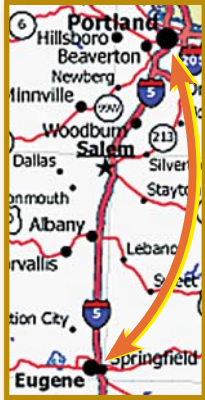




The Plans Examiner

Intergovernmental Agreement (IGA) the City of Portland Bureau of Development Services and the City of Eugene



On August 12th, 2009, Portland City Council approved an ordinance authorizing an Intergovernmental Agreement (IGA) with the City of Eugene. This agreement is for Bureau of Development Services (BDS) staff to provide review of Structural, Life Safety and Mechanical plans for the City of Eugene. Eugene has seen an increase in permit activity and with their existing staff they are not able to review in a timely manner. With this agreement BDS staff is able to help them get caught up with the projects that they have under review as well as bring some additional income to BDS.

Eugene sends the plans to Portland where they are assigned to the appropriate reviewers (structural, life safety and/or mechanical). After BDS staff have completed the reviews, they send check sheets to the applicants and the City of Eugene. Eugene can either complete the rechecks or return them to BDS. When the review is completed and approved BDS sends all the plans back to Eugene where permits will be issued. We charge the City of Eugene based on an hourly rate for the reviews performed, not to exceed 100 hours per week. The agreement is to expire on June 30, 2010.

Get Involved

The City of Portland is accepting Interest Forms for the Mechanical & Electrical Code Board of Appeals. Boards and Commission Application forms are available from the Office of Neighborhood Involvement at www.portlandonline.com/oni/index.cfm?c=37423.

Mechanical Code Board of Appeals

Purpose: The Mechanical Board of Appeals determines the suitability of alternate materials and types of construction and provides for reasonable interpretations of the provisions of the Mechanical Code. The Board consists of three members, and an alternate for each member, appointed by the Mayor. Appointments are made for a term of three years.

The Mechanical Code Board of Appeals hears appeals of mechanical code issues which are appealed beyond the BDS Administrative Appeals Board. The Appeals Board may affirm, annul or modify the action of BDS on the condition that substantially equivalent safety is provided generally conforming to national standards concerning fire prevention, fire safety measures, and building construction requirements for safety.

Electrical Code Board of Appeals

Purpose: The Electrical Code Board of Appeals hears appeals where an applicant is aggrieved by the findings of the Director of the Bureau of Development Services. Three members and three alternates are appointed by the Mayor to serve on the Electrical Board of Appeals. Appeals heard by the board are appeals of actions taken by the BDS Administrative Appeals Board. Board of Appeal members and alternate members serve three-year terms.

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Closed Labor Day
Monday September 7, 2009

...

Daylight Savings Time Ends
Sunday, November 1, 2009

Nonconforming Sewer Program Consolidated Under Bureau of Environmental Services

In January 2008, City Council passed an ordinance to authorize a comprehensive program to replace nonconforming sanitary sewer connections with individual connections in conformance with applicable plumbing codes. Nonconforming sanitary sewers include private party-line sewers shared by two or more properties and sewers that cross neighboring private properties without the benefit of recorded easements.

The Nonconforming Sewer Program was created in response to a sharp increase in the discovery of nonconforming connections driven by property sales, redevelopment, infill development and the failure of aging private sewer connections. Property owners are frequently unaware that their sanitary sewer connections are nonconforming and may pose substantial legal, financial and public health risks. The Bureau of Environmental Services estimates that 10,000 or more properties are served by sanitary sewer connections that do not conform to applicable plumbing codes.

Bringing a nonconforming sewer into compliance often requires a property owner to replace the nonconforming connection with an individual and direct connection to a public sanitary sewer or, in some cases, to acquire easements from adjacent property owners. The Nonconforming Sewer Program provides customer assistance, planning and financial assistance to help property owners bring nonconforming connections into compliance.

Until recently, the Bureaus of Environmental Services and Development Services have jointly implemented the Nonconforming Sewer program. Effective August 1, 2009, the program was consolidated within the Bureau of Environmental Services. Customers may contact the program's staff by calling the Party Sewer Hotline at 503-823-7869.

Lien Amnesty Update

On June 8, 2009 the Bureau of Development Services notified approximately 750 properties accounting for 1,325 outstanding liens that they may be eligible to participate in the Lien Amnesty Program. The program offered up to a 50% discount on their code enforcement liens for closed cases. The property owners have the option to pay off the discounted balance or enroll in a payment plan with a minimum of 25% down of the reduced amount for up to three years, interest free.

The program has helped property owners retire existing liens and allowed the City to collect a portion of the owed revenue that supports the enforcement program, therefore helping to maintain neighborhood livability. The response was very positive and the limited program was extended through August 31, 2009.

Lien Amnesty Results through July 31, 2009:

Lien	Accounts	Amount Waived	Amount Paid
Satisfied	139	\$122,536	\$209,353
Cancelled	10	\$5,950	
CAPP	53	\$65,143	\$5,692
Adjusted	6	\$819	\$1,326
Total	207	\$194,448	\$216,371

Total Monthly Payment Plans signed up so far = 53 with an approximate \$5,000/month payment total.

Due to the overwhelming response we are continuing to work with 90 property owners to resolve their liens.

Join us!

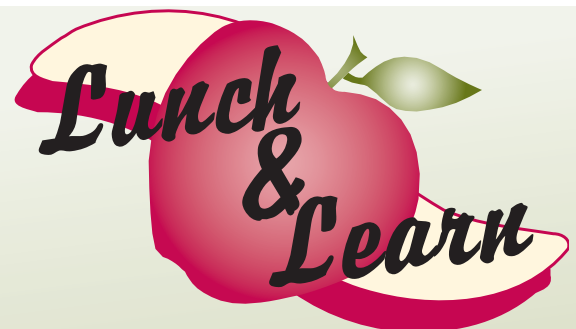
Friday, October 9, 2009
 12:00 noon to 1:00 pm
 1900 SW 4th Ave., Portland 2nd floor conference room
 Bring your lunch and sit in on a free seminar.

Upcoming Presentation

Friday, October 9, 2009
Realtor Presentation Featuring: Accessory Dwelling Units

- Presented by: Jeff Eldredge, Residential Inspections Section Manager

For more information about Lunch and Learn visit our Web site at: www.portlandonline.com/bds, select the Information Center tab > Customer Assistance.



BDS Financial Update

In the July/August issue of the Plans Examiner, we provided information regarding BDS's financial status and impending position reductions due to significantly decreased revenues from permit sales and land use review applications. The bureau's intention was to reduce 48 positions by July 31, an additional 45-48 positions by August 31, and a third phase of 45-48 positions by December 30, 2009.

We are closely monitoring our operation in regard to workload, revenues, and service levels. Financially, our expenses continue to outpace revenues, and we project that the bureau's cumulative cost recovery rate for fiscal year (FY) 2008-09 (ended June 30) will be 74%. Our financial projections do not anticipate any major increases in either construction activities and/or associated revenues over the next year or so.

Due to these realities, it has become evident that waiting until December for the third phase of position reductions is not financially feasible. Therefore, we have decided to move the third phase of reductions from December 30 to September 30, and to increase the number of reduced positions to 53. Making these changes will help to close the continuing gap between revenues and expenses.

As we make these changes, we remain committed to providing timely, quality services to our customers. To that end, we are re-examining our organizational structure and will make changes to allow the bureau to provide services more efficiently with fewer staff. The changes to the organization will reflect input from staff, customers, industry partners, and other stakeholders.

We have also continued our efforts to assist employees with finding other positions in the City or elsewhere. Of the 48 positions identified in the first phase, approximately 22 employees were either transferred or moved to other City bureaus, many to temporary positions.

If you have questions about the bureau's financial status, please contact Denise Kleim, BDS Administrative Services Manager, at denise.kleim@ci.portland.or.us.

CUSTOMER UPDATE

New Hours

Effective August 31, 2009

**The Bureau of Development Services
new hours of operation are:**

Development Services Center (DSC)

Tuesday - Friday • 8:00 am - 3:00 pm
Closed Mondays

Permitting Services, 2nd Floor

Monday • 8:00 am - 3:00 pm
Tuesday - Friday • 8:00 am - 4:00 pm

BDS Office hours remain the same

Monday - Friday • 8:00 am - 5:00 pm

October 1

Deadline for Work:

Balch Creek/Forest Park Subdistricts

As we head into the rainy season, ground-disturbing work on all properties in the Balch Creek and Forest Park Subdistricts of the Northwest Hills Plan District must end. Exposed earth must be covered by October 1, according to your approved landscape plans.

All construction, including sewer, water and utility trenching which directly exposes soil to stormwater, is prohibited between October 1 and April 30.

Projects in other areas of the city must comply with Title 10 erosion control regulations. Construction activity may continue, but you must provide temporary ground cover on exposed soils from October 1 through April 30.

Call the Planning & Zoning section of the Bureau of Development Services, 503-823-7526 with questions.

BIG!

2009

Build It Green!
Home Tour & Information Fair
Saturday, September 19, 2009
Homes open: 11 am - 5 pm

Tickets are \$15

online:

www.portlandonline.com/bps/builditgreen (credit card only)

in person:

ecohaus at 819 SE Taylor, 503-222-3881 (cash or check only)

Children 14 and under are free.

Tickets are colorful, informative booklets with green project highlights, photos, map and tips to reduce your carbon footprint.

\$10 tickets are available to students, seniors and those taking the tour by bike or mass transit

BIG! is presented by the City of Portland Bureau of Planning and Sustainability and sponsored by Metro, Energy Trust of Oregon, the City of Portland Bureaus of Environmental Services, Water and Development Services, Oregon Home Magazine, Solar Oregon and ecohaus.

Questions on the BIG! Home Tour or green building? Visit www.portlandonline.com/bps/builditgreen or call the Regional Green Building Hotline at 503-823-5431.

The BIG! Home Tour is Saturday, September 19, 2009 with homes open from 11:00 am to 5:00 pm

Now in its eighth year, the self-guided Build It Green! HomeTour features eighteen green remodels and new homes around the Portland Metro Area. On the tour, you will have the opportunity to chat with homeowners and contractors about solar panels, rain water harvesting, ecoroofs, affordable housing, natural landscaping, eco-friendly building materials, energy efficiency, alternative construction techniques and salvaged materials. You'll end the tour with some great ideas for YOUR project or home.

Later in the day on Saturday is a family-friendly Information Fair from 3:00 pm to 7:00 pm at ecohaus, 819 SE Taylor, Portland OR 97214. Vendors of green products and services and non-profit organizations will be on hand, along with music, food, activities and beverages. Turn in a tour and information fair evaluation form to be entered into a drawing to win whimsical chicken coop made from salvaged cedar.

Two selected projects you will see on this year's tour:

K4 Court: For this new multi-family project, the developer placed four courtyard houses on a small infill site in NE Portland. He combined modern design, ecoroofs, energy-efficient insulated concrete form (ICF) walls around common areas with native plant landscaping. Each unit has a small footprint (sizes range from 1,036 to 1,415 square feet) and features non-toxic, recycled content and locally-sourced interior finishes. The courtyard design helps provide a sense of privacy for occupants while the wall mass buffers noise from the busy adjacent street. This project has the green home Earth Advantage certification pending.



Omey Home: An architect's comprehensive hands-on remodel of his 1925 home includes vented rain screen siding, an ecoroof, artistic metalwork



detailing, radiant in-floor heating, abundant natural lighting and uses over 85 percent reclaimed materials. This creative designer tapped into nearby community resources for building materials, construction storage in neighbors' basements and construction crew assistance.

Enhanced Complaint Inspection Model Pilot Project

One of the recommendations of the Quality Rental Housing Workgroup Final Report was to implement a pilot program of enhanced complaint inspections in a targeted area. The enhanced complaint model will leverage fire, police and social service referrals to identify habitability concerns and problem non-responsive landlords. It creates compliance-based triggers for additional inspection of units on the property and steps up enforcement for bad actors. Additional rental unit inspections will help provide a safeguard against deferred property maintenance and will help preserve not only the physical condition of Portland's rental housing, but also the health, safety and housing stability of vulnerable renters. BHCD has agreed to fund a Housing Inspector position to implement this pilot project for District 6 in East Portland this Fiscal Year. The goal is to inspect 1,200 additional rental units of properties that are out of compliance with Title 29, the City's Property Maintenance Code, and are unwilling to make cited repairs in a timely manner in order to help protect the health and safety of the tenants. The policies and procedures developed by this pilot program will better position the City to implement a new citywide program of increased rental unit inspections.

The inspector in District 6 in East Portland has actually been performing Enhanced Complaint Inspections since January 1, 2009 as a Pre-Pilot.

The results for January - July 2009 are:

# of Units:	351
Initial Inspections:	247
Re-inspections:	127 buildings, mostly larger Apartment Complexes with 15 or more units

How does the Enhanced Complaint Inspection Model work?

Stage 1 - inspections initiated by: tenant, social service agency referral, police referral, fire inspector referral, citizen, significant level of crime, other cited property maintenance complaints/ violations including work without permits, dangerous building, nuisance, zoning violation, site complaint, unit specific exterior violations; criteria that is not unit specific will result in an exterior inspection by the inspector, if exterior conditions meet a specific threshold then interior inspections will be triggered.

Stage 2 - if 2 or more of the 6 categories (Health/ Sanitation, Fire/Life Safety, improper Egress, Electrical, Lack of Utilities, General Maintenance) have met the threshold of the number of (non-tenant caused) violations, then an additional 50% of the units on the property will be inspected, up to a maximum of 20 units.

Stage 3 - if 50% or more of the Stage 2 inspections meet the Stage 2 thresholds than all the remaining units on the property will be inspected.

Please note: all inspections of additional interior units are achieved through voluntary methods.

For more information on the Pilot Project and the Quality Rental Housing Workgroup Recommendations, please contact Ed Marihart at Neighborhood Inspections at 503-823-7373 or emarihart@ci.portland.or.us



HOME IMPROVEMENT & REMODELING SHOW

September 24 - 27, 2009
Oregon Convention Center

Thursday, September 24th • 2:00pm-8:00pm*

Friday, September 25th • 11:00am-8:00pm*

Saturday, September 26th • 10:00am-8:00pm*

Sunday, September 27th • 10:00am-6:00pm*

* Show times subject to change





The Bureau of Development Services
will have a booth with
Permitting and Zoning Information available.
Please stop by and get your questions answered.



Print your own coupon at
www.oregonremodelers.com/coupon.html





City of Portland, Oregon
Bureau of
Development Services

www.portlandonline.com/bds

Online in 2009

To receive The Plans Examiner via our Web site:

1. Go online to www.portlandonline.com/bds
2. On the left side of the BDS Home Page, under Quick Links, click on Join Our Mailing Links

PLANS EXAMINER, SEPTEMBER / OCTOBER 2009

The Plans Examiner is a bi-monthly online publication of the City of Portland - Bureau of Development Services

How to Reach Us

Monday thru Friday
8:00 am to 5:00 pm

(e) = electronic messaging system, *please leave detailed information and your call will be returned.*

On the Internet visit:
www.portlandonline.com/bds

Development Services Center

1900 SW 4th Avenue
Tuesday - Friday
7:30 am to 4:00 pm
Closed Monday

The Plans Examiner is a paperless publication. Join our electronic mailing list at our Web site to receive the newsletter link.

BDS Customer Service	503-823-7308
Building Code Information	503-823-1456 (e)
Fire Code Information	503-823-7300
Planning & Zoning Information.....	503-823-7526
24-hour Inspection Request Recording	503-823-7000 (e)
Inspection Section, 1 & 2 Family Dwellings	503-823-7388
Commercial, Plumbing	503-823-7302
Building & Mechanical.....	503-823-7303
Electrical	503-823-7304
Development Services Center	503-823-7310 (e)
Development Services Center FAX.....	503-823-3018
Information, electrical, mechanical, plumbing, sewer, and sign permits.....	503-823-7363
Lunch & Learn Contact , Colleen Daley.....	503-823-7889
Newsletter Contact , Colleen Daley	503-823-7889
Permitting Services , Fee estimate and Permit status via voice mail.....	503-823-7357 (e)
Permit status FAXed to you	503-823-7000 (e)
Permitting resource and records.....	503-823-7660
FAX requests for records	503-823-7765
Septic Tanks / Cesspools	503-823-7247
ENVIRONMENTAL SERVICES	
Development Assistance	503-823-7761
Industrial Source Control.....	503-823-7585
FIRE BUREAU	
Development Standards, Sprinklers, Alarms	
Rich Butcher.....	503-823-3802
Flammable Liquids, Tanks, Hazardous Processes	
Bob Happel.....	503-823-3934

OFFICE OF SUSTAINABLE DEVELOPMENT

Regional Green Building Hotline..... 503-823-5431

TRANSPORTATION

Development Requirements, Right-of-Way Policy, Land Divisions and Transportation Plan Review
Kurt Krueger
 503-823-6964 || Local Improvement Districts, Andrew Aebi | 503-823-5648 |
Street Permit Engineering, Chon Wong.....	503-823-7050
Systems Development Charge	
Richard Eisenhower	503-823-7080

TREES - Urban Forestry (7:00 am - 3:30 pm)... 503-823-4489

Pruning/Planning/Removal Permits
N, Luke Miller
 503-823-4511 || N, Jim Field | 503-823-4011 |
S, Ned Sodja.....	503-823-4440
S, Dave Kahler.....	503-823-1691
Tree Cutting Ordinance and Commercial Planning and Development, Charley Davis	503-823-4523
Transportation Improvements, Joe Hintz	503-823-4025
Residential Development & Improvement	
Myles Black.....	503-823-4018

WATER

Water Service Information..... 503-823-7368
Hydrant Permits..... 503-823-7368
Plan Review, Mari Moore..... 503-823-7368
Subdivision Planning, Rick Nelson
 503-823-7475 || Backflow Valve Installation Requirements | |
| Dave Barrigan..... | 503-823-7479 |

BDS will be closed Labor Day, Monday, September 7, 2009, and Veterans Day, Wednesday, November 11, 2009.