

## ORDINANCE No. 183093

\*Amend the Comprehensive Plan Map designation and change zoning at a site on the south side of SE Belmont St, between SE 42<sup>nd</sup> Ave and SE 44<sup>th</sup> Ave at the request of Urban Development Partners and East/West College Building, LLC (Ordinance; LU 09-106993 CP ZC).

### Section 1. Council finds:

1. The Applicant seeks, in the vicinity of the south side of SE Belmont Street, between SE 42<sup>nd</sup> Avenue and SE 44<sup>th</sup> Avenue, the following:
  - a. a Comprehensive Plan Map Amendment from Medium Density MD 1000 to Urban Commercial for the area identified as State ID No. 1S2E06BB 12900, 1S2E06BB 13100 and 1S2E06BB 13000, and as described in Exhibit A to this Ordinance (hereinafter collectively referred to as the "Property"); and
  - b. a Zoning Map Amendment from R1 (Residential 1,000) to CM (Mixed Commercial/Residential) for the Property.
2. An application complying with all requirements of Title 33, Planning and Zoning, of the Code of the City of Portland seeking amendment of the Comprehensive Plan Map and Zoning Map has been received with the proper fee for filing paid.
3. The Hearings Officer held a duly noticed public hearing on May 6, 2009 and a Recommendation was issued on May 22, 2009 (BDS File No. LU 09-106993 CP ZC). The Hearings Officer recommended approval of the requested Comprehensive Map Amendment and Zoning Map Amendments.
4. Based on the findings contained in the Recommendation of the Hearings Officer, the Comprehensive Plan Map Amendment and Zoning Map Amendment are found to conform to the Comprehensive Plan and relevant Title 33 approval criteria.

NOW THEREFORE, the Council directs:

- a. City Council adopts the facts, findings, conclusions and recommendations of the Hearings Officer in BDS File No. LU 09-106993 CP ZC.
- b. The Comprehensive Plan Map Amendment and Zoning Map Amendment for the Property, as described in Exhibit A, are approved as follows:
  1. a Comprehensive Plan Map Amendment from Medium Density MD 1000 to Urban Commercial; and
  2. a Zoning Map Amendment from R1 (Residential 1,000) to CM (Mixed Commercial/Residential) for the Property.

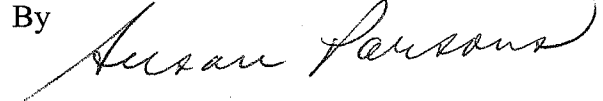
Section 2. The Council declares an emergency exists because there should be no delay in the beneficial use of the above-described properties; therefore, this ordinance shall be in force and effect from and after its passage by the Council.

Passed by the Council  
Auditor Griffin-Valade  
Ian Simpson/rs  
August 3, 2009

AUG 12 2009

LA VONNE GRIFFIN-VALADE  
Auditor of the City of Portland

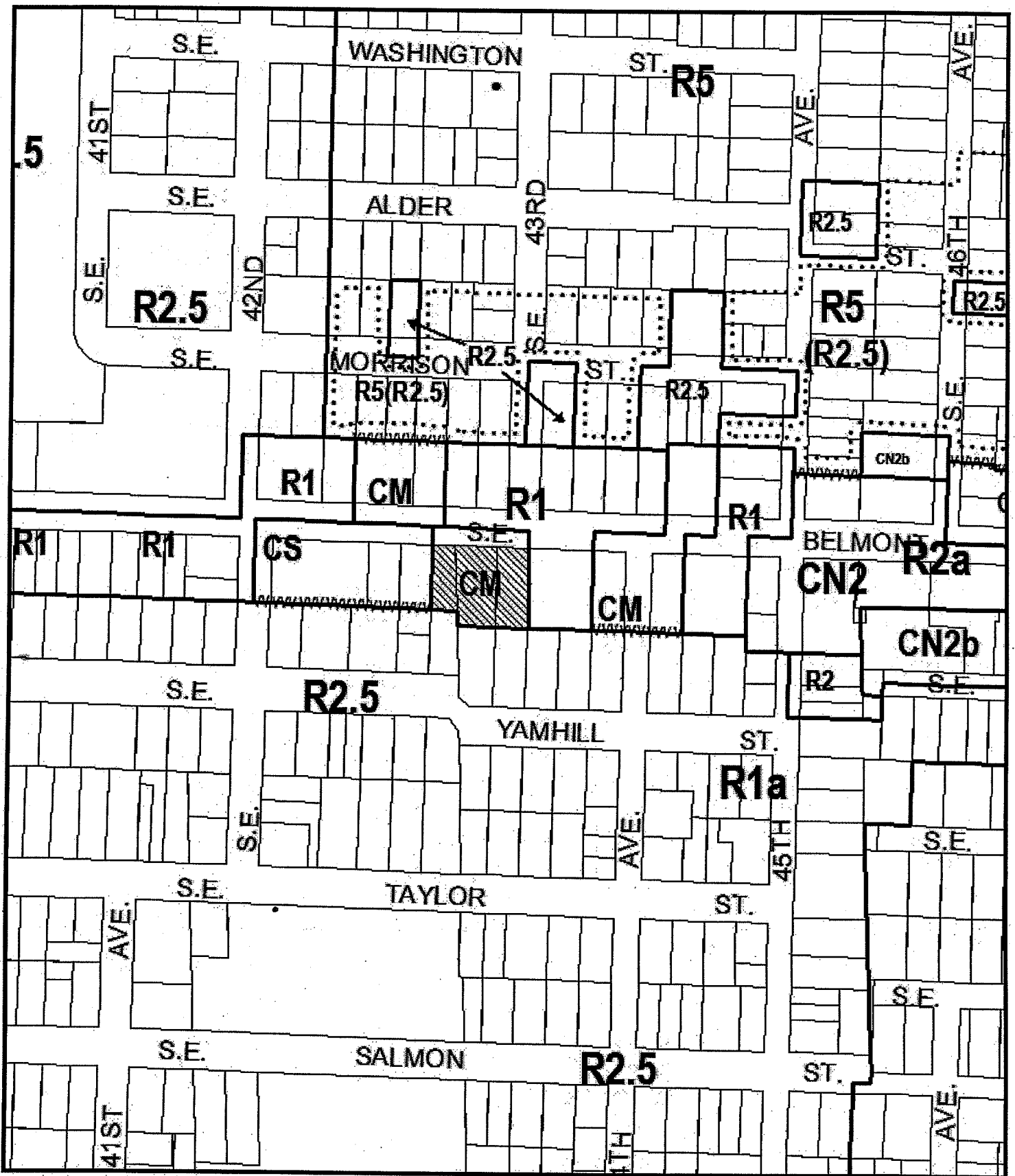
By



Deputy

**EXHIBIT A**

That portion of Lots 4 and 5, Block 3, GLENCOE PARK, lying North of a line 24 feet North of and parallel with the South line of said lots and Lot 11, Block 3, EDENDALE, TOGETHER WITH that parcel of land adjacent thereto which lies between the North line of said lots and the South line of SE Belmont Street, in the City of Portland, County of Multnomah and State of Oregon.



# ZONING PROPOSED

 Site



File No. LU 09-106993 CP,ZC  
 1/4 Section 3135  
 Scale 1 inch = 200 feet  
 State Id 1S2E06BB 13000  
 Exhibit B (Mar 17, 2009)