



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**

FROM CONCEPT TO CONSTRUCTION

Amanda Fritz, Commissioner  
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[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** Monday, June 24, 2013  
**To:** Interested Person  
**From:** Kate Marcello, Land Use Services  
503-823-7538 | [kate.marcello@portlandoregon.gov](mailto:kate.marcello@portlandoregon.gov)

## **NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD**

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. Copies of the site plan and zoning map are attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on Monday, July 15, 2013.** Please mail or deliver your comments to the address at the bottom of the page, and include the case file number, LU 13-142786 DZ, in your letter. It also is helpful to address your letter to me, Kate Marcello.

### **CASE FILE NUMBER: LU 13-142786 DZ - New Wall-Mounted Sign**

**Applicant/Owner:** Pascuzzi Investment LLC | (503) 320-4575  
10250 SW North Dakota St | Tigard, OR 97223-4237

**Site Address:** 4110 SW Macadam Avenue

**Legal Description:** BLOCK 188 TL 600 LAND & IMPS SEE R129340 (R140917311) FOR BILLBOARD, CARUTHERS ADD; TL 200 0.45 ACRES, SECTION 10 1S 1E; TL 300 0.40 ACRES, SECTION 10 1S 1E

**Tax Account No.:** R140917310, R991100050, R991100060

**State ID No.:** 1S1E10CA 00600, 1S1E10CD 00200, 1S1E10CD 00300

**Quarter Section:** 3429

**Neighborhood:** South Portland Neighborhood Association;  
contact Jim Gardner at (503) 227-2096

**Business District:** South Portland Business Association;  
contact Kevin Countryman at (503) 750-2984

**District Coalition:** Southwest Neighborhoods Inc; contact Leonard Gard at 503-823-4592

**Plan District:** Central City Plan District; South Waterfront Subdistrict

**Zoning:** Central Commercial (CX) base zone; Design (d) overlay zone

**Case Type:** Design Review (DZ)

**Procedure:** Type II (an administrative decision, with appeal to the Design Commission)

**PROPOSAL:** The applicant requests Design Review approval for a new wall-mounted sign on the south façade of the building located at 4110 SW Macadam Avenue in South Waterfront. The south façade is a solid concrete wall. It abuts a gravel lot.

The new sign is about 96 square feet in area. It consists of a thin rectangular aluminum panel with a laminated digital image printed on it. The sign will be flush-mounted to the building façade with screws at each corner. It will be located on the façade directly below existing down-lights. The sign will be illuminated by the westernmost down-light.

Because the proposal is for a non-exempt exterior alteration to an existing building on a site with Design overlay zoning in the Central City Plan District, Design Review is required prior to the issuance of building permits.

Note: The attached elevation drawings show an additional new sign that is 24 square feet in area. This sign is exempt from Design Review. (33.420.041.F in the Zoning Code states that Design Review is required only for signs that exceed 32 square feet in area.)

**RELEVANT APPROVAL CRITERIA:**

In order to be approved, this proposal must comply with the approval criteria of Title 33 (Portland Zoning Code). The relevant criteria are:

- Central City Fundamental Design Guidelines, and
- South Waterfront Design Guidelines.

The proposal must also comply with the standards of Title 32 (Sign Code).

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on April 23, 2013 and determined to be complete on June 19, 2013.

**DECISION-MAKING PROCESS**

The Bureau of Development Services (BDS) will make a decision on this proposal. We will consider your comments, and:

- Approve the proposal,
- Approve the proposal with conditions, or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, City bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**APPEAL PROCESS**

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Design Commission. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

**APPEAL OF THE FINAL CITY DECISION**

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 550 Capitol St. NE, Suite 235, Salem, OR 97301. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

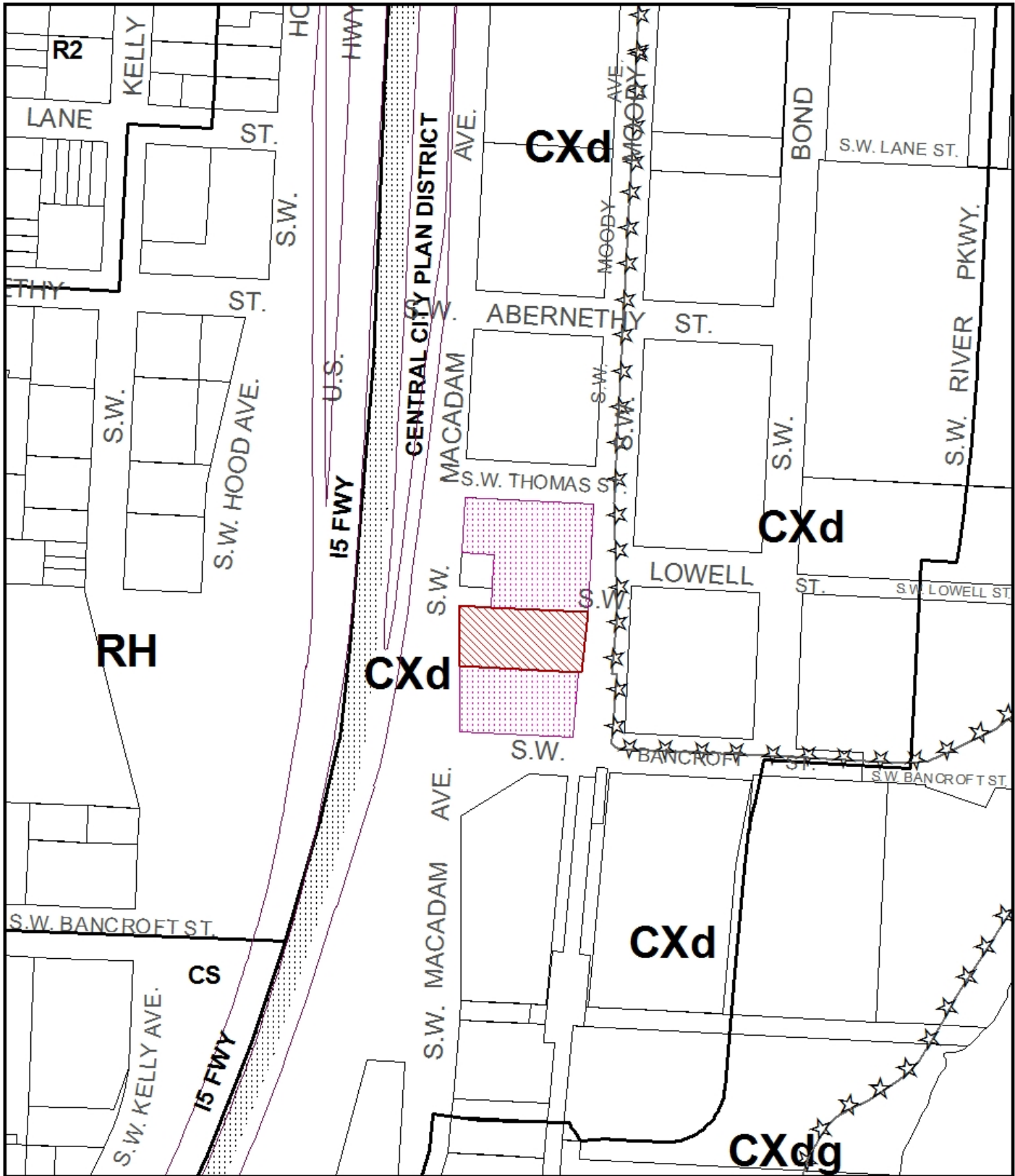
**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

**Enclosures:**

Zoning Map

Site Plan

South Elevation Drawing



# ZONING

- Site
- Also Owned



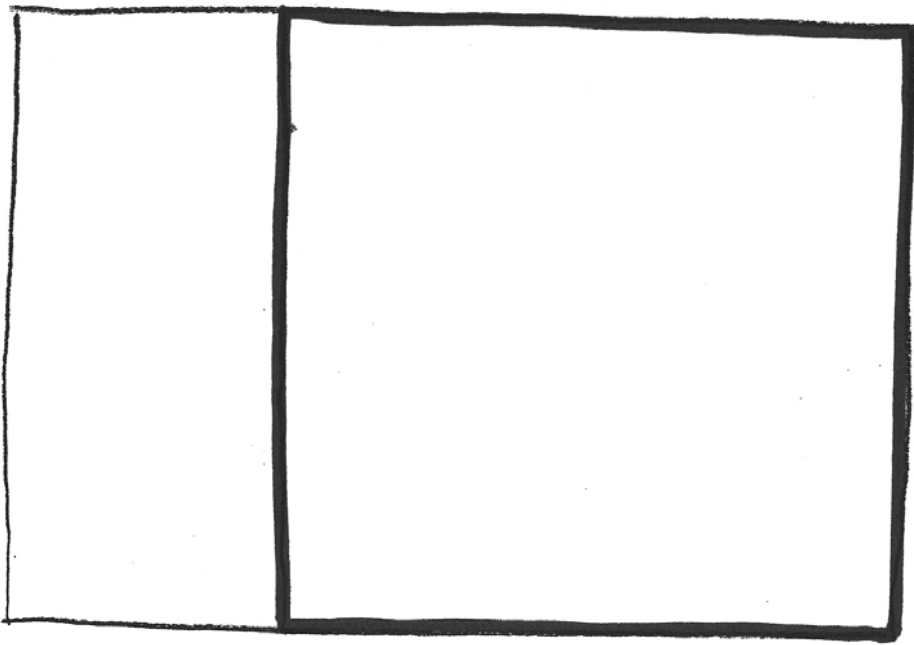
NORTH

This site lies within the:  
**CENTRAL CITY PLAN DISTRICT**  
**SOUTH WATERFRONT**

File No.	LU 13-142786 DZ
1/4 Section	3429
Scale	1 inch = 200 feet
State_Id	1S1E10CD 200
Exhibit	B (Apr 25, 2013)

# Site Plan

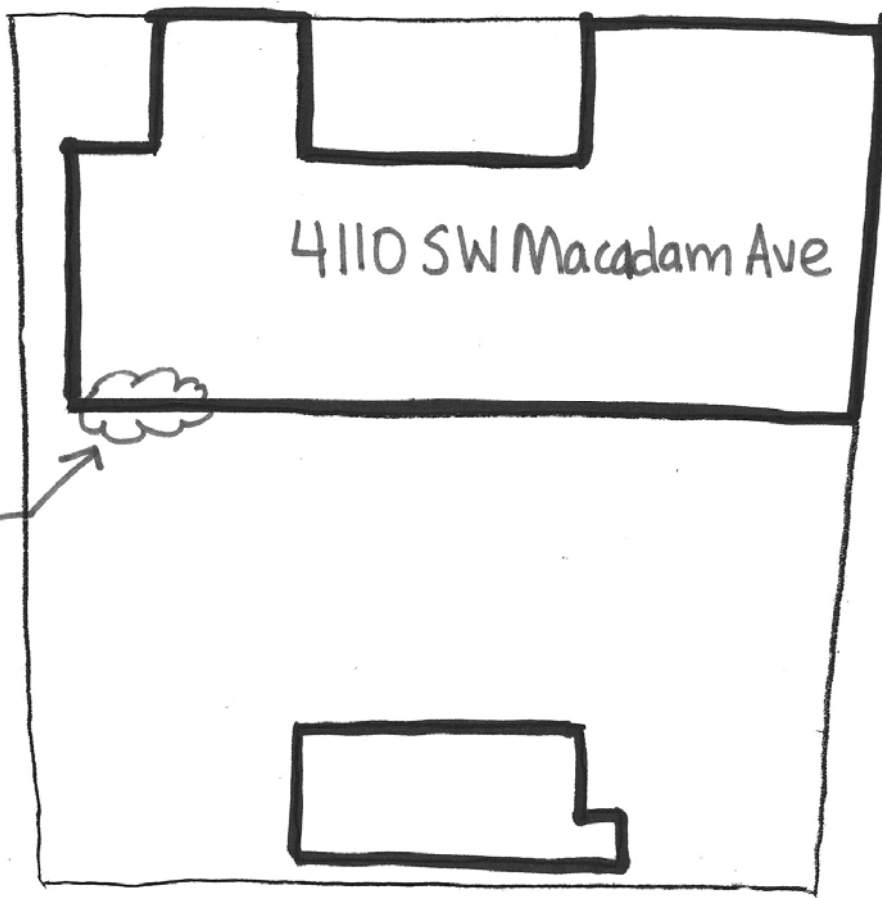
SW Thomas St



SW Lowell St

SW Macadam Ave

SW Moody Ave



4110 SW Macadam Ave

Location of new sign



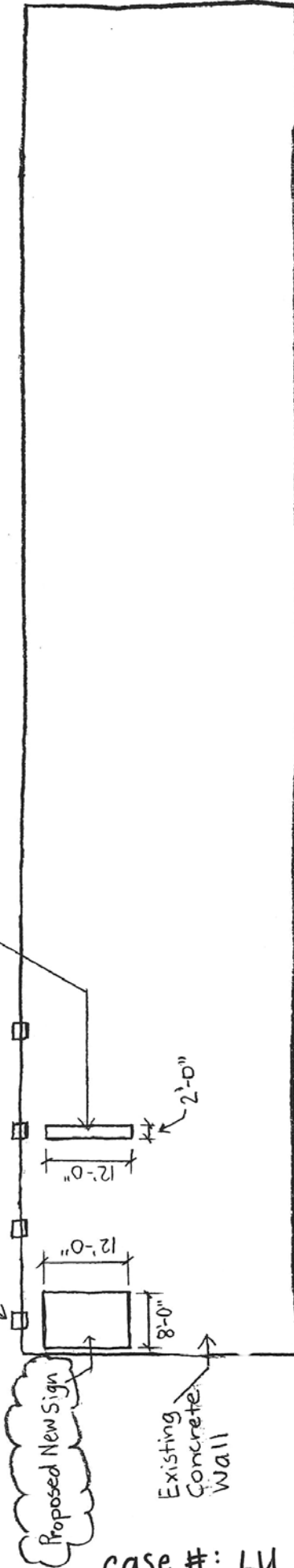
SW Bancroft St

case number: LU 13-142786 DZ

Proposed new sign is 12 ft x 8 ft

New Sign - Exempt from Design Review

Existing Down-light Typical



South Elevation

4110 SW Macadam Ave

Scale: 1" = 10'-0"  
Sheet size has been altered.

Case #: LU 13-142786