



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

Amanda Fritz, Commissioner
Paul L. Scarlett, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: June 24, 2013
To: Interested Person
From: Chris Caruso, Land Use Services
503-823-5747 / Chris.Caruso@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 13-149891 DZ **1610 NW GLISAN STOREFRONT & SITE IMPROVEMENTS**

GENERAL INFORMATION

Applicant: Brian Peters/Western Design Group
2300 E 3rd Loop/Vancouver, WA 98661

Owner: Mark New/Preble-Glisan LLC
900 SW 13th Ave, Suite 210/Portland, OR 97205

Site Address: 1610 NW GLISAN ST

Legal Description: BLOCK 153 LOT 5&8, COUCHS ADD
Tax Account No.: R180213280
State ID No.: 1N1E33DB 00100
Quarter Section: 3028
Neighborhood: Northwest District, contact John Bradley at 503-313-7574.
Business Districts: Pearl District Business Association, contact Adele Nofield at 503-223-0070. Nob Hill, contact Mike Conklin at 503-226-6126.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Plan District: Northwest
Zoning: EXd – Central Employment with design overlay
Case Type: DZ – Design Review
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant seeks design review approval for exterior building and site alterations to the 1610 NW Glisan building in the Northwest Plan District. The proposal includes removing the slanted front (north) façade storefront system and replacing it with a new flat, clear-glazed aluminum-framed storefront system. A new projecting metal and wood canopy will go across the front façade, on top of the storefront system. The east façade will have a new metal exit door set into a vestibule plus a new rolling door that replaces an existing rolling door. Site improvements

include providing short-term bike racks near the new front doors, widening the existing walkway from the sidewalk to the front doors, replacing the existing on-site walkways paving with permeable pavers, removing one mature on-site tree, and replanting the landscaping between the front façade and the sidewalk.

Design review is required for exterior alterations to existing buildings above certain area and valuation triggers. Nonconforming upgrades are triggered for this proposal. Signs are not included in this review.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- 33.825 Design Review
- Community Design Standards

ANALYSIS

Site and Vicinity: The 10,000 SF site is located in the Northwest Plan District on the block bounded by NW Glisan Street and NW 16th Avenue. The site is developed with a one-story concrete structure that is set back from the front lot line. The I-405 freeway lies directly to the east of the site, and represents a significant feature in the landscape.

Portland’s Transportation System Plan classifies NW Glisan Street as a Community Corridor, Major Transit Street, Local Service Bikeway, and Local Service Walkway. NW 16th Avenue is designated as a Community Corridor, Community Transit Street, Major City Traffic Street, City Bikeway, and Local Service Walkway. The site is within the Northwest Pedestrian District.

Zoning: The Central Employment (EX) zone allows mixed uses and is intended for areas in the center of the City that have predominantly industrial-type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed, but are not intended to predominate or set development standards for other uses in the area.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Northwest Plan District implements the Northwest District Plan, providing for an urban level of mixed-use development including commercial, office, housing, and employment. Objectives of the plan district include strengthening the area’s role as a commercial and residential center. The regulations of this chapter: promote housing and mixed-use development; address the area’s parking scarcity while discouraging auto-oriented developments; enhance the pedestrian experience; encourage a mixed-use environment, with transit supportive levels of development and a concentration of commercial uses, along main streets and the streetcar alignment; and minimize conflicts between the mixed-uses of the plan district and the industrial uses of the adjacent Guild’s Lake Industrial Sanctuary.

Land Use History: City records indicate two prior land use reviews for this site.

- 1) 91-00384 DZ (91-008639 DZ) - Design Review approval for retail outlet and car stereo installation area.
- 2) 92-00084 AD (92-009203 AD) - Adjustment approval for elimination of parking lot screening on west and south of property.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **May 28, 2013**. The following Bureaus have responded with no issues or concerns:

- Bureau of Parks-Forestry Division
- Bureau of Environmental Services
- Life Safety Review Section of BDS (Exhibit E-1)
- Site Development Section of BDS (Exhibit E-2)
- Fire Bureau (Exhibit E-3)
- Water Bureau (Exhibit E-4)

The Bureau of Transportation Engineering did not respond prior to the final mailing.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on May 28, 2013. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site’s location, the applicable design guidelines are the Community Design Guidelines.

Community Design Guidelines

The Community Design Guidelines consist of a set of guidelines for design and historic design cases in community planning areas outside of the Central City. These guidelines address the unique and special characteristics of the community plan area and the historic and conservation districts. The Community Design Guidelines focus on three general categories: **(P) Portland Personality**, which establishes Portland’s urban design framework; **(E) Pedestrian Emphasis**, which states that Portland is a city for people as well as cars and other movement systems; and **(D) Project Design**, which assures that each development is sensitive to both Portland’s urban design framework and the users of the city.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

P1. Plan Area Character. Enhance the sense of place and identity by incorporating site and building design features that respond to the area’s desired characteristics and traditions.

D7. Blending into the Neighborhood. Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

Findings for P1 & D7: This area along I-405 is a mixture of single story commercial warehouse buildings, low and mid-rise apartment buildings, and single family residences all of which use a mix of materials in various architectural styles. The building’s relationship with the street, the new ground floor storefront and metal canopies are all of

a modest scale that compliments the existing building types present throughout the Plan District. In addition, the building's simple palette of materials, use of glass and metal, reflect the commercial building styles of the neighborhood. The architectural details and materials result in a cohesive composition that compliments existing development in the neighborhood and that will maintain the building's qualities over time. *These guidelines are therefore met.*

P2. Historic and Conservation Districts. Enhance the identity of historic and conservation districts by incorporating site and building design features that reinforce the area's historic significance. Near historic and conservation districts, use such features to reinforce and complement the historic areas.

Findings: The Alphabet Historic District starts on the site directly to the west of the proposed renovations. The existing projecting glass walls on the front of the project building visually detract from the historic district by detracting from clear views down the street. Replacing the angled front walls with flat storefront and a simple canopy will regularize and quiet the visual experience along NW Glisan Street as pedestrians and motorists enter the Historic District. This will allow the historic structures to become more prominent, thereby enhancing the area. *This guideline is therefore met.*

E1. The Pedestrian Network. Create an efficient, pleasant, and safe network of sidewalks and paths for pedestrians that link destination points and nearby residential areas while visually and physically buffering pedestrians from vehicle areas.

Findings: Existing public sidewalks along both street frontages will remain unobstructed. A new, wider pedestrian connection is being provided from both the NW Glisan sidewalk and the adjacent parking lot. This will allow for easier and more direct entry into the building from the neighborhood. The on-site walkways are also buffered from vehicle areas by landscaping and steps. *This guideline is therefore met.*

E3. The Sidewalk Level of Buildings. Create a sense of enclosure and visual interest to buildings along sidewalks and pedestrian areas by incorporating small scale building design features, creating effective gathering places, and differentiating street level facades.

D2. Main Entrances. Make the main entrances to houses and buildings prominent, interesting, pedestrian accessible, and transit-oriented.

Findings for E3 & D2: The proposal provides ample areas for pedestrians to comfortably interact with the building edges along the streets by retaining the front setback and landscaped areas between the building and the sidewalk, and by widening the main walkway to the front doors so that people can stop and visit before entering. Differentiation of the sidewalk level occurs through the insertion of a glassy main retail level that is delineated from the roof and parapet by the canopies. All of these elements work together to create an interesting and inviting pedestrian experience along what is currently a dark and non-transparent facade.

The public main entrances face the street and are highlighted by canopies and surrounding storefront windows. These features reflect the development's urban character by providing pedestrian accessible main entrances that connect to nearby transit. *These guidelines are therefore met.*

E5. Light, Wind, and Rain. Enhance the comfort of pedestrians by locating and designing buildings and outdoor areas to control the adverse effects of sun, shadow, glare, reflection, wind, and rain.

D1. Outdoor Areas. When sites are not fully built on, place buildings to create sizable, usable outdoor areas. Design these areas to be accessible, pleasant, and safe. Connect outdoor areas to the circulation system used by pedestrians;

D3. Landscape Features. Enhance site and building design through appropriate placement, scale, and variety of landscape features.

Findings for E5, D1 & D3: Since the building will remain set back from the front lot line and there will be no public entries along the side lot line, weather protection will be provided to customers via the projecting front canopies. Additional protection for pedestrians will be provided by the mature tree canopy along NW Glisan Street and by street trees. The existing landscaped front setback will be maintained for use by passersby to stop and rest. It will also be enhanced with new plantings that will provide additional visual interest along the sidewalk. These outdoor areas will be connected to the on-site and surrounding circulation systems by new walkways. *These guidelines are therefore met.*

D5. Crime Prevention. Use site design and building orientation to reduce the likelihood of crime through the design and placement of windows, entries, active ground level uses, and outdoor areas.

Findings: The proposed development helps to discourage neighborhood crime through a strong visual connection between the building interior the street. The main façade is designed with full transparency at the ground floor with large glazed windows and doors which allow for surveillance around the site. Light fixtures are placed around the building to provide illumination for nighttime security. *This guideline is therefore met.*

D6. Architectural Integrity. Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

D8. Interest, Quality, and Composition. All parts of a building should be interesting to view, of long lasting quality, and designed to form a cohesive composition.

Findings for D6 & D8: The dominant materials of the existing buildings are concrete and aluminum storefront and windows. The proposed materials work with the existing building openings and are rectilinear in form to match the building aesthetic. Adding new materials against the plain concrete walls helps to soften the building and allows it to blend in with the surrounding area's mix of commercial and residential structures. All of the proposed materials are high-quality and durable. The repetitive nature of the materials, rectangular window openings, and the consistent canopy across the front façade creates a cohesive composition around the building. *These guidelines are therefore met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The renovation of the existing building and site creates an improved physical environment in this area. The improvements fit within the overall plan area character and allow for continued operation of this existing commercial structure. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

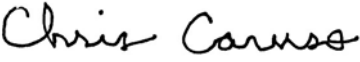
Approval of design review for exterior building and site alterations to the 1610 NW Glisan building in the Northwest Plan District that include the following:

- Removing the slanted front (north) façade storefront system and replacing it with a new flat, clear-glazed aluminum-framed storefront system;
- New projecting metal and wood canopy across the north façade, on top of the storefront system;
- New metal exit door set into a vestibule plus a new rolling door that replaces an existing rolling door on the east façade;
- Short-term bike racks near the new front doors;
- Widening the existing walkway from the sidewalk to the front doors, replacing the existing on-site walkway paving with permeable pavers;
- Removing one mature on-site tree; and
- Replanting the landscaping between the front façade and the sidewalk.

Approved per the approved site plans, Exhibits C-1 through C-7 signed and dated June 20, 2013, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.7. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 13-149891 DZ. No field changes allowed."

Staff Planner: Chris Caruso

Decision rendered by:  **on June 19, 2013.**

By authority of the Director of the Bureau of Development Services

Decision mailed: June 24, 2013

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on May 8, 2013, and was determined to be complete on May 22, 2013.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on May 8, 2013.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: September 20, 2013.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this

information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on July 8, 2013** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **July 9, 2013 – (the day following the last day to appeal).**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

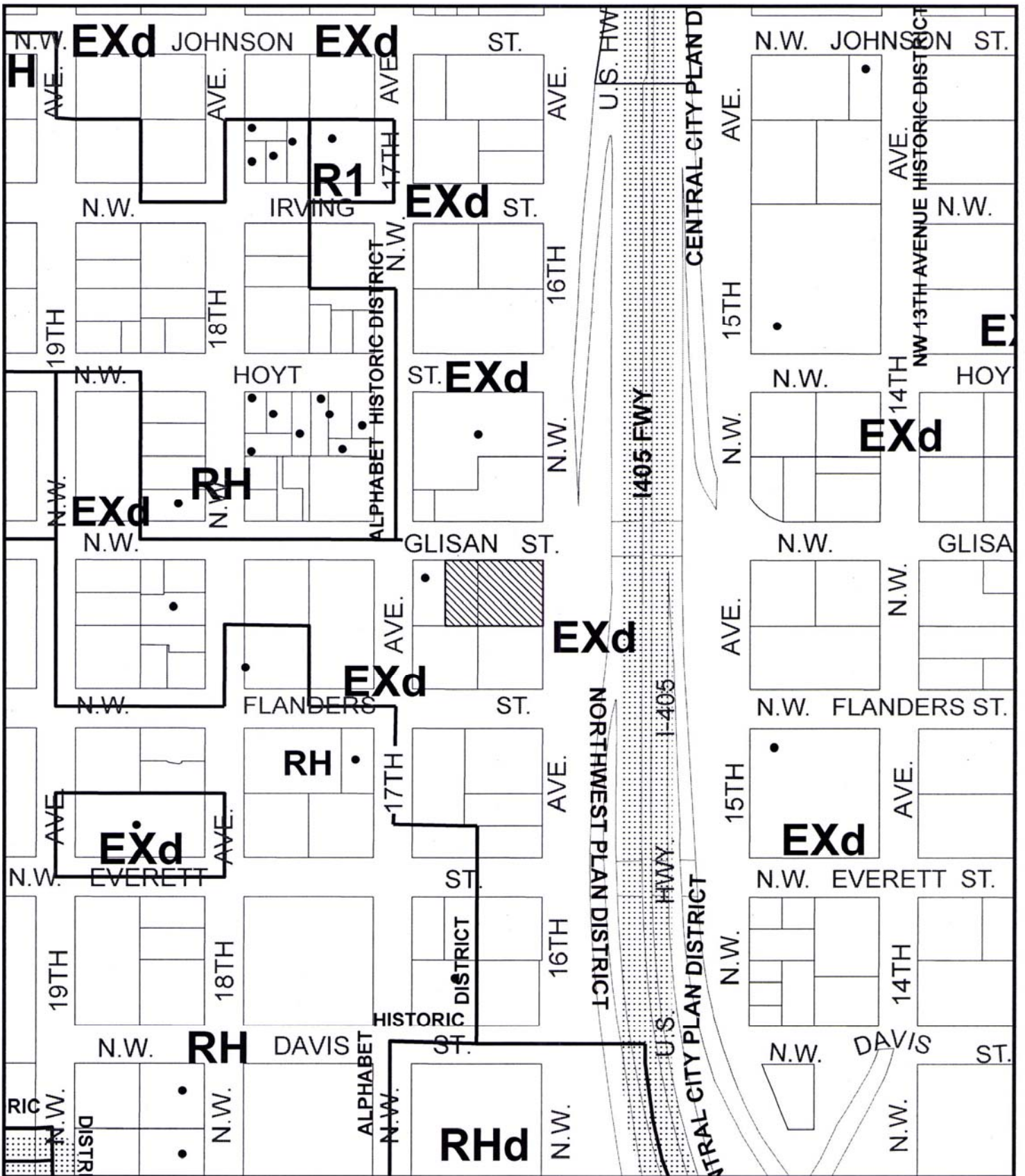
EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 1. Site Plan (attached)
 2. Demo Site Plan
 3. Elevations (attached)
 4. Sections
 5. Details
 6. Kawneer glazing system cutsheet
 7. AZEK permeable paver cutsheet
- D. Notification information:
 1. Mailing list
 2. Mailed notice
- E. Agency Responses:
 1. Life Safety Review Section of BDS
 2. Site Development Review Section of BDS
 3. Fire Bureau
 4. Water Bureau
- F. Correspondence: none received
- G. Other:
 1. Original LU Application

2. Incomplete Letter

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING

 Site

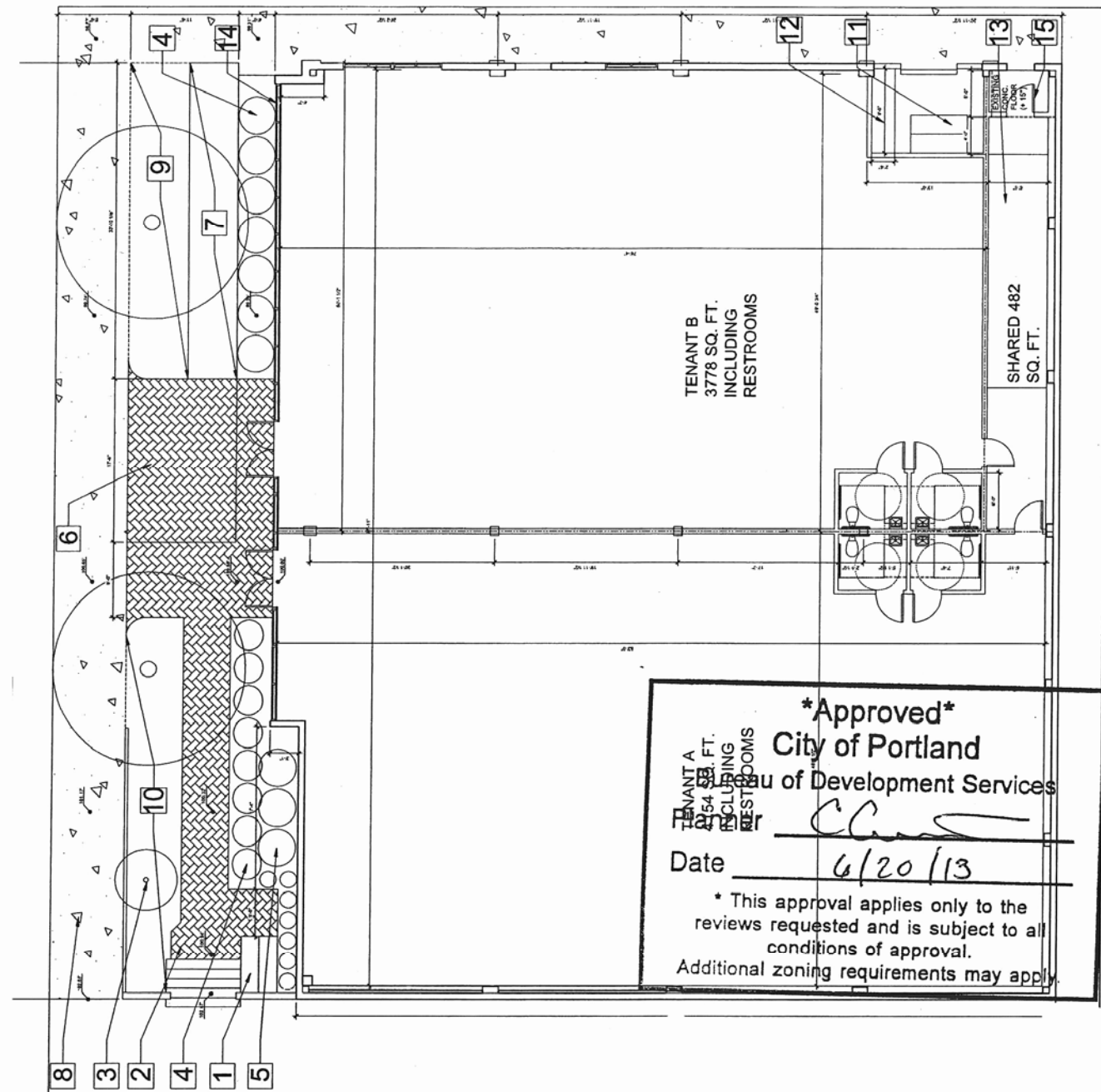
 Historic Landmark



This site lies within the:
NORTHWEST PLAN DISTRICT
ALPHABET HISTORIC DISTRICT

File No.	<u>LU 13-149891 DZ</u>
1/4 Section	<u>3028</u>
Scale	<u>1 inch = 200 feet</u>
State_Id	<u>1N1E33DB 100</u>
Exhibit	<u>B</u> (May 10, 2013)

- 1 NEW SHORT TERM BICYCLE PARKING
 - 2 NEW PERVIOUS PAVING TO MEET STORM WATER REQUIREMENTS
 - 3 NEW TREE TO BE PLACED IN LANDSCAPING
 - 4 NEW 2G SARCOCOCCA HOOKERIANA TO BE PLACED IN LANDSCAPING
 - 5 NEW 5G HYDRANGEA GLOWING EMBERS TO BE PLACED IN LANDSCAPING
 - 6 EXISTING LANDSCAPING AREA REPLACED WITH NEW PERVIOUS PAVING TO MEET STORM WATER REQUIREMENTS AS WELL AS SLOPES FOR ACCESSIBILITY
 - 7 NEW 1G HAKONECHLOA MACRA TO BE PLACED IN LANDSCAPING
 - 8 EXISTING PUBLIC SIDEWALK AT EXISTING SLOPE
- ELEVATION 2 SHEET A2.0
- 9 NEW 4" AJUGA REPTONS "BURGUNDY" TO BE PLACED IN LANDSCAPING
 - 10 NEW 1G CAREX ICE DANCER TO BE PLACED IN LANDSCAPING
 - 11 NEW LONG TERM BIKE STORAGE
 - 12 NEW TRASH ENCLOSURE
 - 13 ACCESSIBLE RAMP IN EXIT CORRIDOR - 1,20 SLOPE
 - 14 NEW STOREFRONT - SEE DETAILS 1 AND 2 ON SHEET A4.1
 - 15 NEW EXTERIOR DOOR - SEE DETAIL 3 ON SHEET A4.1



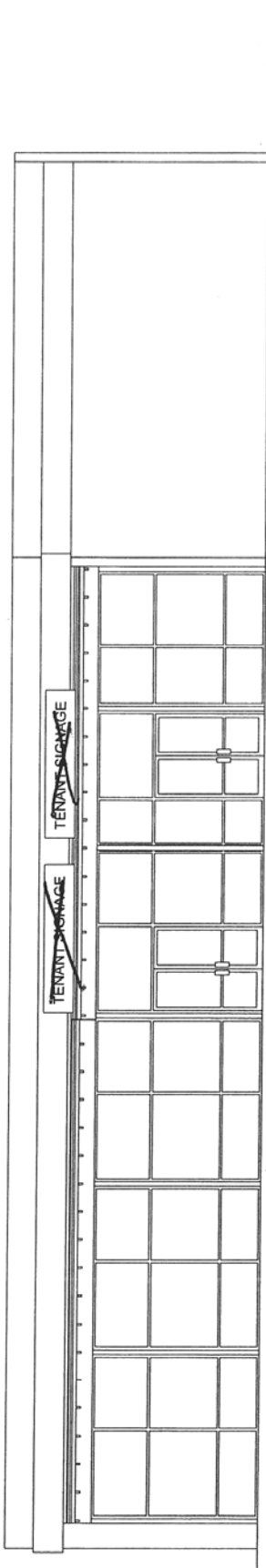
Approved
 City of Portland
 Bureau of Development Services

TENANT A
 2154 SQ. FT.
 INCLUDING
 RESTROOMS

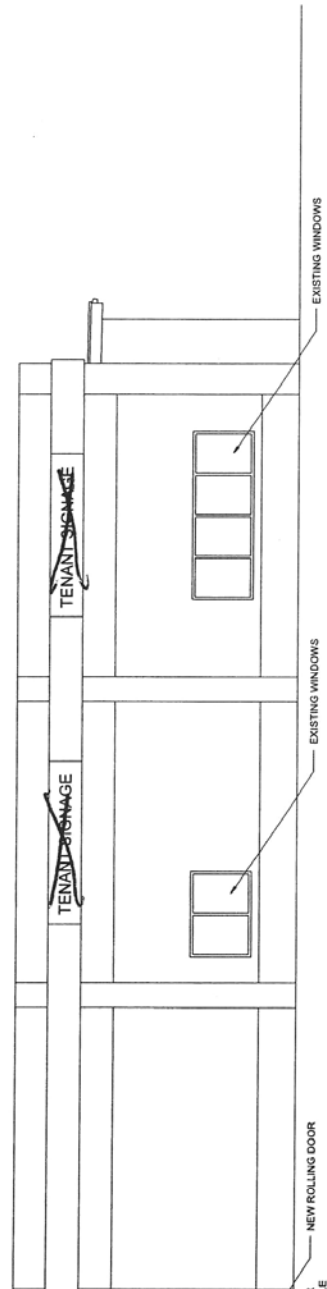
Date 6/20/13

* This approval applies only to the reviews requested and is subject to all conditions of approval.
 Additional zoning requirements may apply.

DATE	ISSUE
04.28.13	PRELIM
05.07.13	REVIEW
05.21.13	REVIEW



1
ELEVATION
SCALE: 1/4" = 1'-0"



2
ELEVATION
SCALE: 1/4" = 1'-0"

Approved
 City of Portland
 Bureau of Development Services
 Planner [Signature]
 Date 6/20/13
 * This approval applies only to the reviews requested and is subject to all conditions of approval.
 Additional zoning requirements may apply

LU 13-149891 D2

EXH.C-3