



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**

1900 SW 4th Avenue, Suite 5000  
Portland, Oregon 97201  
503-823-7300  
Fax 503-823-5630  
TTY 503-823-6868  
[www.portlandonline.com/bds](http://www.portlandonline.com/bds)

**Date:** August 3, 2009  
**To:** Interested Person  
**From:** Staci Monroe, Land Use Services  
503-823-7870 / [Staci.Monroe@ci.portland.or.us](mailto:Staci.Monroe@ci.portland.or.us)

**NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

**CASE FILE NUMBER: LU 08-178127 HDZ – HISTORIC DESIGN REVIEW FOR MOY BUILDING ALTERATIONS**

**GENERAL INFORMATION**

**Applicant:** Peter Grimm, 503-226-3617  
Scott Edwards Architecture  
2525 E. Burnside Street  
Portland, OR 97214  
503-226-3617

Asett, LLC (owner)  
c/o Norris and Stevens  
621 SW Morrison Street, Suite 800  
Portland, OR 97205-3825

Rob Dawson (Property Manager)  
Norris And Stevens, Inc.  
621 SW Morrison St., Suite 800  
Portland, OR 97205

**Site Address:** 815 SW 2ND AVENUE

**Legal Description:** LOT 1 EXC PT IN ST N 1/2 OF LOT 2 EXC PT IN ST BLOCK 22  
HISTORIC PROPERTY 15 YR 2001; POTENTIAL ADDITIONAL TAX,  
PORTLAND

**Tax Account No.:** R667703400

**State ID No.:** 1S1E03BA 04500

**Quarter Section:** 3129

**Neighborhood:** Downtown Cmty Assoc., contact Jennifer Geske at 503-750-9843.

**Business District:** Downtown Retail Council, contact Lisa Frisch at 503-552-6740.

**District Coalition:** Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

**Plan District:** Central City - Downtown

**Other Designations:** Yamhill Historic District

**Zoning:** CXd – Central Commercial zone with a Design overlay

**Case Type:** HDZ – Historic Design Review

**Procedure:** Type II, an administrative decision with appeal to the Landmarks Commission.

**Proposal:**

The applicant seeks Historic Design Review approval for alterations to the east and north facades of the Moy Building at 815 SW 2<sup>nd</sup> Avenue. The proposed alterations include the following:

- Replacing the canvas fabric that covers existing awnings with new dark green-colored sunbrella fabric; and
- Replacing existing wall-mounted lighting at the ground level and adding two new metal halide narrow beam up lighting above the entry on SW Yamhill to highlight;
- Repainting of the exterior cornice, base and window elements.

Because the site is located within the Yamhill Historic District, Historic Design Review is required.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- Central City Fundamental Design Guidelines
- Yamhill Historic District Design Guidelines

## ANALYSIS

**Site and Vicinity:** According to the National Register of Historic Places Inventory/Nomination Form for the Yamhill Historic District, the Portland Yamhill Historic District is historically significant because, “although small in area, it contains some of the finest examples of nineteenth century commercial architecture in Oregon. High Victorian Italianate is the dominant architectural style, but examples of Second Empire, Sullivaneseque, Commercial and Colonial Revival may be found as well. Many buildings within the district were constructed after the Great Fire of 1873 leveled the area and were built by investors as part of Portland’s economic boom in the late 1870’s. In 1860 the population of Portland was 861, but by 1870 there were nearly 10,000 residents. Economic growth paralleled the population boom. Portland was the shipping center for agricultural produce from the Willamette Valley and the areas east of the Cascade Mountains. It served as the supply center for the rich mining areas in eastern Oregon and Idaho and was an important shipping point for timber products.”

According to the Nomination Form map of the District, the subject site is designated in the third of four categories [Designated Landmarks, Potential Landmarks, Other Buildings Compatible with District Character, and Buildings Not Compatible with District Character], as an “Other Building Compatible with District Character.” The physical appearance of the subject site [as of 1975, when the Nomination Form was prepared] is described as:

“The early twentieth century building on the southwest corner of Second and Yamhill is labeled a ‘supportive structure’ by the City of Portland. The six-story masonry building, which features a bold cornice, is a good example of the Sullivaneseque Style and is reasonably intact.”

**Zoning:** The Central Commercial (CX) zone is intended to provide for commercial development within Portland’s most urban and intense areas. A broad range of uses is allowed to reflect Portland’s role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together.

The Design (d) overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review.

**Land Use History:** City records indicate the following prior land use reviews for this site:

- HL 16-85: A 1985 Historic Design Review approval for a storefront remodel.
- HL 46-79: A 1979 Historic Design Review approval for an exterior building renovation.
- LUR 94-00971 DZ: A 1994 Design Review approval for a projecting and wall sign.
- LUR 00-00337 HDZ: A 2000 Historic Design Review approval for the modification of exterior awnings and the addition of a sign.

**Agency Review:** A “Notice of Proposal in Your Neighborhood” was mailed **July 6, 2009**. The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services
- Water Bureau (see Exhibit E-1)
- Fire Bureau
- Site Development Section of BDS
- Bureau of Parks-Forestry Division
- Plan Review Section of BDS
- Bureau of Transportation Engineering

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on July 6, 2009. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

## ZONING CODE APPROVAL CRITERIA

### **Chapter 33.846, Historic Reviews**

#### **Purpose of Historic Design Review**

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

#### **Historic Design Review Approval Criteria**

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

**Findings:** The site is located within the Yamhill Historic District. Therefore the proposal requires historic design review approval. The relevant approval criteria are the Yamhill Historic Design Guidelines and the Central City Fundamental Design Guidelines.

As you know, the Yamhill Historic District is a unique asset to Portland and has been recognized nationally by its placement on the National Register of Historic Places. There are certain procedures and regulations the City has adopted for the protection and enhancement of the Yamhill Historic District.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. (A) Portland Personality, addresses design issues and elements that reinforce and enhance Portland’s character. (B) Pedestrian Emphasis, addresses design issues and elements that contribute to a successful pedestrian environment. (C) Project Design, addresses specific building characteristics and their relationships to the public environment. (D) Special Areas, provides design guidelines for the four special areas of the Central City.

#### **Central City Plan Design Goals**

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City’s districts;

4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

*Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.*

## **Design Guidelines for the Yamhill Historic District**

General Guidelines Alterations and Additions to Historic Landmarks, Potential Landmarks and Other Compatible Buildings

**A. Retention of Original Construction.** So far as practicable, all original exterior materials and details shall be preserved.

**Findings:** The only element being removed is the canvas fabric currently on the awnings. However, this material, as well the awning frames, is not original to the building and therefore is not required to be preserved. *This guideline is therefore met.*

**F. Scale and Proportion.** The scale and proportion of altered or added building elements, the relationship of voids to solids (i.e. openings such as doors and windows to walls and column elements) shall be visually compatible with the traditional architectural character of the Historic District. An important element within the Historic District was the emphasis on the pedestrian scale activities which were characterized with the addition of canvas awnings or permanent canopies. This defined an important scale and proportion element of the District and to the extent possible, this relationship at pedestrian level should be re-established within the District.

**L. Awnings/Canopies.** Alterations and/or additions to historic buildings within the District should consider the use of awnings and/or canopies. These should be consistent with the function of the building and the relationship of the awning to adjacent buildings and to the District.

**Findings:** The proposal will utilize the existing awning frames, which are located above each storefront bay and building entrance, and wrap them with a new sunbrella canvas in dark green. The awnings will continue to protect the building entries as well as provide cover for the pedestrian environment along the entire building frontage. The steep and shallow style of the fixed frame awnings is consistent with the awning type found within the Yamhill Historic District. *This guideline is therefore met.*

**I. Color.** The colors used in alterations or additions within the District shall be visually compatible with the traditional architectural character of the historic buildings within the area.

- Historically, in the era of the late 1800's and early 1900's, painting was usually done using earth colors, i.e., hues tending towards brown, soft greens, and beiges.
- Bright colors and white were rarely used. Buildings, therefore, are perhaps most appropriately painted using subdued colors. Little or nothing is gained by the use of strong or loud colors, especially those with no tradition of local usage.
- Color combinations will occur, as nearly all buildings will have wood trim or metal ornamentation in addition to their base materials. This, plus the further elaboration of wood storefronts, suggests the use of an overall wall color plus one or two trim colors.
- A method for determining the original wall and trim colors consists of scraping chips from the existing surface and analyzing them microscopically. This should be done whenever the original color is unknown and major repainting is contemplated.

**Findings:** The proposed color scheme is a series of subdued earth tone colors with accents of tan, soft greens and a warm blue. The middle shaft of the building will remain unpainted and allow the original beige brick to be exposed. The pilasters at the base will be awash in a warm “fireweed” deep red. These colors are visually compatible with the traditional architectural character of the buildings within the Yamhill Historic District. *This guideline is therefore met.*

**K. Lighting.** Historically, lighting within the District was provided by lighting in the public right-of-way with the use of gas lamps, electrical lights, etc. First floor storefront lighting should be consistent with the overall character of the building and the District.

**Findings:** The two uplight fixtures above the main entrance on SW Yamhill highlight the building’s unique decorative pre-cast medallion. The fixtures have an adjustable beam that will be directed at the medallion thereby reducing the impacts on nighttime skyline. The ground level wall sconce fixtures will be located at the columns that flank the building entrances and at the building edges for a uniform design along both building facades. The two fixture types are different, however the two uplights are located atop the first floor corbelled belt course which projects from the building face. This elevated and recessed location limits the visibility of the fixtures from the ground floor where the sconces are located. *This guideline is therefore met.*

### Central City Fundamental Design Guidelines

**A4. Use Unifying Elements.** Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

**A5. Enhance, Embellish, and Identify Areas.** Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area’s character. Identify an area’s special features or qualities by integrating them into new development.

**Findings:** Exterior lighting and awnings are both common features along the base of commercial buildings. Awnings along the street facades create a continuous covered pedestrian environment while lighting provides a safe and illuminated sidewalk. The steep and shallow style of the fixed frame awnings is consistent with the awning type found within the Yamhill Historic District. Highlighting the decorative medallion with uplights is a feature also found on other ornate buildings in the area. Both of these features contribute to the character of the Yamhill Historic District. *These guidelines are therefore met.*

**B2. Protect the Pedestrian.** Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

**Findings:** The locations of the ground level lighting will occur on columns adjacent to the building’s four entrances as well as on the column at the NW edge of the building. This ensures well-lit areas for accessing the building in addition to providing sufficient lighting of the pedestrian sidewalk along the building’s entire façade. The two uplighting fixtures that will highlight decorative pre-cast medallion above the main entry on SW Yamhill will provide interest and diversity in the pedestrian environment. *This guideline is therefore met.*

**B6. Develop Weather Protection.** Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

**Findings:** The existing metal awning frames will be used and wrapped with a new dark green sunbrella fabric. Thus the awnings will continue to provide weather protection for the pedestrian. *This guideline is therefore met.*

**C2. Promote Quality and Permanence in Development.** Use design principles and building materials that promote quality and permanence.

**C3. Respect Architectural Integrity.** Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

**C5. Design for Coherency.** Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

**Findings:** The proposal is utilizing the existing metal awning frames while the covers are new. The sunbrella fabric cover is a long-lasting material that resists fading and wear from the exterior elements. The upright fixtures are metal while the wall sconces are cast iron, both high quality and durable materials.

The wall sconces will be installed on the ground floor columns that occur between the storefronts. This placement at the vertical divisions of the building is compatible with the building's design and thus enhances the architectural integrity of the structure. Locating these fixtures adjacent to the building entrances and at the corners provides a coherent design along both street facades. These Craftsman, cast iron fixtures compliment the design of the Sullivanesque style of this masonry building. The upright fixtures will be tucked up against the building face atop the corbeled belt course where their visibility is limited. *These guidelines are therefore met.*

**C12. Integrate Exterior Lighting.** Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

**Findings:** The two upright fixtures above the main entrance on SW Yamhill highlight the building's unique decorative pre-cast medallion. The fixtures have an adjustable beam that will be directed at the medallion thereby reducing the impacts on nighttime skyline. The ground level wall sconce fixtures will be located at the columns that flank the building entrances and at the building edges for a uniform design along both building facades. The two fixture types are different and do not match, however the two uprights are located atop the first floor corbelled belt course which projects from the building face. This elevated and recessed location limits the visibility of the fixtures from the ground floor where the sconces are located.

A condition of approval for no exterior or exposed conduit for any of the light fixtures will ensure a clean installation that is integrated with the structure. *With this condition and the findings above, this guideline is therefore met.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The purpose of the historic design review process is to ensure that exterior alterations to existing buildings protect the integrity of the special characteristics of the historic resources.

The alterations compliment the Sullivanesque style building and are consistent with the features in the Yamhill Historic District. The proposal meets the applicable design guidelines and therefore warrants approval.

## ADMINISTRATIVE DECISION

Approval of an Historic Design Review for new awning covers, wall light fixtures and building uplights in the Yamhill Historic District.

Approval per the approved site plans, Exhibits C-1 through C-4, signed and dated 7/29/09, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.4. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 08-178127 HDZ. No field changes allowed."
- B. No exposed conduit allowed on the exterior of the building for any of the light fixtures.

**Staff Planner: Staci Monroe**

**Decision rendered by:**  on **July 29, 2009**

By authority of the Director of the Bureau of Development Services

**Decision mailed: August 3, 2009**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on November 17, 2008, and was determined to be complete on May 11, 2009.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on November 17, 2008.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant requested that the 120-day review period be extended for an additional 120 days as stated with Exhibit A-1.

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the

permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on August 17, 2009** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **August 18, 2009 – (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034  
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

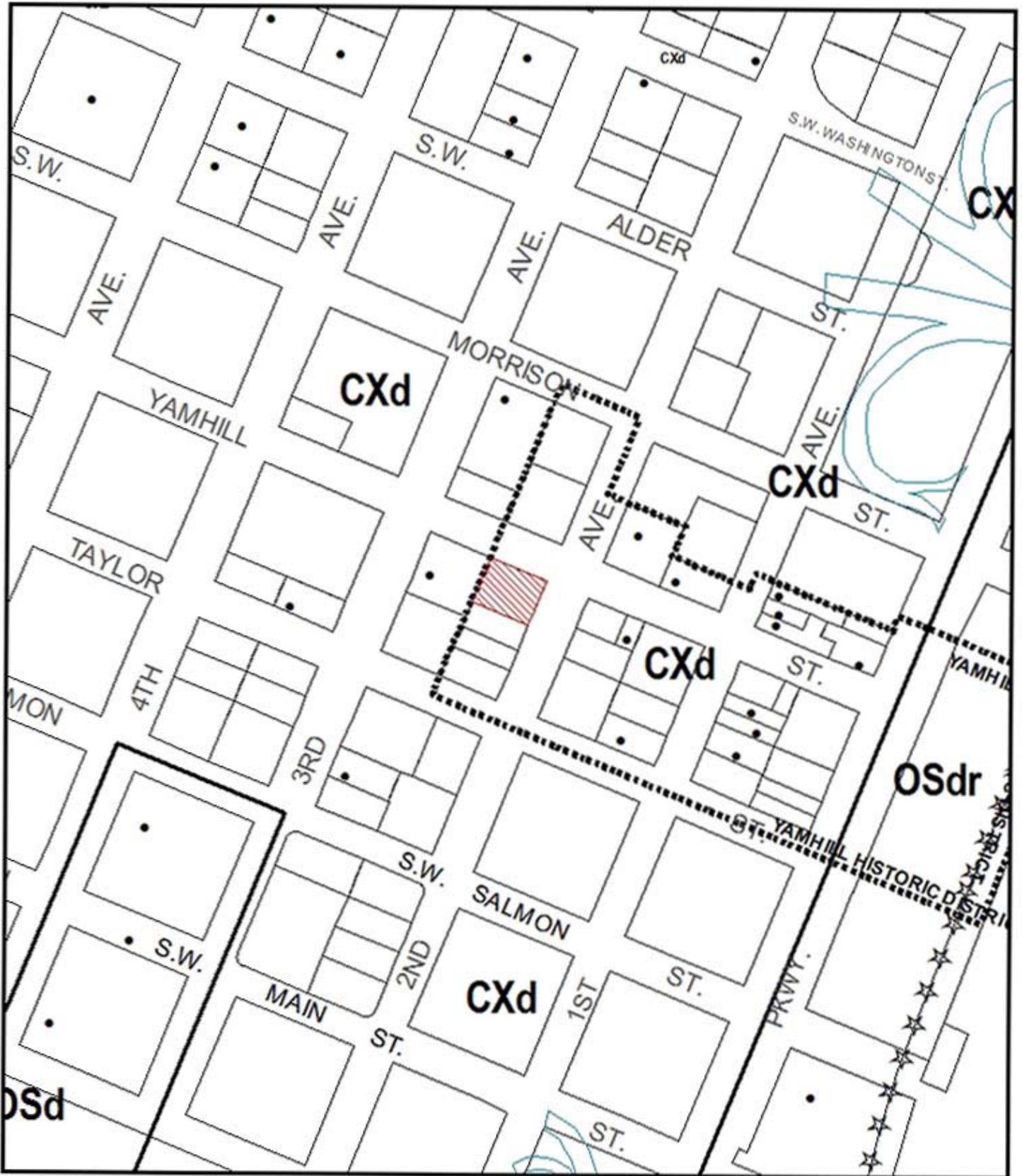
**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

#### **EXHIBITS**

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
  1. Written Statement
  2. Project Narrative
  3. 120-Day Waiver
  4. SHPO Approval Letter
- B. Zoning Map (attached)
- C. Plans/Drawings:
  1. Site & Lighting Plan with Wall Section (attached)
  2. Building Elevations (attached)
  3. Light Fixture Details
  4. Photometric Lighting Detail
- D. Notification information:
  1. Mailing list
  2. Mailed notice
- E. Agency Responses:
  1. Water Bureau
- F. Correspondence: none
- G. Other:
  1. Original LU Application
  2. Site History Research



# ZONING

-  Site
-  Historic Landmark



This site lies within the:  
CENTRAL CITY PLAN DISTRICT

File No.	<u>LU 08-178127 HDZ</u>
1/4 Section	<u>3129</u>
Scale	<u>1 inch = 200 feet</u>
State_Id	<u>1S1E03BA 4500</u>
Exhibit	<u>B (Nov 19,2008)</u>

\* Approved\*

City of Portland - Bureau of Development Services

Date

7/29/09

\* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

**\* NO EXPOSED  
OR EXTERIOR  
CONDUIT ALLOWED**



1 LIGHTING PLAN  
1/8" = 1'-0"

2 WALL SECTION AT ENTRY  
1/8" = 1'-0"

ELEC SYMBOL LEGEND	
SYM	DESCRIPTION
⊕	WALL MOUNTED UP/SPOT USE OUT SHEET
⊕	WALL MOUNTED UP/SPOT USE OUT SHEET

**FIXTURE TYPE "A": Narrow Beam Spotlight**

**FIXTURE SPECIFICATIONS**

Model	RM0400 2001
Manufacturer	OSRAM
Material	Aluminum
Finish	Black
Height	10.5" (267mm)
Width	4.5" (114mm)
Depth	4.5" (114mm)
Weight	1.5 lbs (0.7kg)
Beam Angle	15°
Beam Diameter @ 10'	1.5"
Beam Diameter @ 20'	3.0"
Beam Diameter @ 30'	4.5"
Beam Diameter @ 40'	6.0"
Beam Diameter @ 50'	7.5"
Beam Diameter @ 60'	9.0"
Beam Diameter @ 70'	10.5"
Beam Diameter @ 80'	12.0"
Beam Diameter @ 90'	13.5"
Beam Diameter @ 100'	15.0"
Beam Diameter @ 110'	16.5"
Beam Diameter @ 120'	18.0"
Beam Diameter @ 130'	19.5"
Beam Diameter @ 140'	21.0"
Beam Diameter @ 150'	22.5"
Beam Diameter @ 160'	24.0"
Beam Diameter @ 170'	25.5"
Beam Diameter @ 180'	27.0"
Beam Diameter @ 190'	28.5"
Beam Diameter @ 200'	30.0"

**FIXTURE TYPE "B": Wall Mounted Sconce**

**FIXTURE SPECIFICATIONS**

Model	RM0400 2001
Manufacturer	OSRAM
Material	Aluminum
Finish	Black
Height	10.5" (267mm)
Width	4.5" (114mm)
Depth	4.5" (114mm)
Weight	1.5 lbs (0.7kg)
Beam Angle	15°
Beam Diameter @ 10'	1.5"
Beam Diameter @ 20'	3.0"
Beam Diameter @ 30'	4.5"
Beam Diameter @ 40'	6.0"
Beam Diameter @ 50'	7.5"
Beam Diameter @ 60'	9.0"
Beam Diameter @ 70'	10.5"
Beam Diameter @ 80'	12.0"
Beam Diameter @ 90'	13.5"
Beam Diameter @ 100'	15.0"
Beam Diameter @ 110'	16.5"
Beam Diameter @ 120'	18.0"
Beam Diameter @ 130'	19.5"
Beam Diameter @ 140'	21.0"
Beam Diameter @ 150'	22.5"
Beam Diameter @ 160'	24.0"
Beam Diameter @ 170'	25.5"
Beam Diameter @ 180'	27.0"
Beam Diameter @ 190'	28.5"
Beam Diameter @ 200'	30.0"

**\*Approved\***  
**City of Portland - Bureau of Development Services**

Planner Sullivan Date 7/25/09

\* This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.



- Color Breakdown**  
 NEW: ALL BIDD TO REMAIN UNCHANGED
- Cornice
  - Window Trim
  - Base - Williams SW 6587 "Rustic"\*
  - Cornice Trim
  - Pilaster Base
  - Sherwin-Williams SW 6578 "Clay Sage"
  - Details
  - Sherwin-Williams SW 6441 "Chestnut"\*
  - Pilasters
  - Sherwin-Williams SW 6528 "Tussock"
  - Mid Band
  - Base Trim
  - Sherwin-Williams SW 7076 "Cypress"\*
  - Awning Fabric
  - Sunbrella #4437 "Fern"



NEW UP LIGHTS  
 NEW WALL MOUNTED LIGHT FIXTURES. EXISTING LIGHT FIXTURES TO BE REPLACED

EXISTING TO BE REMOVED

EAST ELEVATION

NORTH ELEVATION

# ELEVATIONS