



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

Amanda Fritz, Commissioner
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Date: May 8, 2014
To: Interested Person
From: Chris Caruso, Land Use Services
503-823-5747 / Chris.Caruso@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has **approved** a proposal in your neighborhood. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 13-243245 HR 1937 SE HARRISON ADDITION

GENERAL INFORMATION

Contact: Elaine Chan / Yuechan Company LLC
1011 NE 109th Ave. / Portland, OR 97220

**Applicants/
Owners:** Geng Eong Wong & Fook Siu Wong
1937 SE Harrison St. / Portland, OR 97214-4830

Site Address: 1937 SE HARRISON ST

Legal Description: BLOCK 22 E 39' OF W 78' OF LOT 21&24, LADDS ADD
Tax Account No.: R463305060
State ID No.: 1S1E02DA 18700
Quarter Section: 3232
Neighborhood: Hosford-Abernethy, contact Joanne Stainbrook at 503-231-9245.
Business District: Division-Clinton Business Association, contact Darice Robinson at 503-233-1888.
District Coalition: Southeast Uplift, contact Bob Kellett at 503-232-0010.
Historic District: Ladd's Addition
Other Designations: Non-contributing Resource
Zoning: R5 – Single-Family Residential with historic resource overlay
Case Type: HR – Historic Resource Review
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal:

The applicant seeks historic resource review approval for exterior alterations to a 1941 Cape Cod style house that is a non-contributing resource in the Ladd's Addition Historic District. The proposed alterations include:

- A 168 SF rear addition offset from the existing side wall of the house by a minimum of 8 inches, and with a gable roof that matches the roof pitch of the existing house;
- Wood lap siding, wood trim and composite shingle roofing on the addition; with
- One double-hung wood window and one wood door, trimmed to match the existing house; and

- A 96 SF rear composite wood deck, composite wood stairs, and wood railing off of the new addition.

Historic Resource Review is required for exterior alterations to existing structures in this designated historic district.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- 33.846 Historic Resource Review
- Ladd’s Addition Conservation District Design Guidelines – New Construction

ANALYSIS

Site and Vicinity: The site is located on a 3,354 square foot parcel at the far eastern end of Ladd’s Addition, along SE Harrison Street. The site is developed with an existing two-story home originally constructed in 1941. The house is listed as a non-contributing resource in the district due to the covering over of original siding with new siding around the entire house.

The surrounding area is exclusively residential, although one block to the east is the slightly more commercial SE 20th Avenue. Most nearby properties are existing, well-maintained homes of similar early twentieth-century vintage as the subject house. The abutting streets are all improved with paved roadways, on-street parking, curbing, street trees, and paved public sidewalks. SE Harrison Street is designated a Local Service Bikeway and a Local Service Walkway.

Zoning: The Residential 5,000 (R5) base zone is intended to preserve land for housing, and to provide housing opportunities for individual households. The development standards of the R5 zone seek to promote desirable residential areas by addressing aesthetically pleasing environments, safety, privacy, energy conservation, and recreational opportunities. The Ladd’s Addition Historic District designation triggers a Historic Design Review process for most exterior alterations within the district. Historic preservation beautifies the city, enhances the city’s economic health, and protects significant elements of the city’s and region’s heritage.

Land Use History: City records indicate no prior land use reviews for this site.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **April 10, 2014**. The following Bureaus have responded with no issues or concerns:

- Site Development Section of BDS (Exhibit E-1)
- Life Safety Review Section of BDS (Exhibit E-2)
- Bureau of Environmental Services (Exhibit E-3)
- Water Bureau (Exhibit E-4)

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on April 10, 2014. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846, Historic Reviews

Purpose of Historic Design Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Design Review Approval Criteria

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Ladd's Addition Historic District. Therefore the proposal requires historic design review approval. The relevant approval criteria are the Ladd's Addition Conservation District Design Guidelines.

Ladd's Addition Conservation District Guidelines

The revised Ladd's Addition guidelines were adopted in 1988, with both the Ladd's Addition Conservation District Advisory Council and the Landmarks Commission and staff participating in their formulation. The basic intent of the guidelines is to ensure that new development in the district is compatible with the character and the architecture, which distinguishes Ladd's Addition. The guidelines document is organized around three general topic areas: community design, new construction, and exterior remodeling.

The rear addition has been reviewed using the New Construction Guidelines. Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

Ladd's Addition Conservation District Guidelines - New Construction

1. Siting. All new buildings should face the street. Commercial buildings should be pedestrian oriented and have a zero front yard setback. All other buildings should maintain the historical front yard setback on the block, usually fifteen to twenty feet. The original topography and grade of building sites should be maintained.

Findings: The proposed addition is on the rear of the house. This allows the historical front yard setback on the block to remain in tact. The addition will match the foundation line of the original house so that the topography and grade of the building site will remain as originally contoured. *This guideline is therefore met.*

2. Landscaping. On the site of non-commercial structures, the retention of front lawns and mature trees is encouraged. The predominant use of ground covers, such as bark mulch and broadleaf evergreens, is discouraged. Plants popular in the 1910s and 1920s are encouraged.

Findings: The existing front lawn and trees will remain on the site. The proposed addition is on the rear of the building and will have no affect on the front yard or front plantings. *This guideline is therefore met.*

4. Parking. Parking areas and driveways are discouraged in the front yard. Required on-site parking should be located in the rear yard or beneath new construction. Parking areas, providing space for three or more cars, should be screened from adjacent properties: hedges and canopy trees are recommended as screens. No lot within the district should be converted solely for parking use.

Findings: Existing on-site parking is not affected by the proposal and will remain along the side of the house where the driveway is located. *This guideline is therefore met.*

7. Foundations. Non-commercial structures should have foundations, which are three or four feet in height and constructed of masonry materials, such as ornamental concrete block, poured concrete with a stucco wash, or stone. Commercial buildings should have foundations, which are within six inches of the sidewalk elevation.

Findings: The existing house is unique for this district in that it does not have a foundation that is between 3'-4', but is between 20" and 36" in height. The proposed foundation of the rear addition will match that of the existing house in material and height so the top of the foundation wall will be visually continuous around the house. By matching the existing concrete foundation in material and top datum line, the overall appearance of the structure will be cohesive and appropriate. *This guideline is therefore met.*

8. Exterior Siding Materials. Materials used on new buildings should be consistent with predominant materials used on buildings of a similar use within the district. On single family residences and duplexes: stucco, horizontal wood siding, wood shingles, brick, or a combination of these materials. On commercial and multi-family residences: stucco and brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.

Findings: The original house's wood siding was covered over years ago with aluminum siding. The new rear addition will use horizontal lap siding of the same width as the aluminum siding but the new siding will be wood to better meet the desired characteristics of the historic district. *This guideline is therefore met.*

9. Roof Form. Non-commercial buildings should have gable or hip roofs with medium to steep pitch. Dormers and gable roof projections are encouraged. Commercial buildings should have flat roofs with parapets or false fronts.

Findings: The existing house has a steep roof pitch that will be matched by the roof of the proposed rear addition. *This guideline is therefore met.*

10. Building Additions. Building additions should be in keeping with the original architectural character, color, mass, scale, and materials. Additions should be designed to have the least impact upon character-defining features and should be located inconspicuously when viewed from the street.

Findings: The proposed addition and rear deck will be in keeping with the original architectural character, color, mass, scale, and material details of the existing house. The addition's gable roof form, simple rectangular massing, rear location and 8" side setback from the original house wall plane is designed to have the least impact upon character-defining features of the original house. The addition and the rear deck are located inconspicuously when viewed from the street. *This guideline is therefore met.*

11. Development Impacts. All new development should be designed and operated to minimize potential adverse impacts upon surrounding residences and to reduce conflicts with residential uses. Factors to be considered are traffic generation, deliveries, parking, noise, lighting, crime prevention, hours of operation and activity, visual effects and buffering.

Findings: The proposal for a rear addition and deck is a small scale residential proposal and will not result in increased traffic generation, deliveries, parking, noise, hours of operation and activity, or lighting. The proposed addition and deck is attached to the rear of the existing house and has a small footprint. For these reasons, the proposal will not visually or physically impact neighbors nor will it impede open space typically found in rear yards. *This guideline is therefore met.*

13. Windows and Doors. Window sashes and doors should be wood frames and detailed with wood trim. For commercial buildings, storefront windows with large fixed panes below and smaller frames above are encouraged. For other buildings, vertical, double-hung windows, as well as groups of vertical windows, which may be horizontal in overall expression, are encouraged.

Findings: Window sashes and doors are proposed to be wood frames and finished with compatible wood trim. The one new window on the rear of the addition, despite being more evenly proportioned overall, matches two original window openings on the front and side of the house so that the overall appearance of the structure will be cohesive and appropriate. *This guideline is therefore met.*

15. Color. Restoration of original colors, or colors appropriate to the style and era of the building, is encouraged.

Findings: The proposed colors will match the existing colors of the house, which are appropriate to the style and era of the building. *This guideline is therefore met.*

17. Crime Prevention. Crime prevention elements should be included in the design with specific attention to landscaping, parking areas, walkways, lighting, entries, and visibility. Windows and entries should not be obscured. Parking areas, walkways, and entries should be adequately illuminated for visibility.

Findings: The addition and open rear deck offer adequate opportunities for viewing the lot and neighboring lots which provide improved crime prevention. Additionally, the addition includes doors to the rear yard and new deck, improving access between inside and outside. *This guideline is therefore met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of City of Portland Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The purpose of the historic design review process is to ensure that exterior alterations to existing buildings protect the integrity of the special characteristics of the historic resources. The proposed alterations are in keeping with the original character and architectural integrity of the home and the Ladd's Addition Conservation District. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of historic resource review approval for exterior alterations to a 1941 Cape Cod style house that is a non-contributing resource in the Ladd's Addition Historic District. The proposed alterations include:

- A 168 SF rear addition offset from the existing side wall of the house by a minimum of 8 inches, and with a gable roof that matches the roof pitch of the existing house;
- Wood lap siding, wood trim and composite shingle roofing on the addition; with
- One double-hung wood window and one wood door, trimmed to match the existing house; and
- A 96 SF rear composite wood deck, composite wood stairs, and wood railing off of the new addition.

Approved per the approved site plans, Exhibits C-1 through C-11 signed and dated May 5, 2014, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.11. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 13-243245 HR. No field changes allowed."

Staff Planner: Chris Caruso

Decision rendered by: Chris Caruso **on May 5, 2014**

By authority of the Director of the Bureau of Development Services

Decision mailed: May 8, 2014

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on January 2, 2014, and was determined to be complete on **April 7, 2014**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on January 2, 2014.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: August 6, 2014**.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on May 22, 2014** at 1900 SW Fourth Ave. Appeals can be filed at the Development Services Center Monday through Wednesday and Fridays between 8:00 am to 3:00 pm and on Thursdays between 8:00 am to 2:00 pm. After 3:00 pm Monday through Wednesday and Fridays, and after 2:00 pm on Thursdays, appeals must be submitted at the reception desk on the 5th floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **May 23, 2014**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

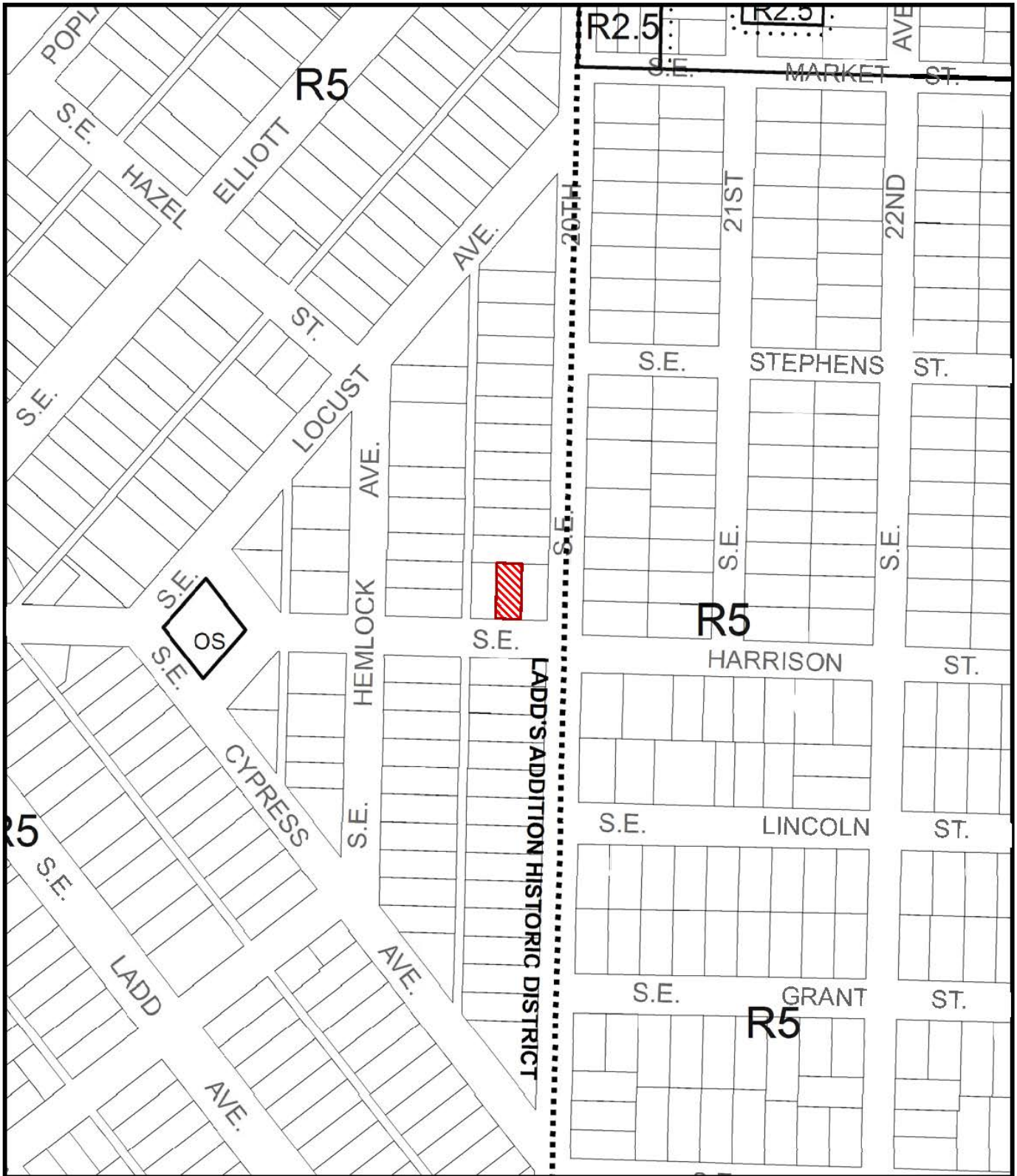
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan/Basement Plan (attached)
 - 2. Main Floor Plan/Attic Plan
 - 3. Section (attached)
 - 4. South and North Elevations (attached)
 - 5. West Elevation (attached)
 - 6. East Elevation (attached)
 - 7. Wall Section
 - 8. Details
 - 9. Window & Door Details
 - 10. Door Manufacturer's Information
 - 11. Window Manufacturer's Information
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Site Development Section of BDS
 - 2. Life Safety Review Section of BDS
 - 3. Bureau of Environmental Services
 - 4. Water Bureau
- F. Correspondence: none received
- G. Other:
 - 1. Original LU Application
 - 2. Incomplete Letter
 - 3. Staff Memo

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING

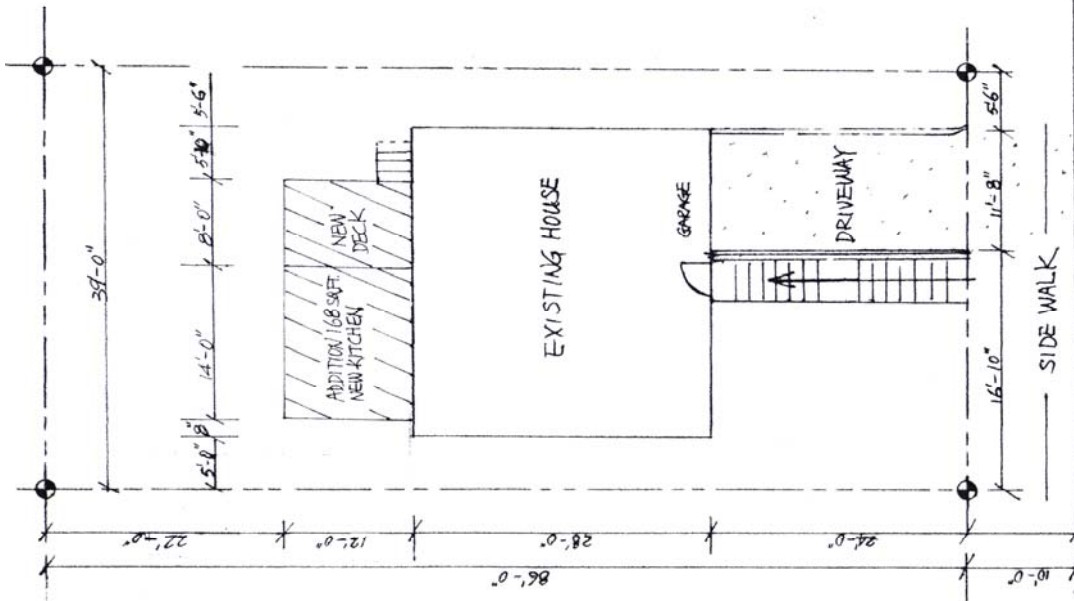


Site



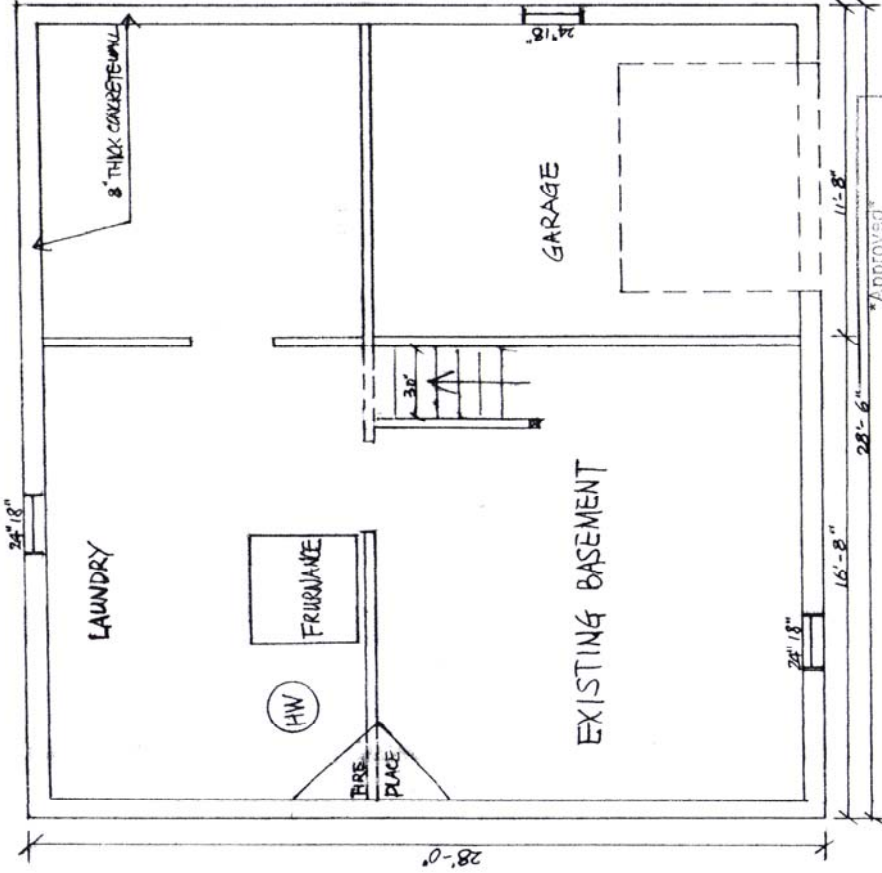
This site lies within the:
LADD'S ADDITION HISTORIC DISTRICT

File No. LU 13-243245 HR
 1/4 Section 3232
 Scale 1 inch = 200 feet
 State_Id 1S1E02DA 18700
 Exhibit B (Jan 06,2014)



SE HARRISON ST.

SITE PLAN (3354 SQ. FT.)
SCALE: 3/32" = 1'

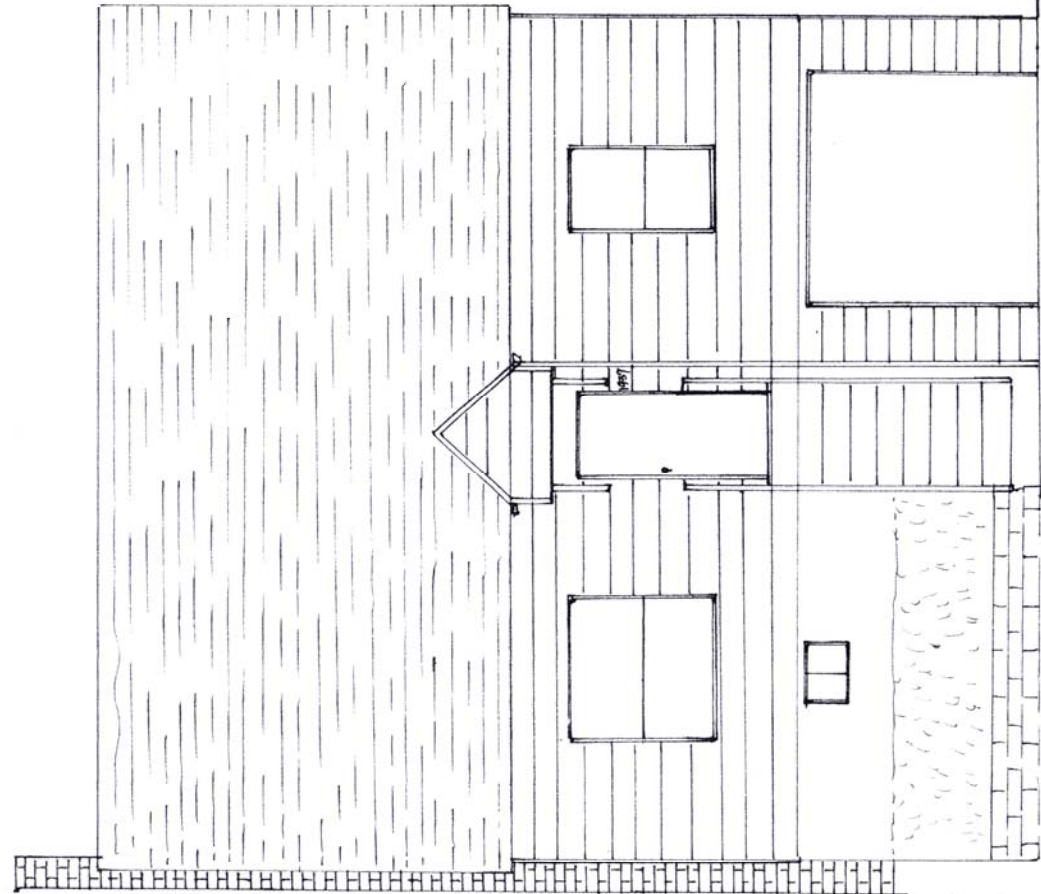


BASEMENT PLAN (794 SQ. FT.)
SCALE: 1/4" = 1'

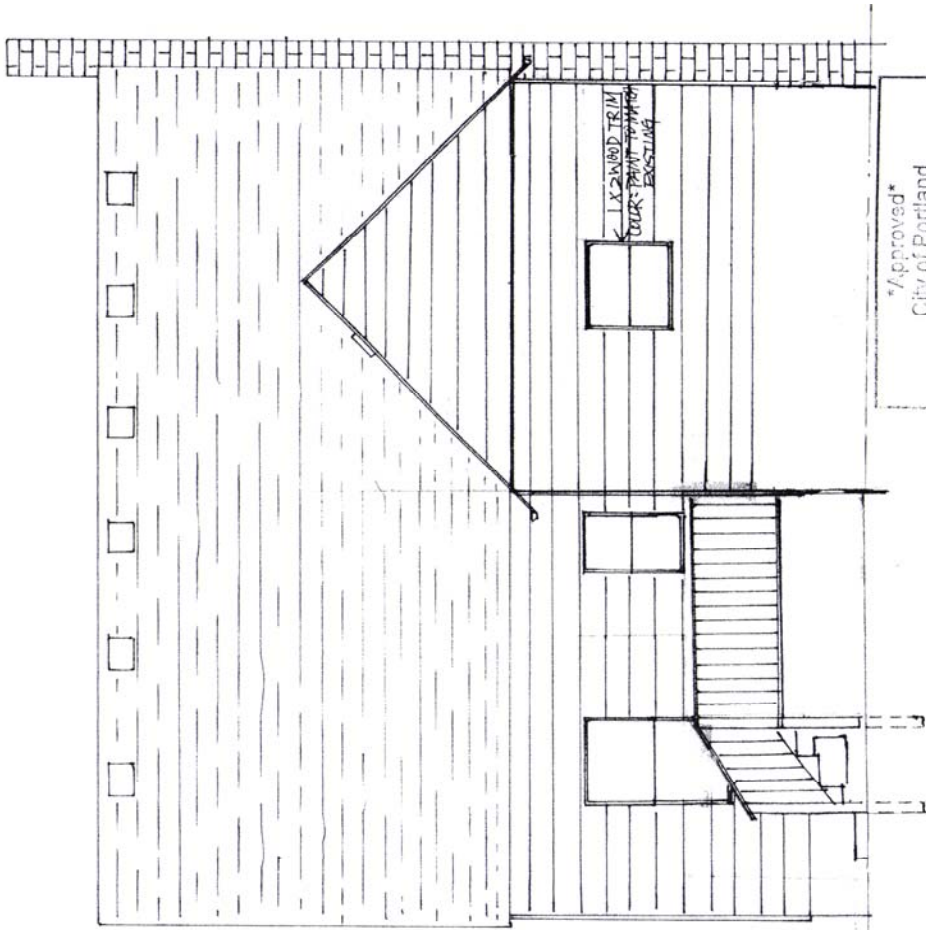
Approved
City of Portland
Bureau of Development Services
Planner *CS*
Date *5/5/14*
* This approval applies only to the reviews requested and is subject to conditions of approval.
Additional zoning requirements may apply.

1937 SE Harrison St.
Portland, OR 97214

EXH. C-1



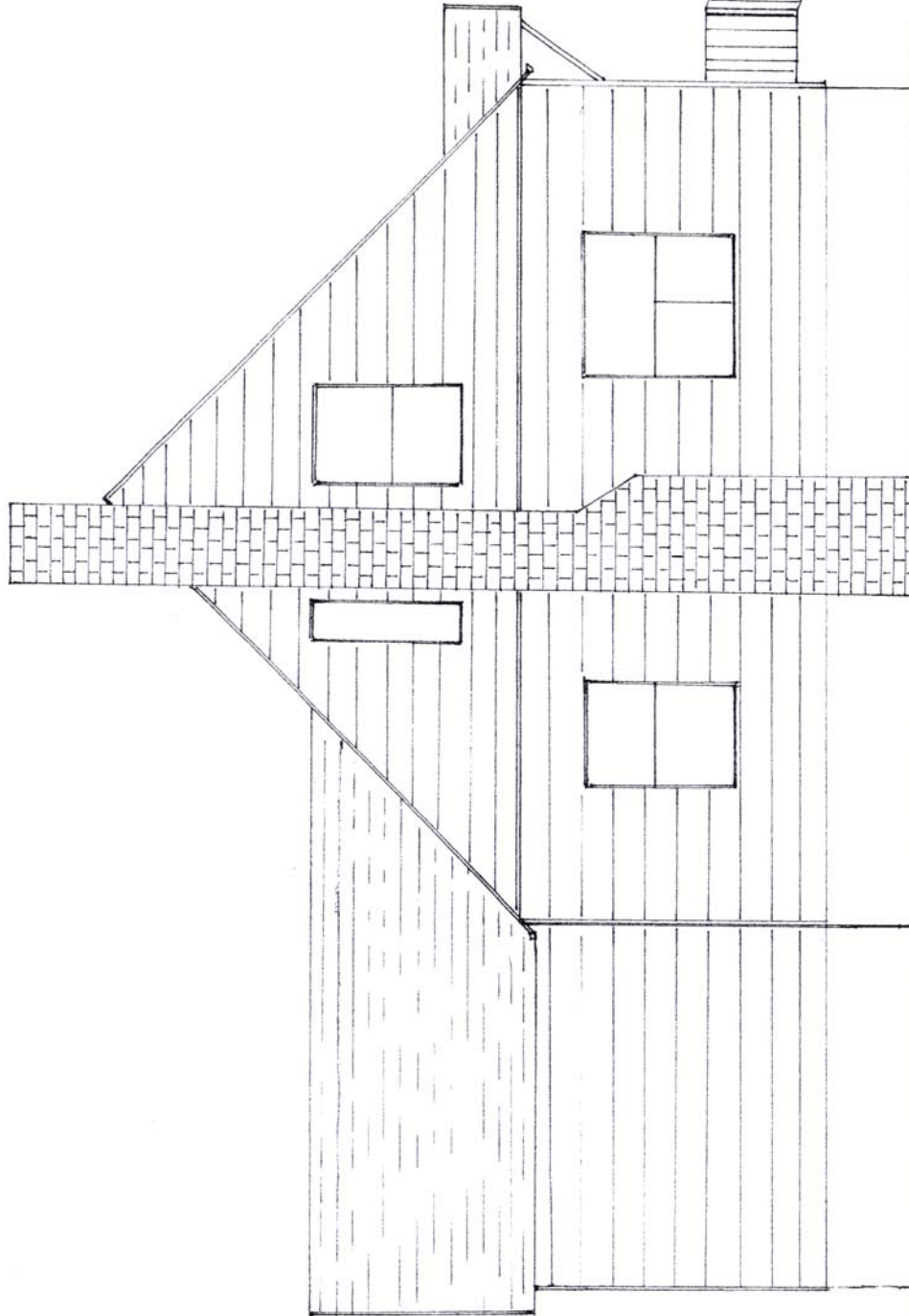
SOUTH ELEVATION
SCALE: 1/4" = 1'



NORTH ELEVATION
SCALE: 1/4" = 1'

Approved
City of Portland
Bureau of Development Services
Planner *CC*
Date *5/5/14*
* This approval is only valid if the
revisions requested are in subject to all
conditions of approval.
Other city permits may apply.

1 X SAND TRIM
DOORS PAINT TO MATCH
EXISTING

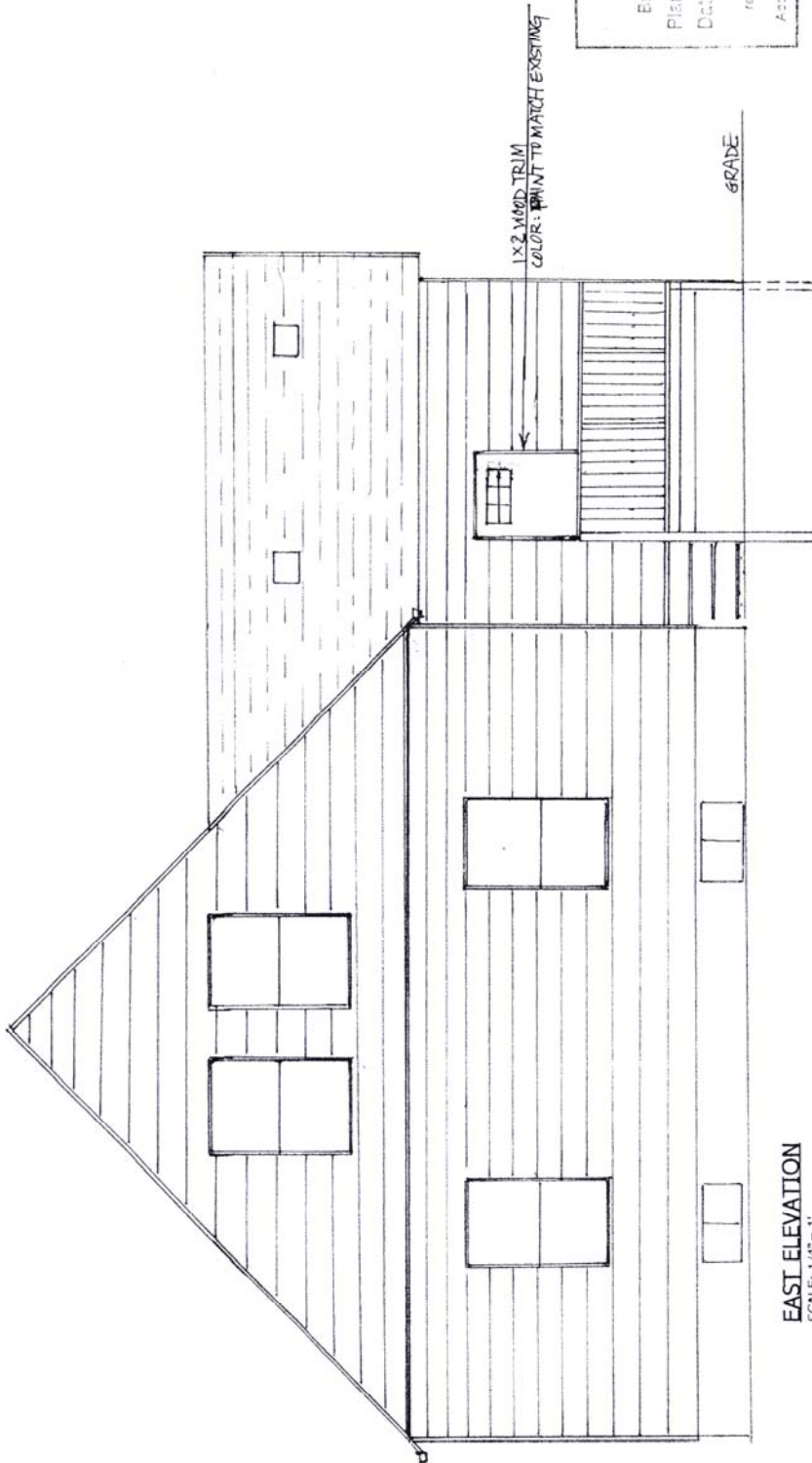


Approved
City of Portland
Bureau of Development Services
Planner *CC*
Date *5/5/14*
* This approval applies only to the
revisions requested and is subject to all
conditions of approval.
Additional zoning requirements may apply.

WEST ELEVATION
SCALE: 1/4"=1'

EXH. C-5

5 1937 SE Harrison St.
Portland, OR 97214



Approved
 City of Portland
 Bureau of Development Services
 Planner C.C.S.
 Date 5/5/14
 * This approval applies only to the
 revisions reviewed and is subject to all
 conditions of approval.
 Additional sheets are prohibited in any size.

EAST ELEVATION
 SCALE: 1/4"=1'

6 1937 SE Harrison St.
 Portland, OR 97214

EXH.C-6