



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

Charlie Hales, Mayor
Paul L. Scarlett, Director
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TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: February 21, 2013
To: Interested Person
From: Douglas Hardy, Land Use Services
503-823-7816 / Douglas.Hardy@portlandoregon.gov

NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood which requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5:00 p.m. on March 14, 2013.** Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 13-112855 AD , in your letter. It also is helpful to address your letter to me, Douglas Hardy.

CASE FILE NUMBER: LU 13-112855 AD

Applicant: Kevin Partain, consultant
Urban Visions
223 NE 56th Avenue
Portland, OR 97213
503-421-2967

Charles Thomas, property-owner
Eden Enterprises
5505 SW Delker Road
Portland, OR 97062

Site Address: 1333 NW 24th Avenue

Legal Description: Block 11, Lot 3-5, Goldsmiths Add
Tax Account No.: R331301900
State ID No.: 1N1E33BB 10600
Quarter Section: 2927

Neighborhood: Northwest District, contact John Bradley at 503-313-7574
Business District: Nob Hill, contact Mike Conklin at 503-226-6126
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212

Plan District: None
Zoning: R1 – Multi-Dwelling Residential 1,000

Case Type: Adjustment (AD)
Procedure: Type II, Administrative decision with appeal to Adjustment Committee

PROPOSAL

The 15,000 square foot subject site is comprised of three legally platted lots that are each 5,000 square feet in size, and currently developed with a two-story residential structure. The applicant is proposing (under separate review) a Lot Confirmation and Property Line Adjustment that will reorient the lot lines and change the lot sizes to 6,600 square feet (Tract 1), 4,400 square feet (Tract 2), and 4,000 square feet (Tract 3) (see attached site plan). The existing residential structure will remain on Tract 1, with the remaining two lots each developed with a single-dwelling residence and accessory dwelling unit. Because the site is located in an R1 Multi-Dwelling zone, any changes to the lots requires maintaining a minimum potential residential density of 10 dwelling units. Under the proposed development scenario, Tracts 2 and 3 will each be built out with a total of two dwelling units, with Tract 1 assigned a total of 6 dwelling units. (The six dwelling units on Tract 1 represent only potential development should the existing house be demolished in the future.)

One of the approval criteria for the Property Line Adjustment requires demonstrating that all standards of the Zoning Code will be met, including minimum required lot dimensions. Because Tract 1 may accommodate multi-dwelling development in the future (up to six dwelling units), the minimum required lot dimension for Tract 1 is 10,000 square feet, with a minimum lot width and front line length of 70 feet. **The applicant is therefore requesting an Adjustment to reduce the minimum required lot size for Tract 1 from 10,000 square feet to 6,600 square feet, and to reduce the minimum required lot width and front lot line length (along NW 24th Avenue) from 70 feet to 60 feet.**

RELEVANT APPROVAL CRITERIA

In order to be approved, this proposal must comply with the Adjustment Review approval criteria of Chapter 33.805.040.A-F of the Portland Zoning Code.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on February 5, 2013 and determined to be complete on February 21, 2013.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

APPEAL PROCESS

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Adjustment Committee. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

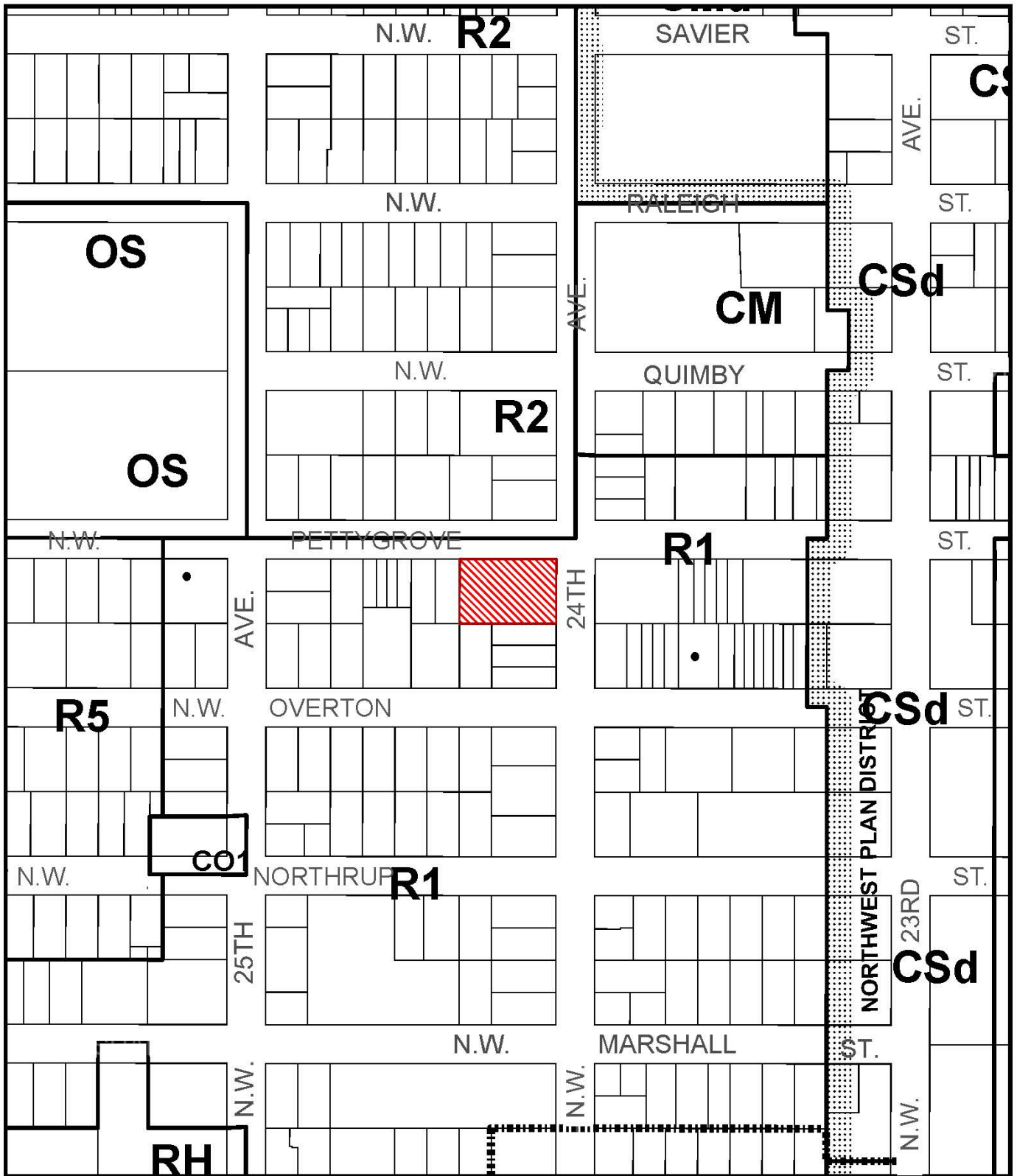
APPEAL OF THE FINAL CITY DECISION

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 550 Capitol St. NE, Suite 235, Salem, OR 97301. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map
Site Plan



ZONING

-  Site
-  Historic Landmark



File No. LU 13-112855 AD
 1/4 Section 2927
 Scale 1 inch = 200 feet
 State_Id 1N1E33BB 10600
 Exhibit B (Feb 05, 2013)

**EXISTING CONDITIONS AND TENTATIVE PLAN
CONFIRMATION AND PROPERTY LINE ADJUSTMENT,
LOTS 3, 4 AND 5, BLOCK 11
GOLDSMITHS ADDITION TO THE CITY OF PORTLAND**

SITUATED IN THE NW 1/4 OF SECTION 33 T.1N., R.1E. W.M.
CITY OF PORTLAND
MULTNOMAH CO., OREGON

MARY ASSOCIATES
18615 E. BONSALL STREET
PORTLAND, OR 97233
TEL: 503-687-5550
FAX: 503-666-8666
EMAIL: DALE@MARYASSOCIATES.NET

DATE DRAWN: DECEMBER 10, 2012
DRAWING NO. 121643C
ACCOUNT NO. 12116
REVISED: JANUARY 22, 2013



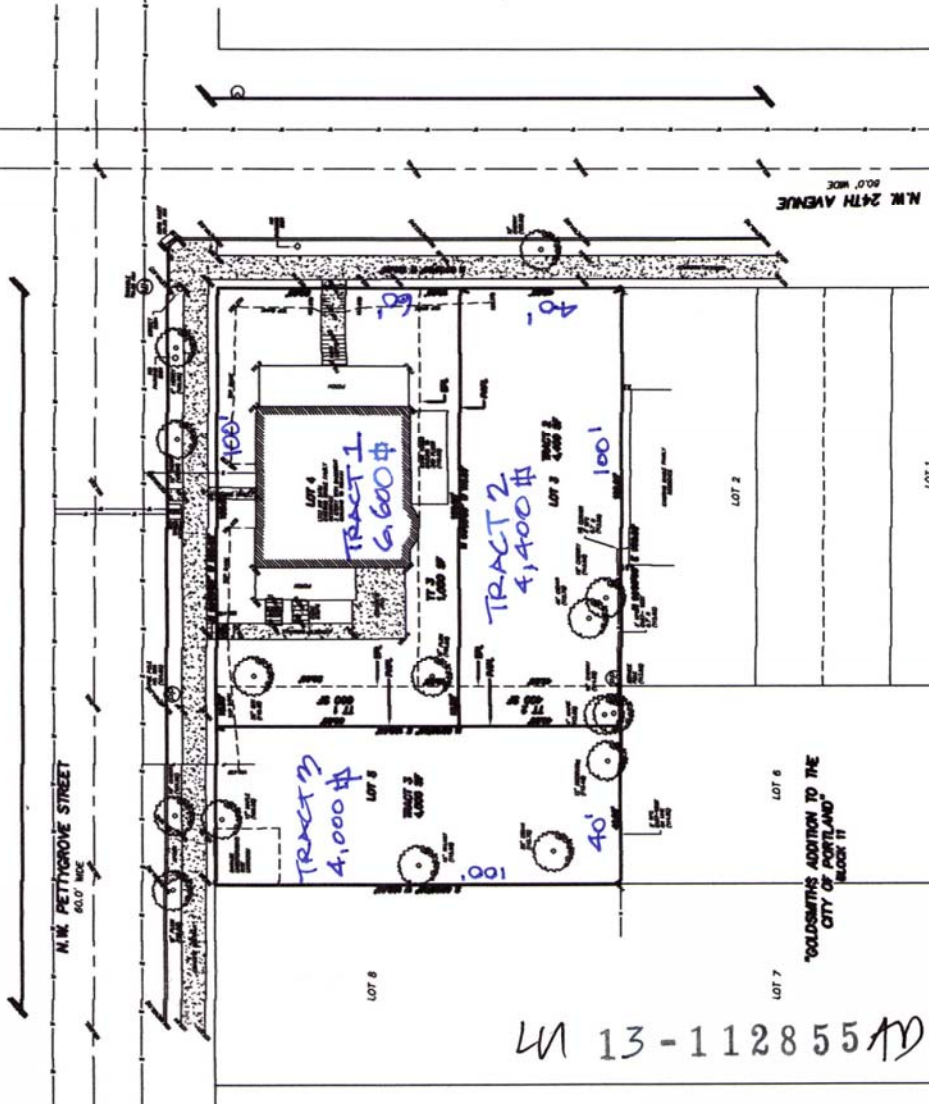
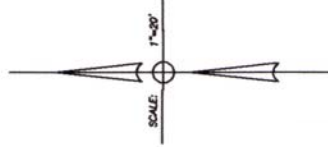
EXHIBIT A
SITE SIZE:
14,000 SQUARE FEET

PARCEL DATA:
BLOCK 11, BLOCK 18, GOLDSMITHS ADDITION TO THE CITY OF PORTLAND, ACCORDING TO DOCUMENT NO. 2012-12328B, MULTNOMAH COUNTY DEED RECORDS.

BENCH MARK:
CITY OF PORTLAND 2" BENCH DISC, 2ND QU. 2005, SW CORNER NW MORTWARP AND NW 29TH AVENUE, ELEVATION = 116.04 TOP DATUM

- NOTES & LEGEND:**
- DENOTES WATER METER
 - DENOTES POWER POLE
 - DENOTES 1.5 X 2.5 CURB INLET
 - DENOTES SANITARY SEWER MANHOLE
 - DENOTES FIRE HYDRANT

- "123.45" DENOTES SPOT ELEVATION (ELEVATION IS AT DECIMAL POINT)
- "123.45C" DENOTES GROUND ELEVATION (ELEVATION IS AT DECIMAL POINT)
- "123.45B" DENOTES TOP BANK ELEVATION (ELEVATION IS AT DECIMAL POINT)
- "123.45D" DENOTES GROUND ELEVATION AT ITEM NOTED (ELEVATION IS AT DECIMAL POINT)
- "123.45E" DENOTES TOP CURB ELEVATION (GUTTER ELEVATION IS AT DECIMAL POINT OF "TOP CURB")
- "123.45F" DENOTES TOP CURB ELEVATION (ELEVATION IS AT DECIMAL POINT)
- "123.45G" DENOTES CENTERLINE ELEVATION (ELEVATION IS AT DECIMAL POINT)
- "123.45H" DENOTES GUTTER ELEVATION (ELEVATION IS AT DECIMAL POINT)
- "WC" DENOTES WIRE FENCE
- "-X-" DENOTES WIRE FENCE
- "-W-" DENOTES WATER LINE
- "-S-" DENOTES SEWER LINE
- "DAP" DENOTES EXISTING PROPERTY LINE
- "DAL" DENOTES PROPOSED ADJUSTED PROPERTY LINE
- "S" DENOTES SQUARE FEET
- "T" DENOTES TRANSFER TRACT.



LM 13-112855 AD

NOTE: UTILITIES ARE LOCATED AS SHOWN FOR FIELD USE. THE CITY OF PORTLAND AS BUILT DATA. ACTUAL LOCATION SHOULD BE FIELD VERIFIED BEFORE CONSTRUCTION.

1/22/2013