland/Grand Avenue Historic Design Zone Guidelines
Scale and Proportion**

A building's bulk in conjunction with its proportional height and width will have a significant impact on the degree to which it fits in with its historic neighbors. Structures which are much wider, taller or just are significantly bigger than neighboring structures will disrupt the continuity of the area and may damage the area's historic integrity.

A61a. Scale and Proportion

1. The added height or width of an alteration should be compatible with the original scale and proportion first of the affected building and second of adjacent buildings.
2. The scale and proportion of altered or added building elements, such as the size and relationship of new windows, doors, entrances, columns and other building features should be visually compatible with the original architectural character of the building.
3. The visual integrity of the original building should be maintained when altering or adding building elements including the vertical lines of columns, piers, the horizontal definition of spandrels and cornices, and other primary structural and decorative elements.

Findings for A6-1a: The garage doors add glazing to the building, which previously had none, thereby giving the building's façade a balanced proportion of voids to solids. The awnings are sized appropriately to correspond to the scale of the person door and garage door, respectively. The simple, straightforward style of the awnings, garage doors, and lights is consistent with the building, which is rectaungular, has a flat roof, and is characterized by a simple corrugated metal façade and parapet, a concrete foundation, and lack of ornamentation. The visual integrity of the building will be maintained.

Therefore this guideline is met.

Rear and Side Walls

Portland and the East Portland/Grand Avenue Historic District share a pattern of orienting corner building entrances to the adjacent north-south street. Within the Historic District city blocks are small resulting in most buildings extending to one or more of the block's corners. Orientations to King Boulevard and Grand Avenue are characteristic of the East Portland/Grand Avenue District. Building alterations should respect this pattern.

A6-1c. Rear and Side Walls

1. Side and rear walls should be compatible with building facades or public street elevations, but can be simple and basically blank.
2. New window and door openings may be added in moderation and when compatible in size, scale, proportion and detailing with the original building. New openings should be designed to be subtly distinguishable from the original building.
3. Where possible, avoid filling openings with concrete block, wood or other material that will change the overall appearance of the wall and/or create blank walls along pedestrian ways.

Findings for A6-1c: The subject building is located at the rear of the US Laundry Company/Arcoa Building. Thus the east façade of the subject building acts as part of the rear elevation of the US Laundry Company/Arcoa Building. The proposal does not include any new window and door openings on the east façade, nor does it include the filling of any existing openings. The new garage doors, awning, and light fixtures on the east façade constitute a relatively minor addition to the overall elevation. Thus the east façade (and by extension, the rear elevation of the US Laundry Company/Arcoa Building) will remain appropriately simple in design.

Therefore this guideline is met.

Awnings, Canopies, and Marquees

Traditionally, awnings, canopies and marquees were found throughout the District. Awnings were usually sloped at an angle and were attached on the first and second levels of buildings, at entrances, and above storefronts. They should be compatible

first with the building and second with the District in size, shape, color, material and overall design. Oversized, inappropriately detailed and shaped awnings, canopies or marquees detract from the historic and architectural character of the building. Though the owner is not required to create an exact duplicate of the historic awning, canopy or marquee, the use of historic photographs of the building or the District that offer precedent for the use and design are highly encouraged in providing a basis to work from.

A6-1h. Awnings, Canopies, and Marquees.

1. Awnings, canopies, and marquees should enhance the character-defining features of the original building.
2. Awnings, canopies, and marquees should not re-orient the public's perception of the main entry to the building by over emphasizing a minor or secondary facade.
3. Two-story awnings, extremely long horizontal awnings and highly unusually shaped awnings were not part of the traditional character of the District and generally are not in harmony with the District.
4. Awnings should be placed between pilasters or in window bays, not across an entire building, and should be installed below the mezzanine windows.
5. Preferably, awnings and canopies should be made of fabric except when there is historic evidence that the original was made of a material other than fabric. Plastic and aluminum should not be used.
6. Awnings and canopies should be installed in the least destructive manner, generally with a lightweight frame, installed within the window frame. However, it must be recognized that installation of even the most sensitive awning system may result in some damage to the historic fabric. Special care should be taken to avoid harm to decorative features. Retractable awnings are acceptable.
7. Illuminated awnings of a sign-like character are not historic and should be avoided.

Findings for A6-1h: One awning will be installed at an existing garage door bay and the other awning will be installed at an existing person door. Given that the garage door acts as a storefront window and the person door serves as the building's main entrance, the awnings' locations are logical and appropriate.

Currently the entrance to the building is relatively unpronounced, with a single solid door. The awning proposed for the east façade will give the entrance a stronger identity by visually highlighting the door's location. The awning will not re-orient the public's perception of the main entry location for the US Laundry Company/Arcoa Building, which is centered on the west façade of that building and is characterized by recessed double-doors, a prominent light fixture, and a tiled gateway-type element.

The two proposed awnings will be made of fabric with aluminum tube framing. Installation of the awnings will not damage any decorative features on the building. The awnings will not be illuminated or contain signage. At widths of 5'-0" and 10'-0" for the person door and the garage door, respectively, the awnings will not be extremely long and horizontal. At about 4'-10" tall, the awnings will not be two stories in height. The shed style of the awnings is simple and can be found on a number of structures in the District.

Therefore this guideline is met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The purpose of the Historic Design Review process is to ensure that exterior alterations to existing buildings protect the integrity of the special characteristics of the historic resources. The proposal for new garage doors, awnings, and light fixtures employs durable materials that impart a sense of quality and permanence to the building. The proposed alterations respect the architectural integrity of the subject building and will result in a coherent composition. In addition, the simple, unadorned design of the garage doors, awnings, and lights is in keeping with the secondary nature of the subject building. This allows the abutting US Laundry Company/Arcoa Building to retain its stature as the more architecturally prominent, historically significant structure. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of three new glazed garage doors, three new light fixtures, and two new awnings on the annex building associated with the US Laundry Company/Arcoa Building.

Approval per the approved site plans, Exhibits C-1 through C-5, signed and dated June 26, 2009, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C-1 through C-5. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 09-111775 HDZ."

Staff Planner: Kate Marcello

Decision rendered by:  **on June 26, 2009**

By authority of the Director of the Bureau of Development Services

Decision mailed (within 5 days of dec.): June 30, 2009

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on March 3, 2009, and was determined to be complete on May 1, 2009.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on March 3, 2009.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may

be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

This decision, and any conditions associated with it, is final. It may be appealed to the Oregon Land Use Board of Appeals (LUBA), within 21 days of the date the decision is mailed, as specified in the Oregon Revised Statute (ORS) 197.830. Among other things, ORS 197.830 requires that a petitioner at LUBA must have submitted written testimony during the comment period for this land use review. You may call LUBA at 1-503-373-1265 for further information on filing an appeal.

The file and all evidence on this case is available for your review by appointment. Please contact the receptionist at 503-823-7967 to schedule an appointment. Copies of all information in the file can be obtained for a fee equal to the cost for such services. You may also find additional information about the City of Portland and City Bureaus, as well as a digital copy of the Portland Zoning Code, by visiting the City's homepage on the Internet at www.portlandonline.com.

Recording the final decision.

If this Land Use Review is approved, the final decision must be recorded with the Multnomah County Recorder. A building or zoning permit will be issued only after the final decision is recorded. The final decision may be recorded on or after **Tuesday, June 30, 2009**.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-7967.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

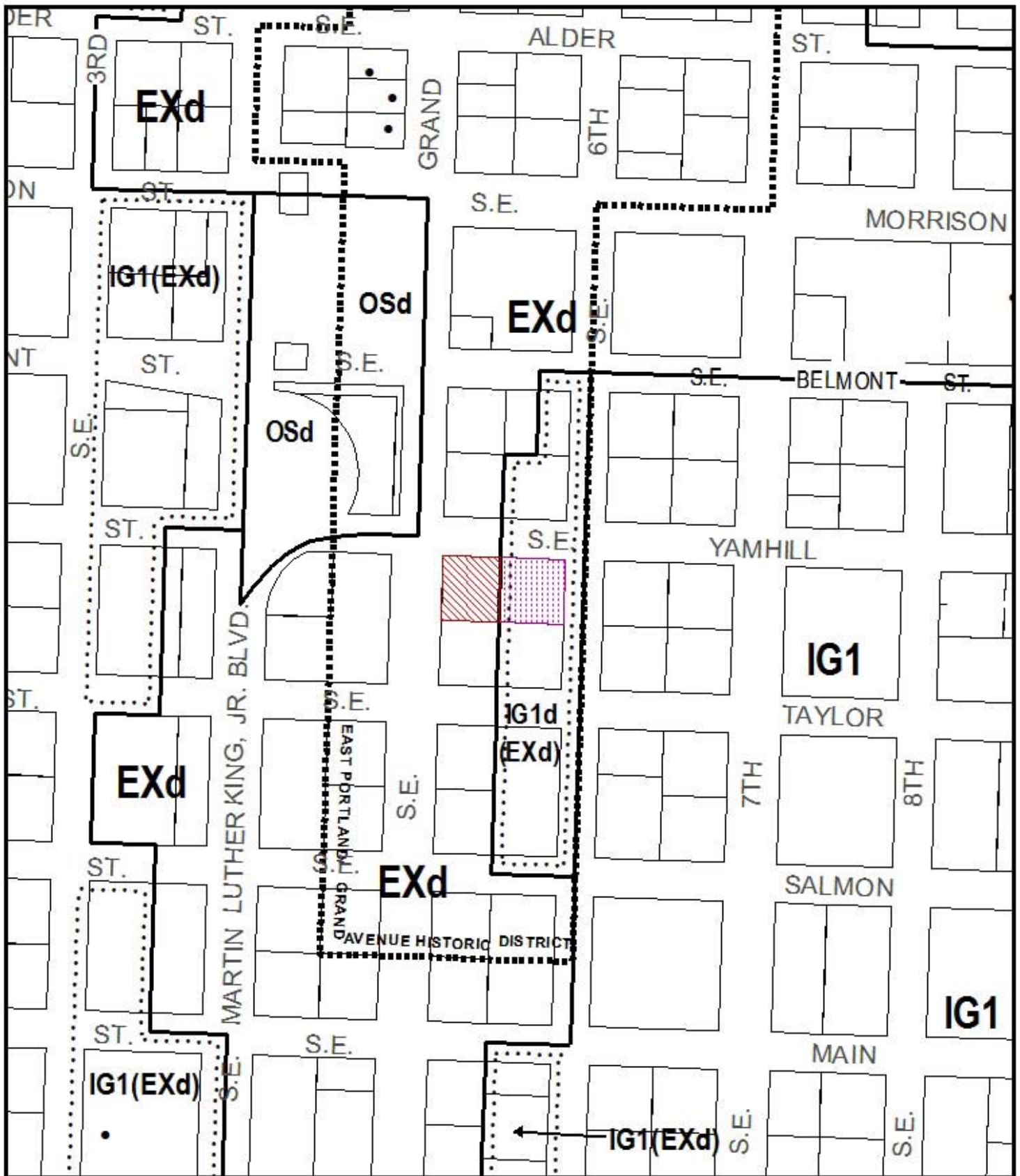
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code for the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans and Drawings:
 - 1. Site Plan (attached)
 - 2. East Elevation Drawing (attached)
 - 3. North Elevation Drawing (attached)
 - 4. Awning Section Drawings (attached)
 - 5. Photographs of Light Fixture (partially attached)
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Life Safety/Building Code Section of the Bureau of Development Services
 - 2. Portland Bureau of Transportation
- F. Correspondence (from members of the public):
None received.
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research
 - 3. 21-day Letter ("Incomplete Letter")
 - 4. East Portland/Grand Avenue Historic District nomination file (National Register of Historic Places)
 - 5. Site Visit Photographs

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-7300 (TTY 503-823-6868).



ZONING

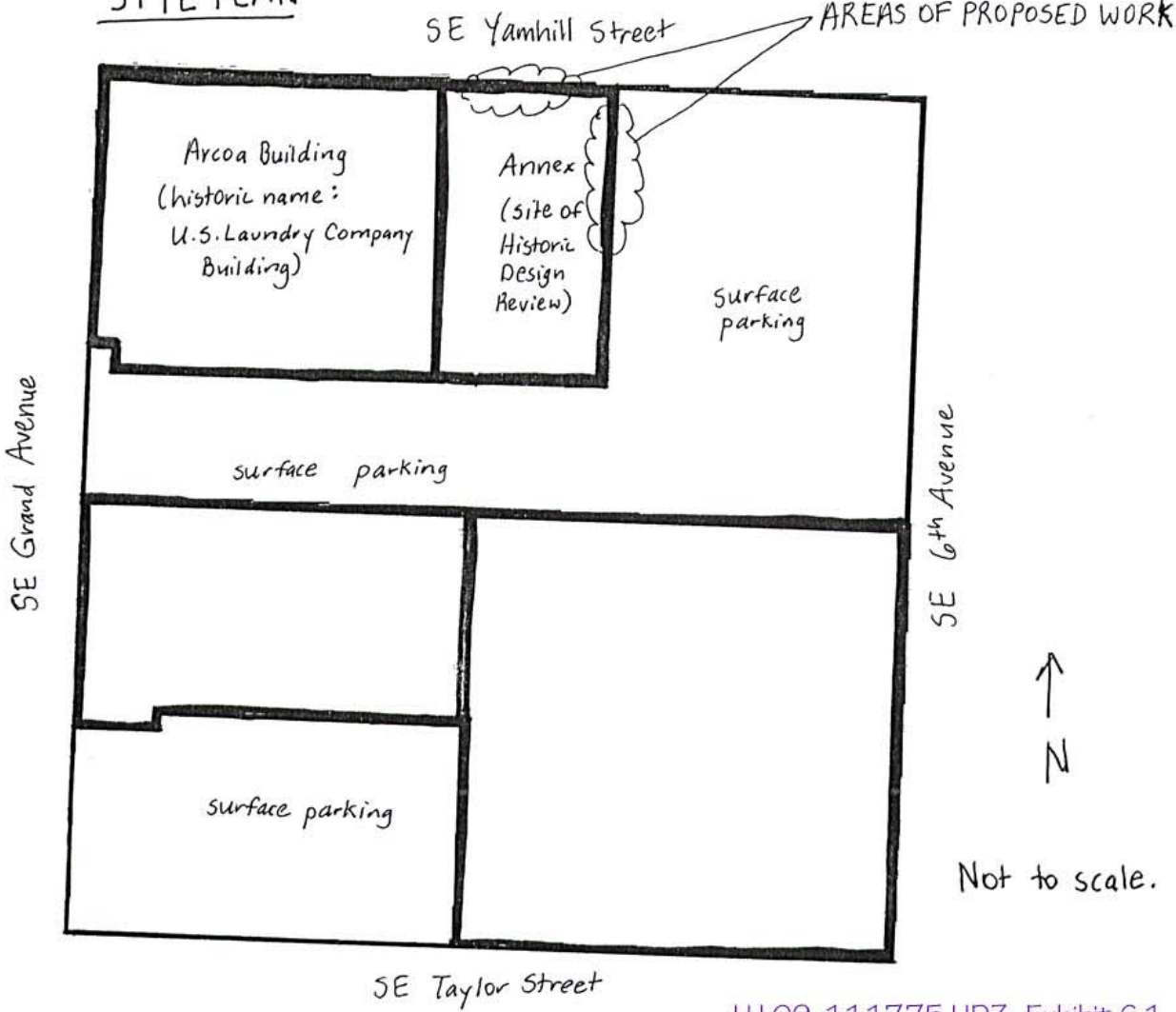
-  Site
-  Also Owned

File No. LU 09-111775 HDZ
 1/4 Section 3131
 Scale 1 inch = 200 feet
 State_Id 1S1E02BC 1300
 Exhibit B (Mar 04,2009)



This site lies within the:
 EAST PORTLAND / GRAND AVENUE HISTORIC DISTRICT
 CENTRAL CITY PLAN DISTRICT

SITE PLAN



LU 09-111775 HDZ Exhibit C.1

* Approved*
 City of Portland - Bureau of Development Services
 Planner Kate Nardo Date 26 June 2009
 * This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.



Photo of new garage doors + light fixture
(east facade)

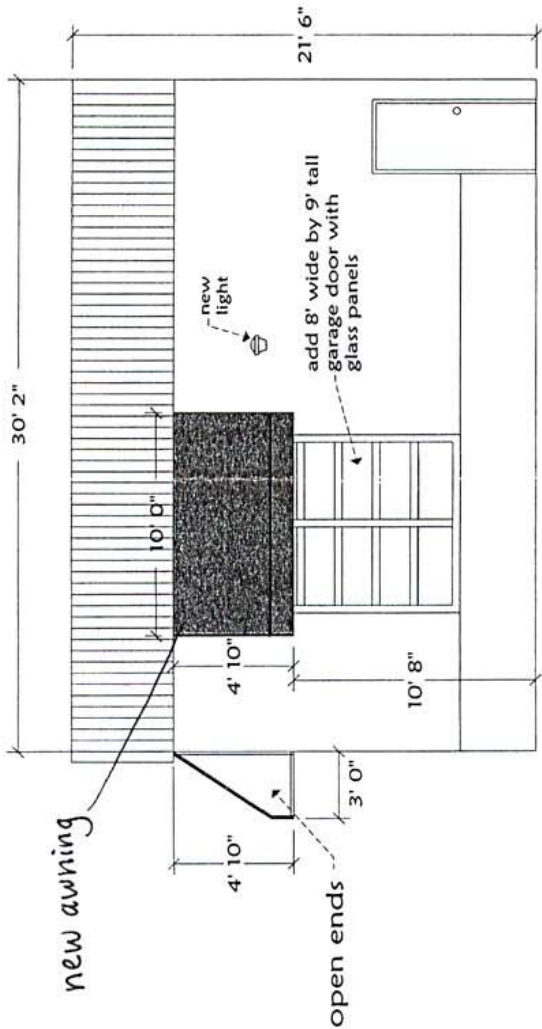
light fixture

LU 09-111775 HDZ Exhibit C.5

Case number: LU 09-111775 HDZ

Elevation Drawings

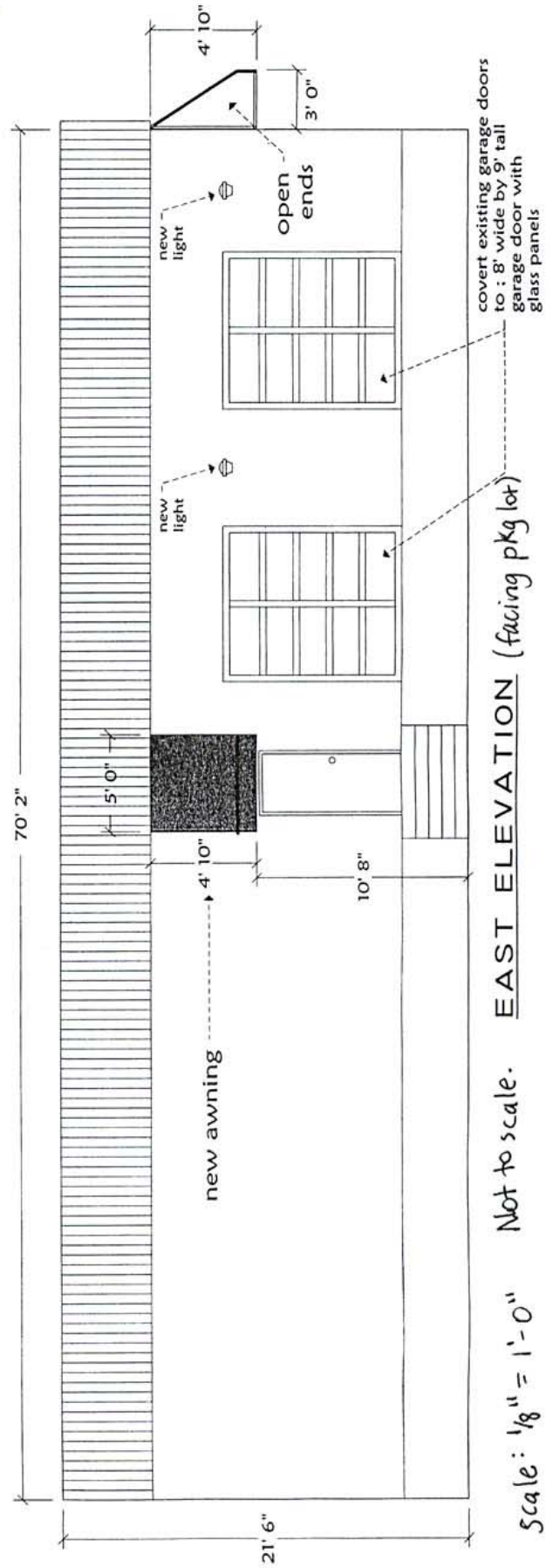
Exhibits
C-2
and
C-3



North Elevation
LU 09-111775 HDZ Exhibit C.3

Not to scale. NORTH ELEVATION (facing SE Yamhill St)

NOTE: Awnings to have open ends.



East Elevation
LU 09-111775 HDZ Exhibit C.2

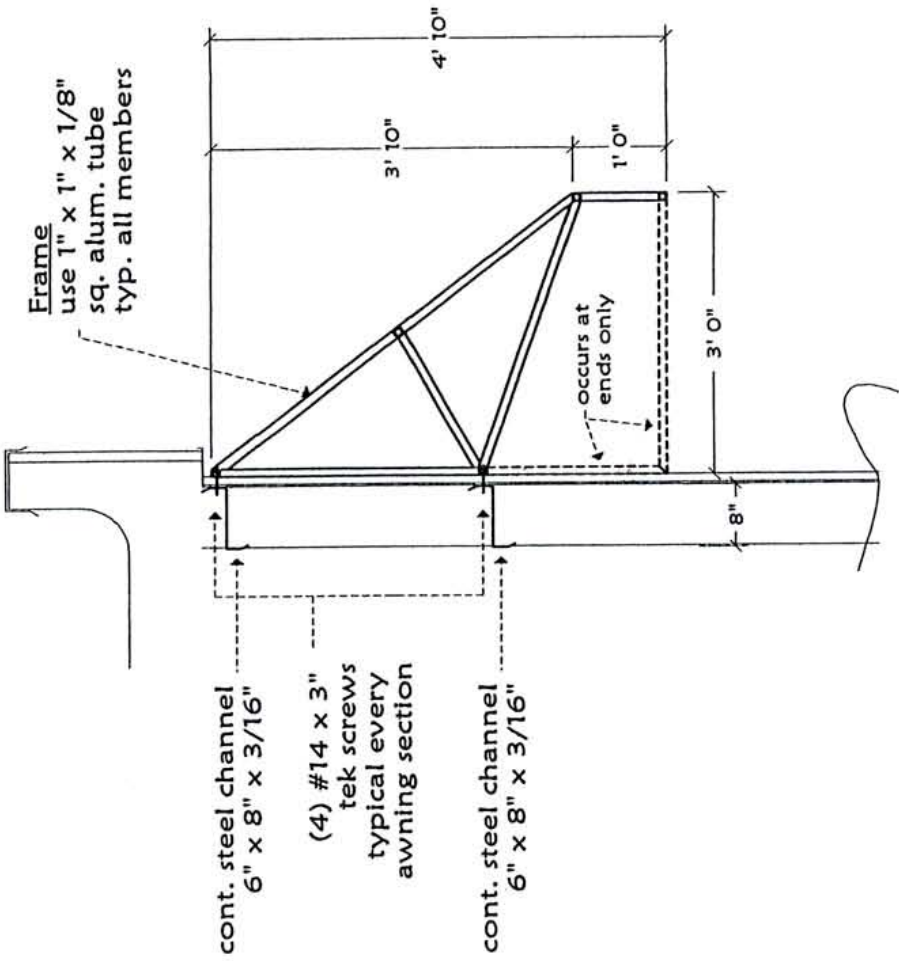
Scale: 1/8" = 1'-0"

Not to scale.

EAST ELEVATION (facing pkg lot)

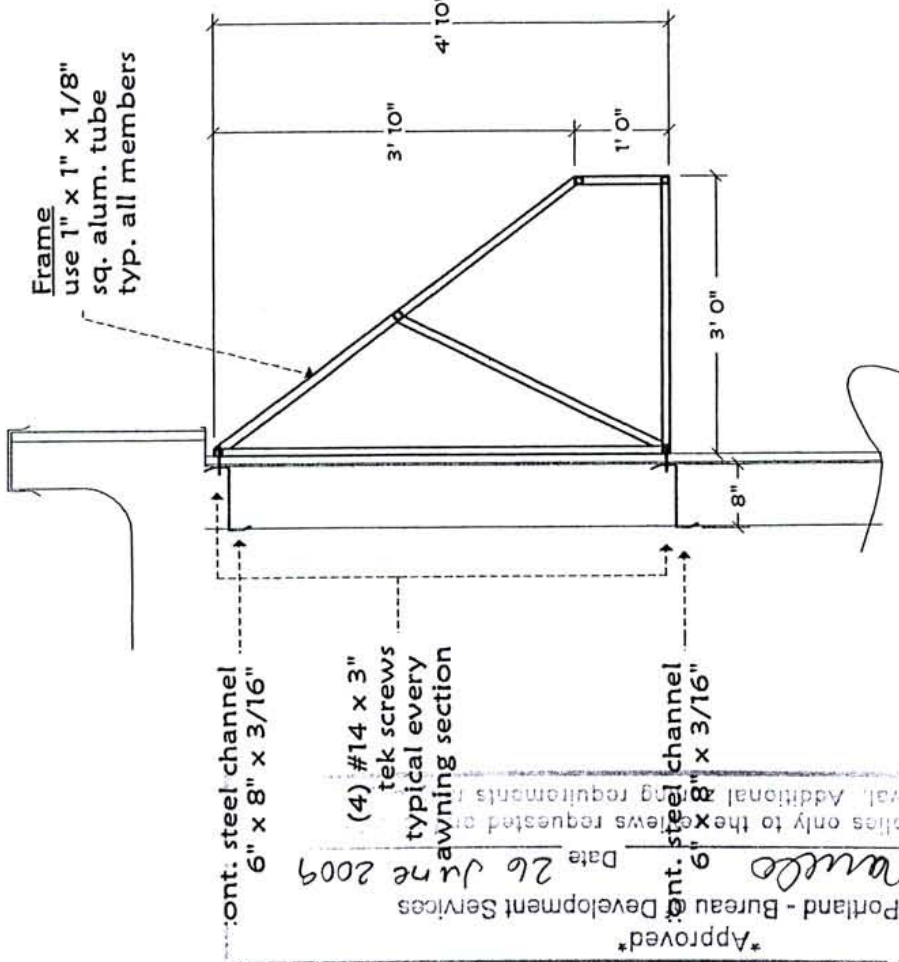
City of Portland - Bureau of Development Services
 Planner *Kate Mulla* *Approved* Date *26 June 2009*
 * Final approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.

Awning Section Drawings



LARGE AWNING SECTION

(north elevation)



SMALL AWNING SECTION

(east elevation)

Note: Awnings to have open ends.

Approved
 City of Portland - Bureau Development Services
 Date 26 June 2009
 Applies only to the screws requested on
 approval. Additional requirements
 apply to the screws requested on
 approval.
 late mawalee

7300 SW LANDMARK LN. PORTLAND OR 97232 PH#(503) 624-5600 FX#(503) 968-5440 dan@pikeawning.com	DATE: 3/2/2009 BY: DAN SPEARING SHEET: 1 SCALE: 1' 0" = 24' 0"	PROJECT: HUFFCO PORPERTY MANAGEMENT SIERRA PACIFIC WINDOWS 1006 SE. GRAND AVE. PORTLAND, OREGON	DESCRIPTION: STYLE: SLOPED ROOF FABRIC: SUNBRELLA # 4608 BLACK FRAME: SQ. ALUM. TUBE POWDER COAT: NO	QTY: 2
---	---	---	--	--------

