



City of Portland, Oregon
Bureau of Development Services
Land Use Services

1900 SW 4th Avenue, Suite 5000
Portland, Oregon 97201
503-823-7300
Fax 503-823-5630
TTY 503-823-6868
www.portlandonline.com/bds

Date: July 7, 2009
To: Interested Person
From: Shawn Wood, Land Use Services
503-823-6962 / woods@ci.portland.or.us

**NOTICE OF A TYPE II DECISION ON A PROPOSAL IN
YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

**CASE FILE NUMBER: LU 09-129282 DZ – PSU NORTH PLAZA
REVISIONS**

GENERAL INFORMATION

Applicant: Kate Vance 503-725-8163
Portland State University Facilities and Planning
PO Box 751
Portland, OR 97207

Representative: Nancy Merryman 503-222-3753
Merryman Barnes Architects
1231 NW Hoyt Street, Suite 403
Portland, OR 97209

Property Owner: Oregon State Board of Higher Education
PO Box 3175
Eugene, OR 97403

Site Address: 1721 SW BROADWAY

Legal Description: LOT 1-8 BLOCK 201, PORTLAND
Tax Account No.: R667721520
State ID No.: 1S1E04AD 08500
Quarter Section: 3128
Neighborhood: Portland Downtown, contact Jennifer Geske at 503-750-9843
Business District: Downtown Retail Council, contact Lisa Frisch at 503-552-6740
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212
Plan District: Central City - University District
Zoning: Central Commercial with a Design Overlay (CXd)
Case Type: Design Review (DZ)
Procedure: Type II, an administrative decision with appeal to the Design Commission

Proposal: A previous land use review (LU 08-125750 DZ) approved improvements to formerly vacated rights of way between Cramer, Smith, and Nueburger Halls on the PSU campus. The improvements included revisions to the loading dock (wall removal and new roll-up door), traffic control at SW Broadway, paving, lighting, landscaping, grading, information kiosk, smokers kiosk, benches, bike canopy, bike racks, emergency call station, and new ceiling treatments under pedestrian bridges.

This Design Review is for revisions to the previous land use review. The proposed revisions, which would occur in the pedestrian plaza area on the north side of Smith Hall, include the addition of flow-through stormwater planters and location changes for benches and bike racks. The stormwater planters would be located at, or below the grade of the plaza and would include a mix of trees and other plantings. The proposed bench design has also been revised from the former design.

Exterior alterations/development in a design overlay zone require Design Review.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- 33.825 Design Review
- Central City Fundamental Design Guidelines

ANALYSIS

Site and Vicinity: : Portland State University (PSU) is generally located at the south edge of the downtown core, bounded by I-405 on the south and west as the freeway curves around the Central City area. The specific development areas are Smith Memorial Student Union and both pedestrian plazas just north and south of this building. The plazas are vacated street rights-of-way that align with SW Montgomery and SW Harrison, between SW Broadway and the South Park Blocks.

Portland's Transportation System Plan classifies SW Broadway as a Traffic Access Street, City Bikeway, City Walkway, and Community Main Street. The site is within the Downtown Pedestrian District.

Zoning: The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together.

The design (d) overlay zone promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development must meet the Community Design Standards (Chapter 33.218) or are subject to design review.

Land Use History: City records indicate that prior land use reviews include the following:

- LUR 97-014188 CUDZ (reference file # 97-014188): Approval of wireless communications facility.
- LUR 98-015699 CU (reference file # 98-00393): Approval to remove a condition of approval from Hearings Officer decision CU 145-86; condition was that PSU must work with the Portland Office of Transportation to develop a Comprehensive Transportation Strategy.
- LUR 99-017088 DZ (reference file # 99-00683): Approval of modifications through design review in order to upgrade nonconforming development, in accordance with land use review conditions of approval for the new Urban Center.

- LUR 01-007830 CU PR (reference file # 01-00432): Approval to revise condition of LUR 98-00393 CU to change approved parking from 159 residential parking spaces and 45 growth parking spaces to 204 visitor parking spaces; add two levels to Parking Garage 3.
- LU 02-143292 DZ: Approval for the Walk of the Heroines outdoor gathering place to honor women’s contributions to society.
- LU 07-143997 DZ: Approval for the Walk of the Heroines outdoor gathering place to honor women’s contributions to society. This was a follow-up review to LU 02-143292 DZ.
- LU 08-125750 DZ: Approval of plaza improvements.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **June 4, 2009**. The following Bureaus have responded with no issues or concerns:

The **Bureau of Environmental Services (BES)** responded with the following comment: Please see Exhibit E-1 for additional details.

The following conditions of approval and informational comments are based on the land use review information provided to the bureau of environmental services (BES). The applicant may contact me with any questions or concerns.

Proposal summary: Design review for revisions to the previous review LU 08-125750 DZ for improvements to formerly vacated rights of way between Cramer, Ssmith, and Nueburger halls on the PSU campus, specifically the addition of flow-through planters.

BES summary response: *Any new or redeveloped impervious area created by this project must be managed according to the Stormwater Management Manual current at the time of building permit review. Stormwater runoff from new or redeveloped impervious area must be pre-treated and detained by means of a vegetated surface facility to the maximum extent practicable. Stormwater disposal can be directed off-site to one of the city-owned storm-only sewer lines available to this property. Refer to the following additional information.*

Sanitary Services

1. There are two existing City-owned sanitary-only sewers located in SW Mill Street and in SW Montgomery Street. Due to the proposed specialty paving in the area above the public sewer, an encroachment agreement may be required at the time of building permit to ensure that the City is not responsible for replacement of the specialty pavement if its removal becomes necessary for the maintenance of the sewer.
2. There are two existing privately owned sanitary-only sewers located on the eastern and western sides of this site.

Stormwater Management & Water Resources

General Information/Requirements: The stormwater runoff generated from the proposed development must meet the requirements of the City of Portland’s Stormwater Management Manual (SWMM) that is current at the time of building plan review. The 2008 SWMM can be found online at www.portlandonline.com/bes. Follow the links to *Publications*, then *Stormwater Management Manual*. The applicant may also contact BES with questions.

1. There are three existing City-owned storm-only sewers located along the western side of this site, in SW Mill Street and in SW Broadway.
2. There is also a short section of storm-only sewer line located along the southern side of this site that is not owned by the City of Portland.

3. For proposed development projects, BDS Site Development approves any on-site disposal of stormwater runoff on private property and BES approves any discharges of stormwater runoff off-site. **For this particular project, BDS Site Development does not recommend on-site infiltration of stormwater runoff. Therefore, stormwater runoff from new or redeveloped impervious area must be pre-treated and detained by means of a vegetated surface facility to the maximum extent practicable. Stormwater disposal can be directed off-site to one of the City-owned storm-only sewer lines available to this property. Please note, there is a short section of storm-only sewer line located along the southern side of this site this is not owned by the City of Portland. If stormwater runoff from this project is proposed to be directed to that storm-only sewer line, the owner of the sewer may need to provide approval.** Please refer to comments from BDS Site Development for additional information.

Conditions of Approval

BES has no recommended conditions of approval.

The **Site Development Section of BDS** responded with the following comment: Please see Exhibit E-2 for additional details.

Site Development has no objection to approval of this Design Review.

Stormwater treatment and disposal.

Site Development does not recommend on-site infiltration of stormwater at this location. After pre-treatment and flow control (if required) stormwater may be directed to the public storm system, with BES approval. Please refer to the response from the Bureau of Environmental Services for additional comments and requirements pertaining to stormwater.

Please direct questions regarding this requirement to Jason Butler-Brown, (503) 823-4936.

Erosion control.

Erosion prevention and sediment control requirements found in **Title 10** apply to both site preparation work and development. Full compliance with the erosion control requirements of Title 10, as well as maintenance of the erosion control elements, such as silt fences on private property, storm drain inlet protection and bio bags in the public right-of-way, is the responsibility of the property owner, the developer, and the builders. An erosion control plan will be required at the time of plan review. Please refer to the City of Portland **Erosion and Sediment Control Manual** for additional information regarding erosion and sediment control requirements.

The **Water Bureau** responded with the following comment: Please see Exhibit E-3 for additional details.

The Water Bureau has reviewed the proposed action and has the following comments:

The Water Bureau has no objections to the proposed planters and landscaping.

There is an 8-inch water main that runs adjacent to the west side of the two buildings, and a 36-inch water main that runs along the west side of SW Broadway. Neither of these two water mains appears to be in close proximity to the proposed work.

As there are no proposed new water services, nor changes to existing ones, the Water Bureau has no concerns about the proposed action at this time.

The static water pressure range at this location is estimated to be 52 to 65 psi.

Conditions of Approval: None.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on June 4, 2009. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental Design Guidelines.

Central City Fundamental Design Guidelines

These guidelines provide the constitutional framework for all design review areas in the Central City.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A3. Respect the Portland Block Structures. Maintain and extend the traditional 200-foot block pattern to preserve the Central City's ratio of open space to built space. Where superblock exist, locate public and/or private rights-of-way in a manner that reflects the 200-foot block pattern, and include landscaping and seating to enhance the pedestrian environment.

Findings: The Portland block structure will be maintained with this project. The former rights-of-way on the north and south sides of Smith Center are maintained for pedestrian and loading use. *This guideline is therefore met.*

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for A4 and C5: The north and south plazas will use similar materials and patterns. In addition, both plazas will use similar bicycle racks, lighting, bollards, trash receptacles, and tree grates to unify and connect the two areas. The paving pattern of both plazas continues to the Park Blocks and integrates the plain concrete pattern found within the park blocks, while also adding unique colored pavers. The materials and elements used in the north and south plazas are in some cases unique to the Portland State University campus. However, the unique emphasis on the plazas as a gateway to the campus and the potential to continue some of these materials and elements to future campus projects allows for the introduction of these newer features. The addition of stormwater planters serves to strengthen the link between the north plaza and the park blocks. *These guidelines are therefore met.*

A5. Enhance, Embellish, and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

A9. Strengthen Gateways. Develop and/or strengthen gateway locations.

B3. Bridge Pedestrian Obstacles. Bridge across barriers and obstacles to pedestrian movement by connecting the pedestrian system with innovative, well-marked crossings and consistent sidewalk designs.

B7. Integrate Barrier-Free Design. Integrate access systems for all people with the building's overall design concept.

C1. Enhance View Opportunities. Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity. Size and place new buildings to protect existing views and view corridors. Develop building façades that create visual connections to adjacent public spaces.

C6. Develop Transitions between Buildings and Public Spaces. Develop transitions between private development and public open space. Use site design features such as movement zones, landscape element, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.

Findings for A5, A9, B3, B7, C1, and C6: The site context is complex and could be characterized as a zone where education, urban life, and transportation intersect. These combined elements create a vibrant and vitally engaging area. Although the plazas are not formally identified gateways in City plans, they create understood

main entries into the Portland State University campus. The existing sky-bridges over the plazas form a gateway and frame views into the South Park Blocks from passing vehicle and pedestrian traffic on SW Broadway, and from approaching traffic on SW Harrison. The proposed project integrates and improves the functional and aesthetic qualities of the plazas and enhances these gateways between the urban, auto-oriented context of SW Broadway and the cultural, pedestrian-oriented context of PSU and the South Park Blocks.

The exposed concrete structure and minimal, industrial-type lighting of the existing bridges contribute to the current dark, damp, institutional, unfinished character of the plazas. A previously approved ceiling treatment at the south bridge, new lighting, and new plaza landscaping, proposed stormwater planters, and paving enrich the frame and soften the plaza edges. These changes set up a pleasing foreground for views beyond and enhance the transition into campus and the South Park Blocks during all times of the day and through the seasons.

Alternative transportation, particularly in the form of bicycling, is also an important theme of Portland and a priority for PSU. The bike parking at the North plaza has moved away from the wall of Cramer Hall in order to keep a clear path adjacent to the building for the sight-impaired. A trashcan will be relocated for the same purposes.

These guidelines are therefore met.

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

B4. Provide Stopping and Viewing Places. Provide safe, comfortable places where people can stop, view, socialize and rest. Ensure that these places do not conflict with other sidewalk uses.

Findings for B1 and B4: New fixed benches with southern light exposure provide places to stop, sit, and people watch. The new stormwater planters work with the previously approved walkway patterning, thereby enhancing the pedestrian experience and continuing the important connections to the existing entrances of the buildings. *These guidelines are therefore met.*

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

Findings: The new stormwater planters and revised bench design/location will work together with other previously approved elements to create a vibrant experience for the pedestrian. *This guideline is therefore met.*

B5. Make Plazas, Parks and Open Space Successful. Orient building elements such as main entries, lobbies, windows, and balconies to face public parks, plazas, and open spaces. Where provided, integrate water features and/or public art to enhance the public open space. Develop locally oriented pocket parks that incorporate amenities for nearby patrons.

Findings: The addition of the stormwater planters into the previously approved space will only serve to enhance the design and functionality of the plaza. The

relocation of the benches and bike areas assist in making the plaza successful for all that care to enjoy it. *This guideline is therefore met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

Findings: All finishes are designed for exterior use and will hold up to the weather conditions found in the plazas. These finishes include steel, aluminum, glass, Ipe wood, and concrete. *These guidelines are therefore met.*

D1. Park Blocks. Orient building entrances, lobbies, balconies, terraces, windows, and active use areas to the Park Blocks. In the South Park Blocks, strengthen the area's emphasis on history, education, and the arts by integrating special building elements, such as water features or public art. In the Midtown Park Blocks, strengthen the connection between the North and South Park Blocks by using a related system of right-of-way elements, materials, and patterns. In the North Park Blocks, strengthen the area's role as a binding element between New China/Japantown and the Pearl District.

Findings: The addition of the stormwater planters into the plans works to extend the theme of the park Blocks into the space and enhances Portland's already strong reputation as a progressive, sustainable model. This element will create an exciting and different character that will be part of a larger campus-wide design effort. *This guideline is therefore met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

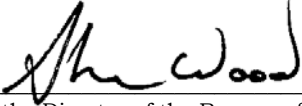
The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The revised proposal adds an on-site stormwater disposal element while still maintaining the important pedestrian and bicycle amenities of the former proposal. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of stormwater planters, new bench design and revised bench and trash can location. All aspects of plaza design previously approved stand unless otherwise altered or added by this review. All approvals per the approved plans, Exhibits C.1 through C.6, signed and dated July 2, 2009, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.6. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 09-129282 DZ. No field changes allowed."

Staff Planner: Shawn Wood

Decision rendered by:  **on (July 2, 2009)**
By authority of the Director of the Bureau of Development Services

Decision mailed: July 7, 2009

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on May 18, 2009, and was determined to be complete on June 1, 2009.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on May 18, 2009.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on July 21, 2009** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at

least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **July 22, 2009**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

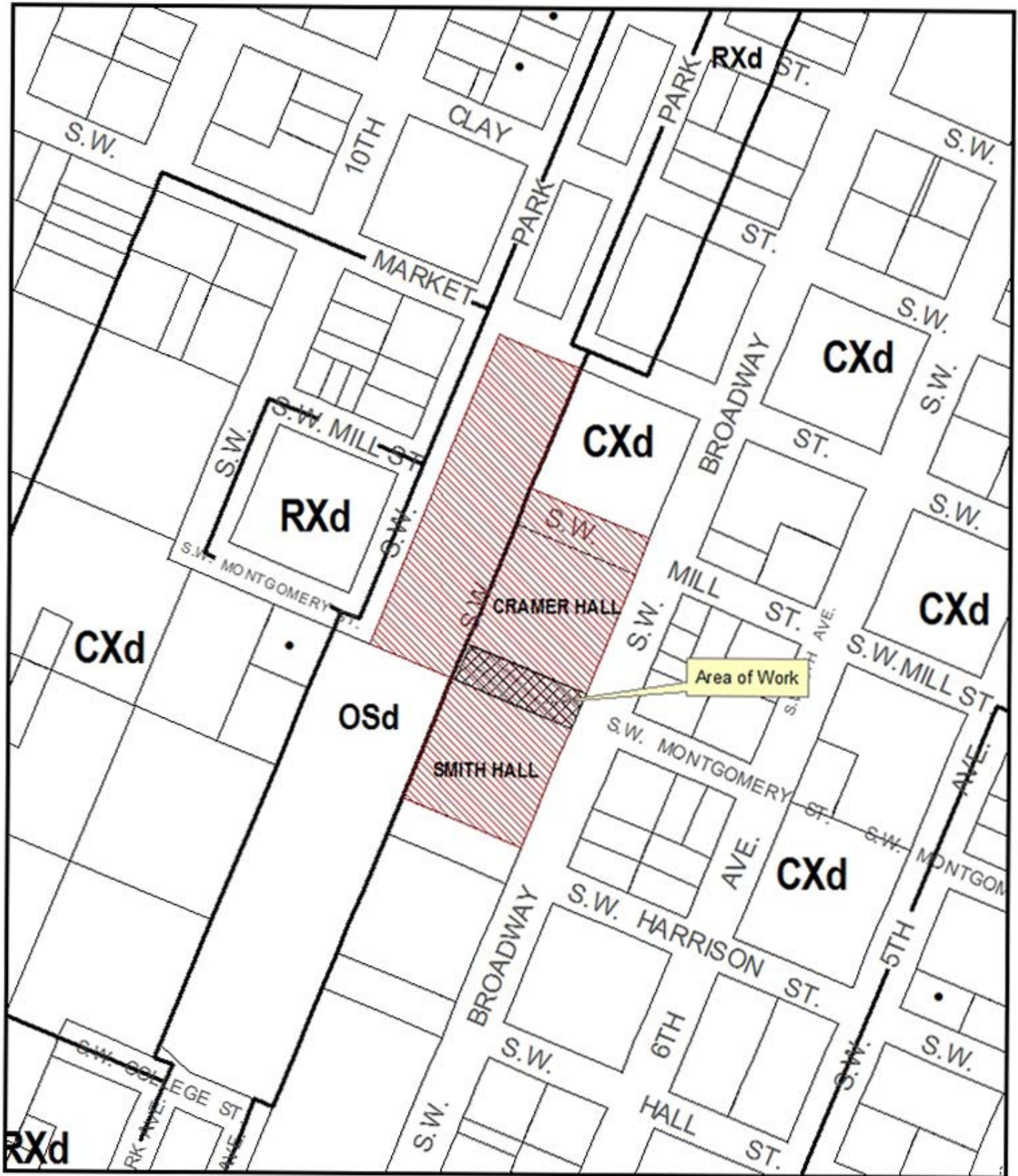
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. North and South Elevations (attached)
 - 3. Planting Plan (attached)
 - 4. Typical Stormwater Planter Cross Section
 - 5. Bench Design
 - 6. Tree Grate Design
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Environmental Services
 - 2. Site Development Review Section of BDS
 - 3. Water Bureau
- F. Correspondence:
 - None Received
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-7300 (TTY 503-823-6868).



ZONING

 Site

 Historic Landmark



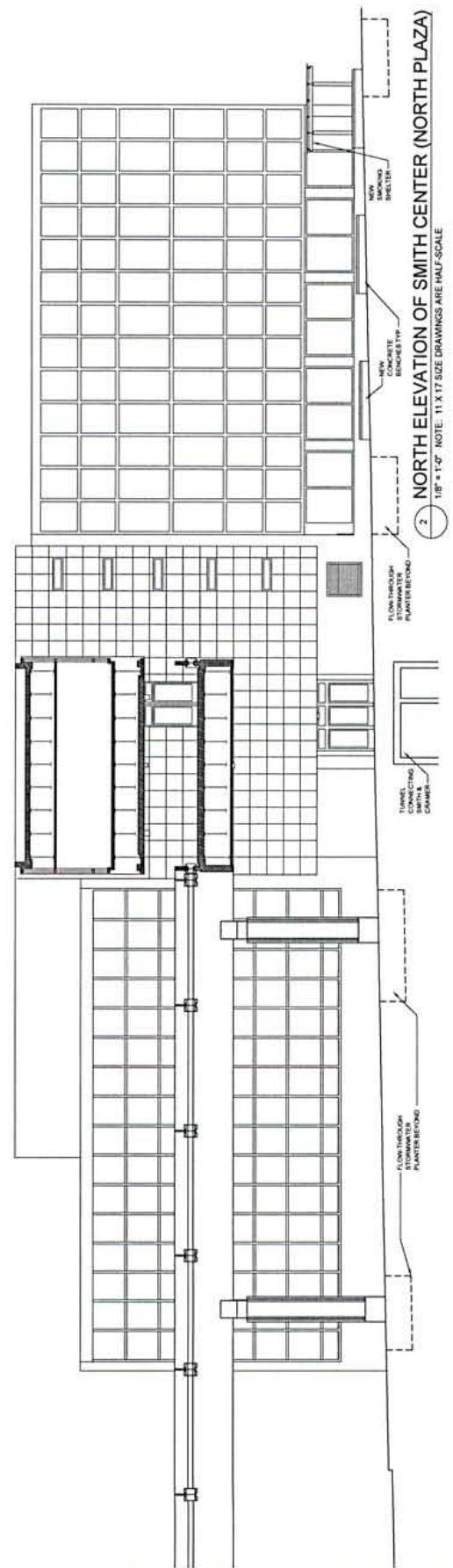
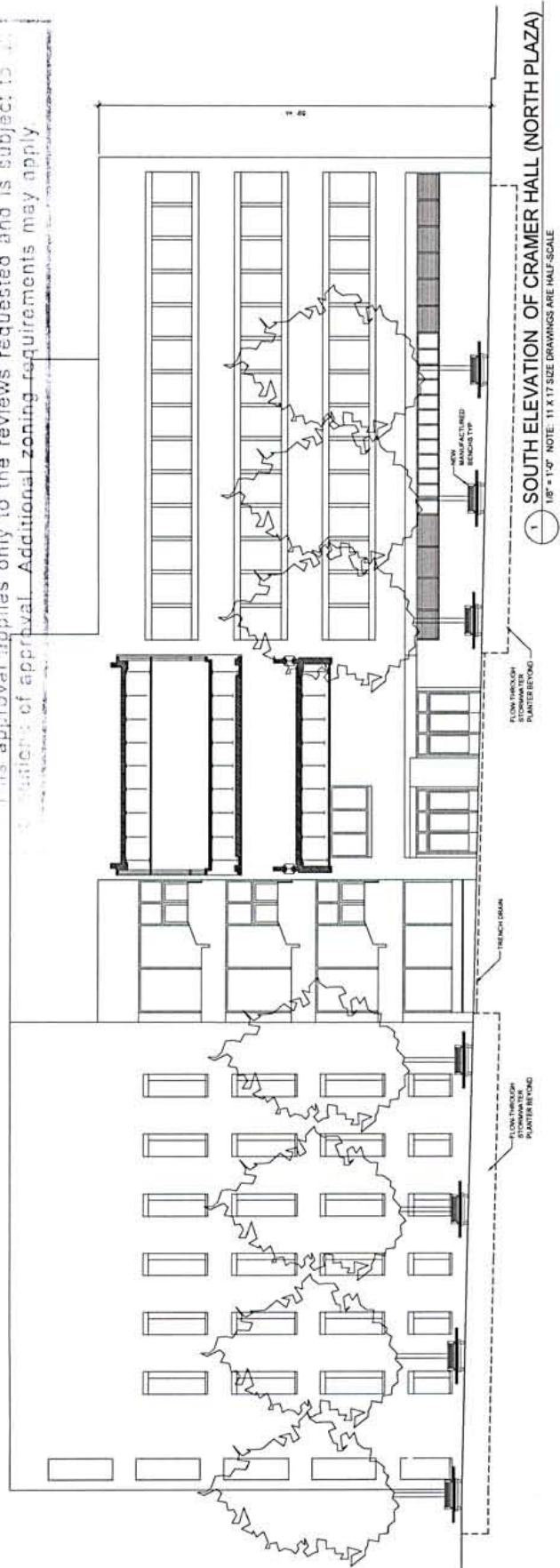
NORTH

This site lies within the:
CENTRAL CITY PLAN DISTRICT

File No.	LU 09-129282 DZ
1/4 Section	3128,3228
Scale	1 inch = 200 feet
State_Id	1S1E04AD 8500
Exhibit	B (May 21,2009)

Approved
 City of Portland - Bureau of Development Services
 Planner *Sh Wood* Date **7.2.09**

This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



PSU SMITH MEMORIAL CENTER - ENTRY PLAZAS & BRIDGES
 AND
 SMITH ENTRIES & LOADING DOCK
 1825 SW BROADWAY, PORTLAND, OR 97205
 PORTLAND STATE UNIVERSITY
 FACILITIES DEPARTMENT
 817 SW MONTGOMERY ST SUITE 202
 PORTLAND, OR 97205
 REBEKAH BARBER ARCHITECTS INC.
 905 224 2128 905 242 9118

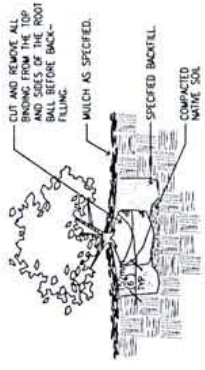
PROJECT NO. 129282
 DRAWING NO. 0205B
 DATE 07/02/09
 PSU SMITH MEMORIAL
 EXT. ELEVATIONS
A3.3

© 2009 REBEKAH BARBER ARCHITECTS, INC.

This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.

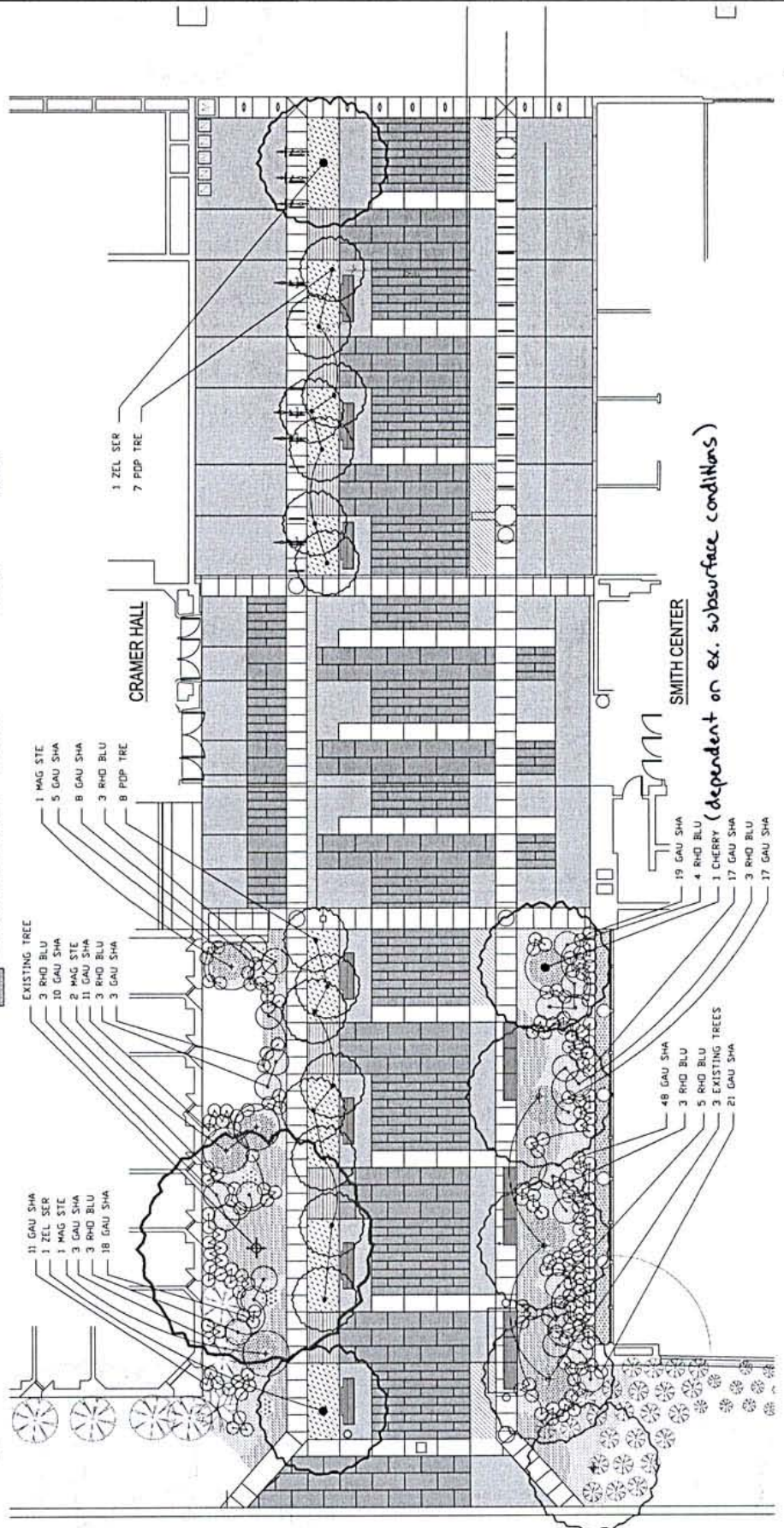
PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
[Symbol]	MAGNOLIA STELLATA (GALVATED)	STAR MAGNOLIA	NA
[Symbol]	POPULUS TREMULOIDES	QUAKING ASPEN	2" CAL
[Symbol]	PRUNUS SP MATCH EXISTING SPECIES	FLOWERING CHERRY	2" CAL
[Symbol]	ZELKOA SERPATA 'NUGOSHIKO'	COLUMBIAN ZELKOA	2" CAL
[Symbol]	GALIA THEA SHALLOON	SALAL	2 GAL
[Symbol]	RHOODENDRON BLUE PETER	BLUE PETER RHODODENDRON	10 GAL
[Symbol]	HELLEBORUS SP	HELLEBORUS	1 GAL @ 12" O.C.
[Symbol]	HOSTA PLANTAGINEA ROYAL STANDARD	ROYAL STANDARD HOSTA	1 GAL @ 12" O.C.
[Symbol]	PACHYSANDRA TERMINALIS	PACHYSANDRA	# @ 12" O.C.
[Symbol]	SARCOCODON HOOKERIANA 'HAMILIS'	SARCOCODON	# @ 12" O.C.
[Symbol]	JUNCO PATENS ELVIS BLUE	BLUE RUSH	1 GAL @ 12" O.C.
[Symbol]	MAHONIA REFENS	CREeping MAHONIA	1 GAL @ 12" O.C.
[Symbol]	POLYSTICHUM MUNITUM	SWOFFERN	1 GAL @ 12" O.C.
[Symbol]	HELLEBORUS SP	HELLEBORUS	2 GAL @ 24" O.C.
[Symbol]	HOSTA PLANTAGINEA ROYAL STANDARD	ROYAL STANDARD HOSTA	1 GAL @ 12" O.C.
[Symbol]	COMASSIA QUAMASH	GREAT CANAS	1 GAL @ 12" O.C.
[Symbol]	PLANT MATERIAL SALVAGED BY PSU		BULBS @ 12" O.C.



2 SHRUB PLANTING DETAIL

NOT TO SCALE



1 NORTH PLAZA PLANTING PLAN

NOTE: 11 X 17 SIZE DRAWINGS ARE HALF-SCALE

PSU SMITH MEMORIAL CENTER - ENTRY PLAZAS & BRIDGES AND SMITH ENTRIES & LOADING DOCK
 185 SW BROADWAY, PORTLAND, OR 97205
 817 SW MONTGOMERY ST SUITE 202
 PORTLAND, OR 97205

Neveve Ngani Associates
 1800 SW Grand Ave., Suite 200
 Portland, OR 97205
 PROJECT NO. 08-001
 DRAWING NO. 07-008
 DATE 06/20/09

PSU SMITH MEMORIAL NORTH PLANTING PLAN
L-1