



Date: Thursday, July 24, 2014
To: Interested Person
From: Kate Marcello, Land Use Services
 503-823-7538 | kate.marcello@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has **approved** a proposal in your neighborhood. The reasons for the decision are included in the version located on the BDS website, via this link: <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the district coalition and then scroll to the relevant neighborhood and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 14-120374 HR AND LU 14-127696 DZM New Signage for DD's Discounts Store

GENERAL INFORMATION

Applicant: Reid Storm, Vancouver Sign Company | 360-693-4773
 2600 NE Andresen Rd, Suite 50 | Vancouver, WA 98661

LU 14-120374 HR

Owner: Walker Place LLC
 225 SW Broadway #400 | Portland, OR 97205

Site Address: 620 SW 5th Avenue

Legal Description: BLOCK 62 LOT 7&8 LAND ONLY SEE R246112 (R667707311) FOR IMPS HISTORIC PROPERTY 10 YR 2011; POTENTIAL ADDITIONAL TAX, PORTLAND; BLOCK 62 LOT 7&8 IMPS ONLY SEE R246111(R667707310) FOR LAND HISTORIC PROPERTY 10 YR 2011; POTENTIAL ADDITIONAL TAX, PORTLAND

Tax Account No.: R667707310, R667707311, R667707310

State ID No.: 1S1E03BA 08400, 1S1E03BA 08400A1, 1S1E03BA 08400

Quarter Section: 3129

Neighborhood: Portland Downtown Neighborhood Association; contact Jennifer Geske at 503-750-9843

Business District: None

District Coalition: Neighbors West/Northwest; contact Mark Sieber at 503-823-4212

Plan District: Downtown Subdistrict; Central City Plan District

Other Designations: Failing Office Building, which is a designated Historic Landmark, listed on the National Register of Historic Places on October 31, 2007
Zoning: Central Commercial (CX) base zone; Historic Resource Protection overlay zone (due to building's designation as Historic Landmark); Design (d) overlay zone

Case Type: Historic Resource Review (HR)

Procedure: Type II, which is an administrative decision, with appeal to the Landmarks Commission

LU 14-127696 DZM

Owner: Katherine C Tompros
4440 Rosewood Dr | Pleasanton, CA 94588

Site Address: 600 SW 5th Avenue

Legal Description: BLOCK 62 LOT 1&2, PORTLAND
Tax Account No.: R667707230
State ID No.: 1S1E03BA 08300
Quarter Section: 3129
Neighborhood: Portland Downtown Neighborhood Association; contact Jennifer Geske at 503-750-9843

Business District: None
District Coalition: Neighbors West/Northwest; contact Mark Sieber at 503-823-4212
Plan District: Downtown Subdistrict; Central City Plan District
Zoning: Central Commercial (CX) base zone; Design (d) overlay zone
Case Type: Design Review with a Modification (DZM)
Procedure: Type II, which is an administrative decision, with appeal to the Landmarks Commission

PROPOSALS:**LU 14-120374 HR**

The applicant requests **Historic Resource Review approval** for new signage at 620 SW 5th Avenue. The proposed signage is as follows:

- Wall-mounted aluminum reverse pan channel letters on Alder St facade, with external illumination from two cylindrical lights mounted atop an existing canopy. This sign is not internally illuminated. Sign area: 31.4 square feet.
- Aluminum cabinet with exposed neon lettering, attached to the underside of an existing canopy on the Alder St façade. Sign area: 10.4 square feet.
- Corner-mounted projecting cabinet sign with vinyl letters flush-mounted to the cabinet, at the corner of Alder St and 5th Ave, with external illumination from existing cylindrical up-lights mounted atop existing canopies. This sign is not internally illuminated. Sign area: 25 square feet.
- Wall-mounted aluminum reverse pan channel letters on 5th Ave facade, with external illumination from two cylindrical lights mounted atop an existing canopy. This sign is not internally illuminated. Sign area: 31.4 square feet.
- Aluminum cabinet with exposed neon lettering, attached to the underside of an existing canopy on the 5th Ave façade. Sign area: 10.4 square feet.

Historic Resource Review approval is required prior to the issuance of building permits because the proposal is for exterior signs and lights on a designated Historic Landmark.

LU 14-127696 DZM

The applicant requests **Design Review approval** for new signage at 600 SW 5th Avenue, which is located at SW 4th Avenue and SW Alder Street. The proposed signage is as follows:

- Individually mounted aluminum reverse pan channel letters, attached to an existing projecting metal cabinet/fin element on the building, at the corner of Alder St and 4th Ave. Sign area: 242.1 square feet. Sign is not internally illuminated or externally illuminated.
- Individually applied vinyl letters on the valence of the existing awning on 4th Ave façade. The only vinyl allowed on the valence is the individually applied letters; the valence itself is to remain entirely comprised of fabric. Sign area: 69 square feet.

- Individually applied vinyl letters on the valence of the existing awning on Alder St façade. The only vinyl allowed on the valence is the individually applied letters; the valence itself is to remain entirely comprised of fabric. Sign area: 50.5 square feet.
- Two aluminum cabinets with exposed neon lettering, attached to the underside of the existing canopy at the corner of Alder St and 4th Ave. Area of each sign: 10.4 square feet. Technically, these two signs, on their own, are exempt from Design Review because they are each less than 32 square feet in area. However, they are part of the Modification, which is explained below.

Design Review approval is required prior to the issuance of permits because the proposal is for non-exempt signs on an existing building on a site located in the Design overlay zone.

The applicant is requesting approval for a **Modification**, as part of this Design Review. According to 32.32.020.A in the Sign Code, the building is allowed a maximum of 300 square feet of signage. The proposal is for approximately 382.5 square feet of signage. Therefore a Modification is needed.

RELEVANT APPROVAL CRITERIA:

In order to be approved, these proposals must comply with the approval criteria of Title 33 (Portland Zoning Code).

The relevant approval criteria for LU 14-120374 HR are:

- Central City Fundamental Design Guidelines
- 33.846.060.G: Other Approval Criteria

The relevant approval criteria for LU 14-127696 DZM are:

- Central City Fundamental Design Guidelines
- 33.825.040.A-B: *Approval Criteria for Modification through Design Review*

The proposed signage also must comply with the standards of Title 32 (Sign Code).

ANALYSIS

I. Site and Vicinity:

The building located at 620 SW 5th Avenue was constructed in 1913. It was listed on the National Register of Historic Places on October 31, 2007. Today it is known as the 620 Building. The building has had three other names in the past. In chronological order, the building was called the Gevurtz Building, Gasco Building, and then Failing Office Building. It is 12 stories tall. Originally it was constructed as a six-story building. In 1913, an additional six stories were added. The building was designed by the noted Portland architecture firm Whidden & Lewis. It is representative of commercial architecture of the late-nineteenth and early-twentieth centuries. The building's initial construction and expansion were responses to Portland's economic boom and the extraordinary demand for additional office space in downtown after the Lewis and Clark Centennial Exposition of 1905. Originally the ground-floor storefronts were comprised of large plate-glass windows divided by terra cotta columns, with a continuous granite base along the sidewalk. The columns extended to the second floor. The second floor also had large plate-glass windows. In 1951, the first two floors were dramatically altered. The original windows, terra cotta columns, and cast-iron ornamentation were removed and replaced with flat-panel terra cotta units, installed as a veneer directly to the structural framing system. Additionally, a stream-lined Art Moderne-style curved canopy was installed along the ground-floor storefront, at the building corner, in an attempt to match the building with the abutting building located next door at 600 SW 5th Avenue, which had the same type of canopy at its building corner. (It must have been around this time that the ground floor spaces of both buildings were connected internally. JJ Newberry's, an American five-and-dime store with locations across the United States, occupied the internally connected ground floor space at this time, as evidenced by historical photographs.) Around 2007-2008, the first two floors were substantially remodeled. The new design was not intended to exactly replicate the original appearance; rather, the new design was aimed at achieving increased compatibility with the upper floors of the building, resulting in a more architecturally cohesive overall appearance for the building.

The building located at 600 SW 5th Avenue was constructed in 1953. Although the building's address would suggest otherwise, the building does not have frontage on SW 5th Avenue; rather, it is located on SW 4th Avenue and SW Alder Street. The building is five stories tall. It was built in the Art Moderne style. Whereas the streamlined Art Moderne canopy mentioned in the preceding paragraph was removed from 620 SW 5th Avenue around 2008, the streamlined Art Moderne canopy remains in place at 600 SW 5th Avenue.

II. Zoning:

Base Zone:

Central Commercial (CX) zone (620 and 600 SW 5th Ave): The Central Commercial base zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together.

Overlay Zones:

Historic Resource Protection overlay zone (620 SW 5th Ave only): The Historic Resource Protection overlay zone is comprised of Historic and Conservation Districts, as well as Historic Landmarks and Conservation Landmarks. The regulations that pertain to these properties protect certain historic resources in the region and preserve significant parts of the region's heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

Design (d) overlay zone (620 and 600 SW 5th Ave): The Design overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design overlay zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, Design Review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

III. Land Use History:

620 SW 5th Ave:

City records indicate the following prior land use reviews since 1996:

- LUR 96-013393 DZ (reference file number LUR 96-00506): Approval for storefront alterations.
- LUR 96-014009 DZ (reference file number LUR 96-01122): Approval for new rooftop mechanical equipment.
- LUR 07-133515 DZ: Approval of the following exterior alterations: removal of non-original tile on the first and second stories of the building; introduction of a new two-story aluminum storefront system (dark bronze); two options for retail entrances; metal canopies with fabric infill (black); metal corner marquee canopy with soffit lighting (black); cast concrete pilasters; tile (brown) spandrel between first and second stories; marble (dark green) base; pilaster lighting; lighting at upper level (11th floor); ventilation louvers (dark bronze) and spandrel glass (walnut color) at transom of second story; and new brick paving at corner entry.

600 SW 5th Ave:

City records indicate no prior land use reviews since at least 1996.

IV. Public Notice: A *Notice of Proposal in Your Neighborhood* was mailed on May 28, 2014.

Neighborhood Review: No written comments in response to the proposal have been received from the neighborhood association (Portland Downtown Neighborhood Association) or notified property owners.

Agency Review: No City bureaus responded with comments or objections to the proposal.

ZONING CODE APPROVAL CRITERIA

LU 14-120374 HR (620 SW 5th Ave)

Chapter 33.846: Historic Reviews

Purpose of Historic Resource Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for historic resource review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is a designated Historic Landmark. Therefore the proposal requires historic resource review approval. The relevant approval criteria are listed in 33.846.060 G.1.-10. In addition, because the site is located within the Central City, the relevant approval criteria are the Central City Fundamental Design Guidelines.

Staff has considered all approval criteria and has addressed only those criteria considered applicable to this project.

I. 33.846.060.G: OTHER APPROVAL CRITERIA

1. Historic character.

The historic character of the property will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the property's historic significance will be avoided.

2. Record of its time.

The historic resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided.

3. Historic changes.

Most properties change over time. Those changes that have acquired historic significance will be preserved.

4. Historic features.

Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the old in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence.

5. Historic materials.

Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used.

7. Differentiate new from old.

New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a property. New work will be differentiated from the old.

9. Preserve the form and integrity of historic resources.

New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic resource and its environment would be unimpaired.

Findings for 1, 2, 3, 4, 5, 7, and 9: The proposed signage will be located at the ground floor of the subject building, which underwent substantial alterations in 2007-8 aimed at removing non-historic features and materials. These alterations were not intended to exactly replicate the original appearance of the building; rather the new design was aimed at achieving increased compatibility with the upper floors of the building, resulting in a more architecturally cohesive overall appearance. The new signage is consistent with the newly established historically compatible appearance of the ground floor. The wall-mounted signs

will be installed within the areas of brown spandrel tile above ground-floor storefront windows, where signage would typically be located, and where signage was located for the preceding retail tenant. The corner-mounted projecting blade sign and the two under-canopy cabinet signs with neon lettering will also be located where there was signage for the preceding tenant. None of these signage locations affect historic materials or features of the subject building. By virtue of their locations at the ground floor – which was recently altered to remove incompatible materials and features – the new signs will be differentiated as new additions. The use of modern materials and illumination methods will also help to distinguish the signs as new additions, not to be confused with historic features of the building. If the new signs are removed in the future, no damage to historic materials will occur. *Therefore these criteria are met.*

8. Architectural compatibility.

New additions, exterior alterations, or related new construction will be compatible with the resource's massing, size, scale, and architectural features. When retrofitting buildings or sites to improve accessibility for persons with disabilities, design solutions will not compromise the architectural integrity of the historic resource.

10. Hierarchy of compatibility.

Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a Historic or Conservation District, with the rest of the district. Where practical, compatibility will be pursued on all three levels.

Findings for 8 and 10: The proposed signage will be located at the ground floor of the subject building, which underwent substantial alterations in 2007-8 aimed at removing non-historic features and materials. These alterations were not intended to exactly replicate the original appearance of the building; rather the new design was aimed at achieving increased compatibility with the upper floors of the building, resulting in a more architecturally cohesive overall appearance. The new signage is consistent with the newly established historically compatible appearance of the ground floor. The wall-mounted signs will be installed within the areas of brown spandrel tile above ground-floor storefront windows, where signage would typically be located, and where signage was located for the preceding retail tenant. The corner-mounted projecting blade sign and the two under-canopy cabinet signs with neon lettering will also be located where there was signage for the preceding tenant. Additionally, the materials and sizes of the proposed signs are compatible in that they do not detract from the historic, original materials and features of the building located at the upper floors. Lastly, the proposed signs are compatible with high-quality signage located at adjacent properties, as the new signs are pedestrian-oriented, humanly scaled, and do not dominate the appearance of the streetscape. *Therefore these criteria are met.*

II. CENTRAL CITY FUNDAMENTAL DESIGN GUIDELINES

A7. Establish and Maintain a Sense of Urban Enclosure.

Define public rights-of-way by creating and maintaining a sense of urban enclosure.

A8. Contribute to a Vibrant Streetscape.

Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

B1. Reinforce and Enhance the Pedestrian System.

Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

C7. Design Corners that Build Active Intersections.

Use design elements including, but not limited to, varying building heights, changes in façade plane, large windows, awnings, canopies, marquees, signs and pedestrian entrances to highlight building corners. Locate flexible sidewalk-level retail opportunities at building

corners. Locate stairs, elevators, and other upper floor building access points toward the middle of the block.

C8. Differentiate the Sidewalk-Level of Buildings.

Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

Findings for A7, A8, B1, C7, and C8: The under-canopy signage is pedestrian-scaled, easily viewable within the ground-level streetscape, and adds further distinction to the sidewalk level of the building. The corner-mounted projecting sign activates the corner of SW 5th Avenue and Alder Street by providing finely scaled, visually interesting tenant identification in the pedestrian environment of the downtown retail core. The wall-mounted signs, to be located at spandrel areas above existing canopies, are similarly pedestrian-oriented and appropriately scaled for the downtown environment. *Therefore these guidelines are met.*

B2. Protect the Pedestrian.

Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

C2. Promote Quality and Permanence in Development.

Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity.

Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C5. Design for Coherency.

Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

C12. Integrate Exterior Lighting.

Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

C13. Integrate Signs.

Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings for B2, C2, C3, C5, C12, and C13: The proposed signage meets these guidelines as follows:

- The signage is made of high-quality materials: The wall signs consist of painted aluminum reverse pan channel letters; the under-canopy signs are comprised of metal cabinets with exposed neon lettering; and the corner-mounted projecting sign consists of a cabinet with flush-mounted vinyl lettering. The under-canopy signs and the corner-mounted sign re-use existing signage cabinets.
- The signage respects the architecture of the building and allows it to remain a coherent composition. The signage does not obscure or detract from the building's original architecture, as all of it will be located at the ground floor, which underwent substantial renovations in 2007-8. Secondly, the new signage will all be located where there was signage for the preceding retail tenant: 1) within tile spandrel areas intended for signage, 2) under existing canopies, and 3) at the building corner. Placing the new signage where previous signage had been located – and where retail signage would traditionally be located on this type of commercial building – renders the proposal architecturally respectful.
- With regard to exterior lighting, existing cylindrical light fixtures mounted atop two existing canopies will remain in place and be re-used to subtly illuminate the proposed corner-mounted sign. The same style of light fixture – small metal cylindrical lights – will

be installed atop canopies to provide similarly subtle illumination for the two new wall-mounted signs. Two fixtures will be installed atop a canopy on the west/5th Avenue façade to illuminate the associated wall-mounted sign, and two fixtures will be installed atop a canopy on the north/Alder Street façade for the other wall-mounted sign. These fixtures' small size, cylindrical shape, and focused direction toward the wall signs help to integrate them with the building and prevent visual obstruction. These light fixtures will illuminate signs that are not internally illuminated. A condition of approval that all electrical conduit for these new light fixtures be located in the same way as the existing conduit for the existing canopy-mounted cylindrical fixtures – so that the new conduit is not located on the sides or the undersides of the canopies, nor is the conduit located on the building's existing pilasters – will further integrate the new lights with the building, thereby ensuring that visual clutter is not associated with these new lights.

With the condition of approval that the electrical conduit for the new cylindrical light fixtures is located in the same way as the existing conduit for the existing cylindrical fixtures – so that the new conduit is not located on the sides or undersides of the canopies, nor is the conduit located on the existing pilasters, these guidelines are met.

LU 14-127696 DZM (600 SW 5th Ave)

Chapter 33.825: Design Review

33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d); therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental Design Guidelines.

Staff has considered all approval criteria and has addressed only those criteria considered applicable to this project.

I. CENTRAL CITY FUNDAMENTAL DESIGN GUIDELINES

A7. Establish and Maintain a Sense of Urban Enclosure.

Define public rights-of-way by creating and maintaining a sense of urban enclosure.

A8. Contribute to a Vibrant Streetscape.

Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

B1. Reinforce and Enhance the Pedestrian System.

Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

C7. Design Corners that Build Active Intersections.

Use design elements including, but not limited to, varying building heights, changes in façade plane, large windows, awnings, canopies, marquees, signs and pedestrian entrances to

highlight building corners. Locate flexible sidewalk-level retail opportunities at building corners. Locate stairs, elevators, and other upper floor building access points toward the middle of the block.

C8. Differentiate the Sidewalk Level of Buildings.

Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

Findings for A7, A8, B1, C7, and C8: The awning signage is humanly scaled, easily viewable within the ground-level streetscape, oriented to pedestrians, and helps to distinguish the sidewalk level of the building. The vertically oriented projecting metal cabinet sign activates the corner of SW 4th Avenue and Alder Street by providing visually interesting tenant identification to pedestrians in the larger streetscape environment of the downtown retail core, of which this building is a part. The sign also helps to unify the 4th and Alder intersection, as there is a similarly sized vertically oriented projecting sign directly across Alder Street and helps to reinforce the 4th Avenue corridor, which is somewhat identified by very tall projecting signs. *Therefore these guidelines are met.*

C2. Promote Quality and Permanence in Development.

Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity.

Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C5. Design for Coherency.

Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

C13. Integrate Signs.

Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings for C2, C3, C5, and C13: The proposed signage meets these guidelines as follows:

- The signage is made of high-quality appropriate materials: The awning signage is comprised of individually applied vinyl letters, and the signage on the existing vertically oriented projecting metal cabinet consists of reverse pan channel letters, which are made of aluminum and painted.
- The signage respects the architecture of the building and allows it to remain a coherent composition. The signage does not obscure or detract from the building's original Art Moderne style, as all of it will be located on existing building elements (existing awnings and an existing projecting metal cabinet). The simplicity of the signage is consistent with the simplicity of the streamlined Art Moderne style. More importantly, the large sign is consistent with the building's architecture because it uses an existing vertical fin element intended for corner signage. Thus the signage is integrated with the subject building.

Therefore these guidelines are met.

C4. Complement the Context of Existing Buildings.

Complement the context of existing buildings by using and adding to the local design vocabulary.

Findings for C4: The re-use of the existing vertically oriented projecting sign cabinet for a new sign, with reverse pan channel letters, uses the local design vocabulary. SW 4th Avenue in the downtown retail core features several large, vertically oriented projecting corner-mounted signs; in fact, such a sign is located on the building directly north of the subject building, across Alder Street. Thus the proposal complements the context of existing buildings. *Therefore this guideline is met.*

II. MODIFICATION REQUEST

33.825.040: APPROVAL CRITERIA FOR MODIFICATION THROUGH DESIGN REVIEW

The review body may consider modification of site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the design review process. These modifications are done as part of design review and are not required to go through the adjustment process. Adjustments to use-related development standards (such as floor area ratios, intensity of use, size of the use, number of units, or concentration of uses) are required to go through the adjustment process. Modifications that are denied through design review may be requested as an adjustment through the adjustment process. The review body will approve requested modifications if it finds that the applicant has shown that the following approval criteria are met:

A. Better meets design guidelines.

The resulting development will better meet the applicable design guidelines; and

B. Purpose of the standard.

On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.

The following Modification is requested:

According to 32.32.020.A in the Sign Code, the building is allowed a maximum of 300 square feet of signage. The proposal is for approximately 382.5 square feet of signage. Therefore a Modification is needed.

The purposes of 32.32.020.A are stated in the Sign Code as follows:

- A. To ensure that signs and awnings are designed, constructed, installed, and maintained according to minimum standards to safeguard life, health, property, and public welfare;
- B. To allow and promote positive conditions for sign communication while at the same time avoiding nuisances to nearby properties;
- C. To reflect and support the desired character and development patterns of the various zones, overlay zones, and plan districts and promote an attractive environment;
- D. To allow for adequate and effective signs in commercial and industrial zones while preventing signs from dominating the appearance of an area; and
- E. To ensure that the constitutionally guaranteed right of free speech is protected.

Findings for Criterion A: At 242.1 square feet in area, the proposed vertically oriented projecting sign, which re-uses an existing metal cabinet and features new reverse pan channel letters, is the primary reason that a Modification to 32.32.020.A is needed. With the Modification, the proposal better meets Central City Fundamental Design Guidelines *C7: Design Corners that Build Active Intersections*, *C3: Respect Architectural Integrity*, and *C4: Complement the Context of Existing Buildings*. The building was originally constructed with the intention of a large corner projecting sign, through the construction of an integrated corner fin element that is four stories tall. The proposal maintains this character-defining aesthetic by incorporating a sign at this existing fin. Moreover, the portion of SW 4th Avenue where the subject building is located features many vertical projecting signs that highlight the locations of building corners. Such signs are located at the northwest corner of SW Alder Street and 4th Avenue, the northwest and northeast corners of SW Morrison Street and 4th Avenue, and the northeast corner of SW Washington Street and 4th Avenue. Two additional vertical projecting signs, not located at building corners at street intersections, are located on 4th Avenue, at 625 SW 4th Avenue and 314 SW 4th Avenue respectively. Therefore, allowing the subject building to have the proposed 242.1-square-foot sign utilizes the local signage vocabulary and highlights the southwest corner of SW Alder Street and 4th Avenue as an active corner environment in downtown Portland.

Therefore this criterion is met.

Findings for Criterion B: The proposal is consistent with the purpose of the standard for which a modification is requested. The proposed signage does not adversely affect the safety of people or

property. The signage communicates the identity of the retail tenant within the building without dominating the appearance of the area or creating a nuisance for nearby properties, and the signage does not negatively affect the right to free speech.

It is primarily the building's existing architectural fin feature which is a character-defining element of this Art Moderne style, that justifies why this non-illuminated sign will not dominate the appearance of the area. A compatibly sized sign on this fin element has always been contemplated for this building, since its construction in 1953.

Therefore this criterion is met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The signage proposed at the Historic Landmark building (620 SW 5th Avenue) does not detract from the historic character or materials of the building. The signage proposed at both buildings – 620 SW 5th Avenue and 600 SW 5th Avenue – is high-quality, humanly scaled, and appropriate for the pedestrian-oriented downtown retail core of Portland. All of the proposed signage meets the applicable approval criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

LU 14-120374 HR

Historic Resource Review approval of about **108.6 sq ft** of new sign area located **at 620 SW 5th Avenue** in the Downtown Subdistrict of the Central City Plan District, as follows:

- Wall-mounted aluminum reverse pan channel letters on Alder St facade, with external illumination from two cylindrical lights mounted atop an existing canopy. This sign is not internally illuminated. **Sign area: 31.4 square feet.**
- Aluminum cabinet with exposed neon lettering, attached to the underside of an existing canopy on the Alder St facade. **Sign area: 10.4 square feet.**
- Corner-mounted projecting cabinet sign with vinyl letters flush-mounted to the cabinet, at the corner of Alder St and 5th Ave, with external illumination from existing cylindrical up-lights mounted atop existing canopies. This sign is not internally illuminated. **Sign area: 25 square feet.**
- Wall-mounted aluminum reverse pan channel letters on 5th Ave facade, with external illumination from two cylindrical lights mounted atop an existing canopy. This sign is not internally illuminated. **Sign area: 31.4 square feet.**
- Aluminum cabinet with exposed neon lettering, attached to the underside of an existing canopy on the 5th Ave facade. **Sign area: 10.4 square feet.**

LU 14-127696 DZM

Design Review approval of about **382.5 sq ft** of new sign area located **at 600 SW 5th Avenue** in the Downtown Subdistrict of the Central City Plan District, as follows:

- Individually mounted aluminum reverse pan channel letters, attached to an existing projecting metal cabinet/fin element on the building, at the corner of Alder St and 4th Ave. **Sign area: 242.1 square feet.** Sign is not internally illuminated or externally illuminated.
- Individually applied vinyl letters on the valence of the existing awning on 4th Ave facade. The only vinyl allowed on the valence is the individually applied letters; the valence itself is to remain entirely comprised of fabric. **Sign area: 69 square feet.**


- Individually applied vinyl letters on the valence of the existing awning on Alder St façade. The only vinyl allowed on the valence is the individually applied letters; the valence itself is to remain entirely comprised of fabric. **Sign area: 50.5 square feet.**
- Two aluminum cabinets with exposed neon lettering, attached to the underside of the existing canopy at the corner of Alder St and 4th Ave. Area of each sign: 10.4 square feet. (Technically, these two signs, on their own, are exempt from Design Review because they are each less than 32 square feet in area. However, they are part of the Modification.)

Approval of a Modification to 32.32.020.A, processed as part of the **Design Review for 600 SW 5th Avenue**, to allow the building to have about **382.5 sq ft of sign area** instead of the 300 square feet of sign area allowed by 32.32.020.A.

Approval per the approved plans and drawings, Exhibits C-1 through C-10, signed and dated July 22, 2014, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related condition must be noted on each of the four required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 14-120374 HR and LU 14-127696 DZM." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. All electrical conduit for the four new canopy-mounted cylindrical light fixtures at 620 SW 5th Ave shall be located in the same way as the existing electrical conduit for the two existing canopy-mounted cylindrical lights, such that the conduit is not located on the sides or undersides of the canopies, nor is the conduit located on the existing pilasters of the building.
- C. No field changes allowed.

Staff Planner: Kate Marcello

Decision rendered by:  **on July 22, 2014**
By authority of the Director of the Bureau of Development Services

Decision mailed: July 24, 2014

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on February 25, 2014, and was determined to be complete on **May 14, 2014**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on February 25, 2014.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless extended by the applicant, **the 120 days will expire on September 9, 2014.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on August 7, 2014** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **August 8, 2014 (the day following the last day to appeal).**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder’s office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

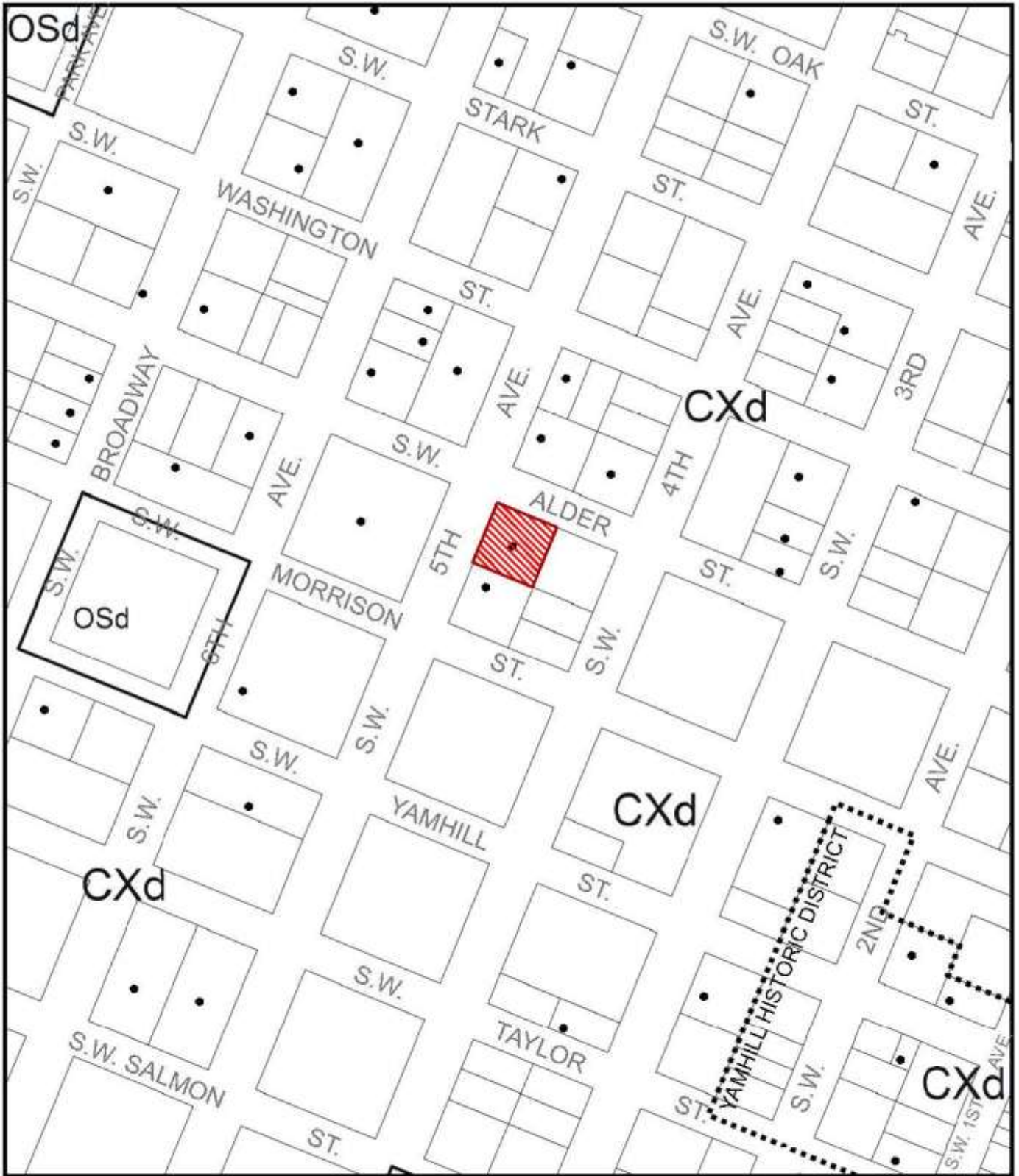
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement/Narrative
- B. Zoning Map (attached)
- C. Plans and Drawings:
 - 1. Site Plan (attached)
 - 2. 620 SW 5th Ave: West Elevation Drawing
 - 3. 620 SW 5th Ave: North Elevation Drawing
 - 4. 600 SW 5th Ave: North Elevation Drawing
 - 5. 600 SW 5th Ave: East Elevation Drawing
 - 6. Signage Drawing and Specifications for Under-canopy Signs
 - 7. Enlarged Elevation Drawing for Wall-mounted Signs
 - 8. Manufacturer's Cutsheet for New Cylindrical Light Fixtures
 - 9. Signage Drawing and Specifications for Corner-mounted Sign at 620 SW 5th Ave
 - 10. Signage Letter Detail Drawing for Vertical Projecting Sign at 600 SW 5th Ave
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Response: None received.
- F. Correspondence: None received.
- G. Other
 - 1. Original Land Use Review Application
 - 2. Letter of Completeness, dated March 25, 2014
 - 3. First-Floor Plan
 - 4. Photograph of unapproved light fixtures (on 5th Ave façade); photo taken in June 2014
 - 5. Photograph of unapproved light fixtures (on Alder St façade); photo taken in June 2014
 - 6. Original Submittal and Three Proceeding Submittals (all superseded)
 - 7. Site Visit Photographs
 - 8. Photograph of 5th Ave façade showing that the unapproved light fixtures have been removed; photo taken 22 July 2014

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



Site

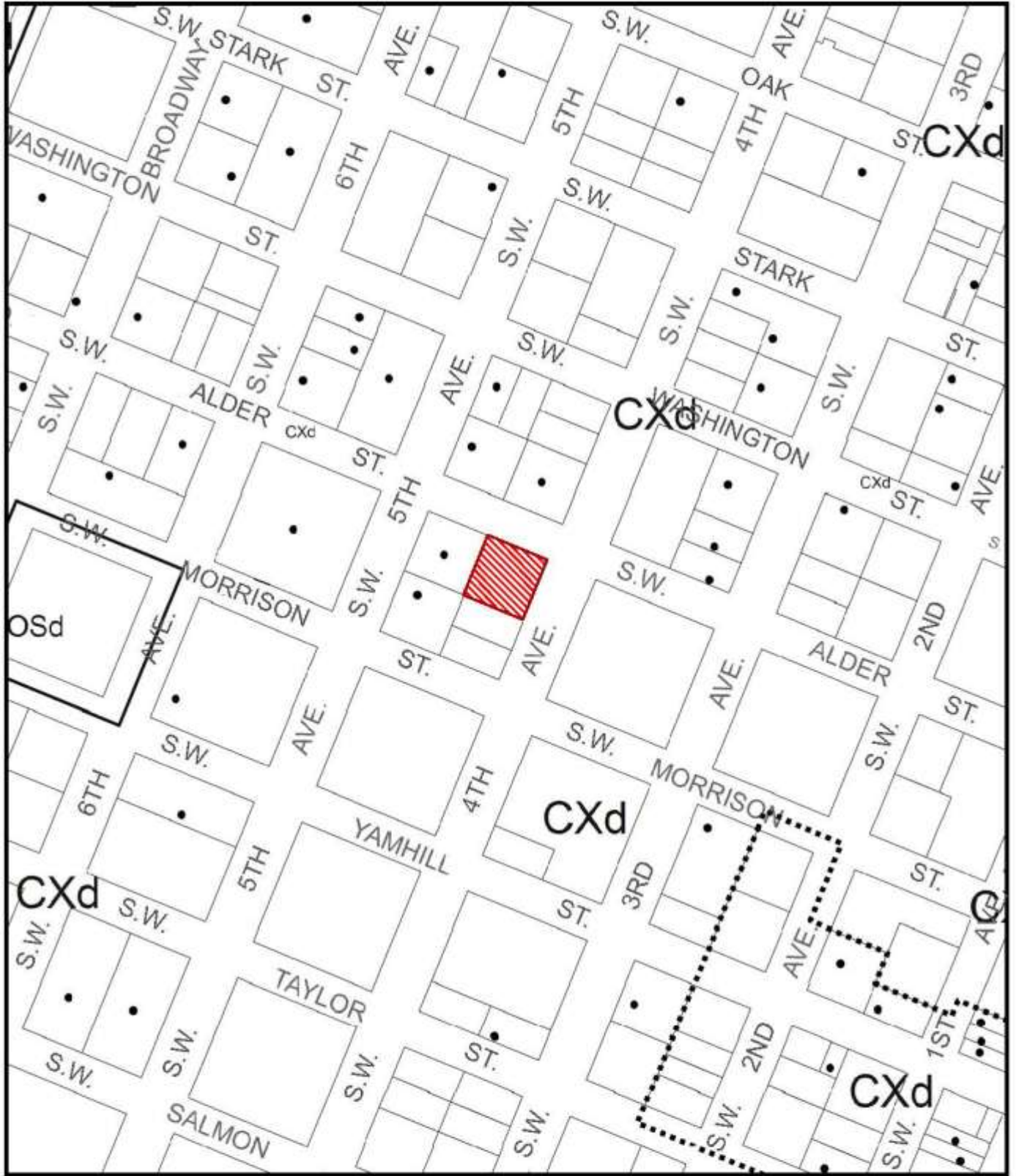


Historic Landmark



This site lies within the:
CENTRAL CITY PLAN DISTRICT

File No.	LU 14-120374 HR
1/4 Section	3029.3129
Scale	1 inch = 200 feet
State_Id	1S1E03BA 8400
Exhibit	B (Feb 27, 2014)



ZONING



Site



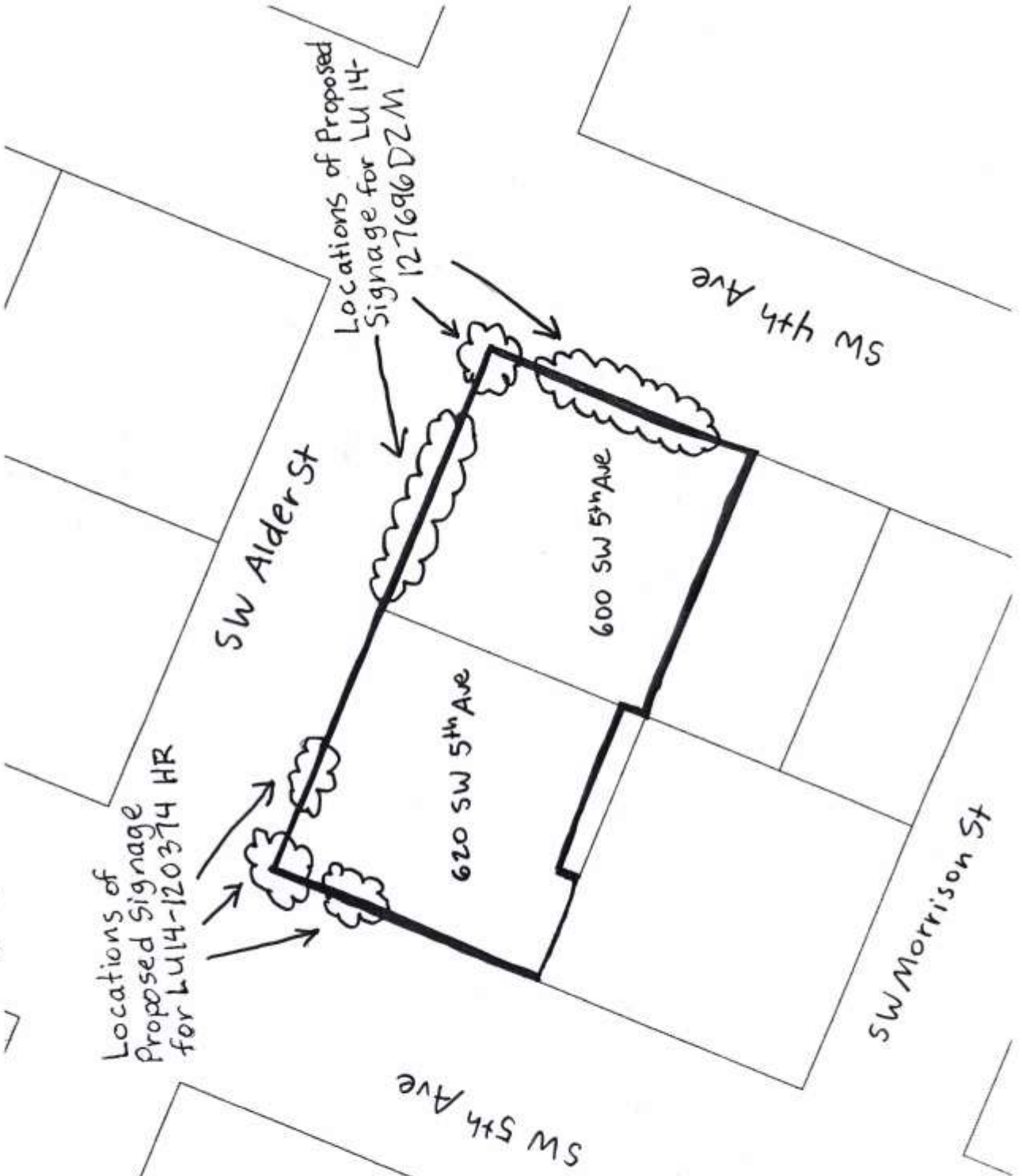
Historic Landmark



This site lies within the:
**CENTRAL CITY PLAN DISTRICT
 DOWNTOWN**

File No.	<u>LU 14-127696 DZM</u>
1/4 Section	<u>3129</u>
Scale	<u>1 inch = 200 feet</u>
State_Id	<u>1S1E03BA 8300</u>
Exhibit	<u>B (May 8, 2014)</u>

New Signage for DD's Discounts Store



Locations of Proposed Signage for LU 14-120374 HR

Locations of Proposed Signage for LU 14-127696 DZM

Approved

City of Portland - Bureau of Development Services

Planner Kate [Signature] Date July 22, 2014

This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



LU 14-120374 HR
 LU 14-127696 DZM Exhibit C-1

620 SW 5th Ave

Notes:

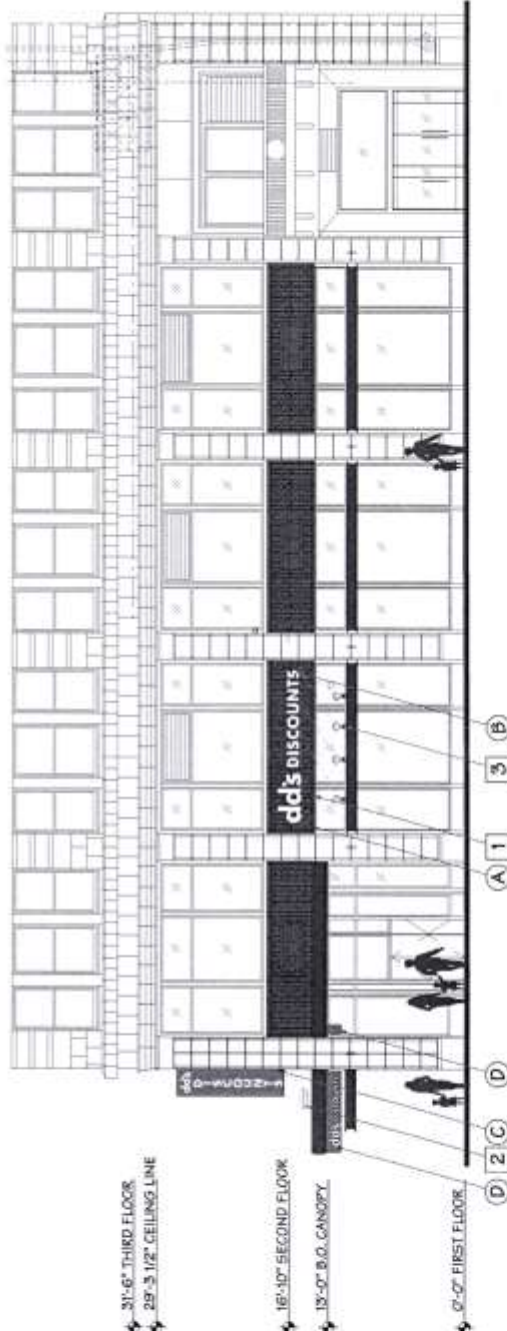
- ROSS CONTRACTOR TO PROVIDE:
- ADEQUATE ACCESS BEHIND LOGO LETTERS AND CABINET FOR INSTALLATION AND MAINTENANCE. PER ARTICLE 600 OF THE N.E.C.
- FOUR (4) 20 AMP 120V ISOLATED SIGN CIRCUITS AND JUNCTION BOXES TO AREA BEHIND SIGN LETTERS CONNECTED TO THE ENERGY MANAGEMENT SYSTEM
- AT LEAST 1/2" THICK PLYWOOD BACKING BEHIND ALL E.L.F.S. WALL SYSTEMS FOR SIGN AND BANNER SUPPORT
- SIGN FASCIA TO BE FREE OF JOINTS & REVEALS, AND OF A LIGHT COLOR (MINIMUM 75% L.R.V.) TO PROVIDE HIGH CONTRAST AND VISIBILITY FOR THE SIGN.
- ALL COLORS ARE SUBJECT TO ROSS STORES, INC. REVIEW AND APPROVAL. COLOR APPEARANCE MAY BE ALTERED BY PRINTING. SEE APPROVED FINAL CONSTRUCTION DRAWINGS FOR COLOR SPECIFICATIONS.
- IF ANY SIGNAGE PROPOSED IN THIS EXHIBIT IS ALTERED BY LOCAL GOVERNMENT AUTHORITIES, ROSS STORES INC. RESERVES THE RIGHT TO: AT NO COST; ADJUST ARCHITECTURAL FEATURES TO BEST ACCOMMODATE THE ALTERED SIGNAGE.

- (A) 26TH INDIVIDUAL "DD'S" REVERSE ALUMINUM PAN CHANNEL 2" DEEP LOGO LETTERS. FACES PAINTED SEMI-GLOSS WHITE AND EDGES PAINTED INTERMEDIATE MAGENTA ILLUMINATION. EXTERNAL BY GEN. CONTRACTOR. SEE CONTRACTOR'S PLANS FOR DETAILS. MOUNTING: 3/4"-20 GALV HANGER BOLTS WITH SLEEVES AND SILICONE. PEG OFF WALL 1/2"
- (B) 12/15TH INDIVIDUAL "DISCOUNTS" AND APOSTROPHE REVERSE ALUM. PAN CHANNEL 2" DEEP LOGO LETTERS. FACES PAINTED SEMI-GLOSS WHITE AND EDGES PAINTED TEAL ILLUMINATION. EXTERNAL BY GEN. CONTRACTOR. SEE CONTRACTOR'S PLANS FOR DETAILS. MOUNTING: 1/4"-20 GALV HANGER BOLTS WITH SLEEVES AND SILICONE. PEG OFF WALL 1/2"
- (C) ONE (1) 10'-0" H X 30" W X 8" D DOUBLE-FACE REFINISHED CABINET SIGN. EXTERIOR PAINTED MAGENTA TO MATCH PMS #2415C M.A.F. #MP00075 GLOSSY FACE. PAINTED MAGENTA TO MATCH PMS #2415C WITH 1/4" M.A.F. & 9" H THICK WHITE SINTRA COPY OUT OF 3/4" THICK WHITE SINTRA. ILLUMINATION: EXTERNAL BY GEN. CONTRACTOR. SEE CONTRACTOR'S PLANS FOR DETAILS. MOUNTING: FLUSH MOUNT. COPY TO BLADE SIGN. HIDDEN FASTENERS IS REQUIRED. SEE SHEET #02 FOR DETAILS.
- (D) REFURB (E) 16" HIGH X 84" WIDE D/F INTERNALLY ILLUMINATED UNDERCANOPY SIGN, U.L. SEE SHEET UC FOR DETAILS.

- 1 SIGN FASCIA BY ROSS CONTRACTOR, SEE NOTES
- 2 (1) EXISTING CYLINDRICAL, RAFFLED UPLIGHTING LAMP
- 3 NEW TYPICAL ARCHITECTURAL LIGHTING BY GENERAL CONTRACTOR. SEE BLDG/TRADE PERMIT FOR DETAILS.

Approved
 City of Portland
 Bureau of Development Services
 Planner Katlee
 Date July 22, 2014

* This approval applies only to the reviews requested and is subject to all conditions of approval.
 Additional zoning requirements may apply.



1 STOREFRONT - WEST - FIFTH AVE - ELEVATION

SCALE: 3/32" = 1'-0"

Reduced sheet size.

RB-E

SIGN SQUARE FOOTAGE CALCULATION

dd's DISCOUNTS

80" HIGH X 14'-6" WIDE = 21.42sf

bma bill moore & associates

1087 NE 10th St. Ste. 100
 Portland, OR 97232
 503.224.0299 Fax: 503.4992
 www.billmoore.com

CSA **ISI**

ddd's DISCOUNTS

#5264 DT PORTLAND
 618 SW 5th Avenue @ Alder Street
 Portland, OR 97204-1405

Sheet: WGS-brz
 top to bottom: ED
 sign calls
 rev letter details
 24" sp around sign

07/20/13
 11/20/13
 12/12/13
 02/18/14
 04/03/14
 04/23/14

SHEET
S4

Case Number: LU 14-120374 HR Exhibit C-2

620 SW 5th Ave

Notes:

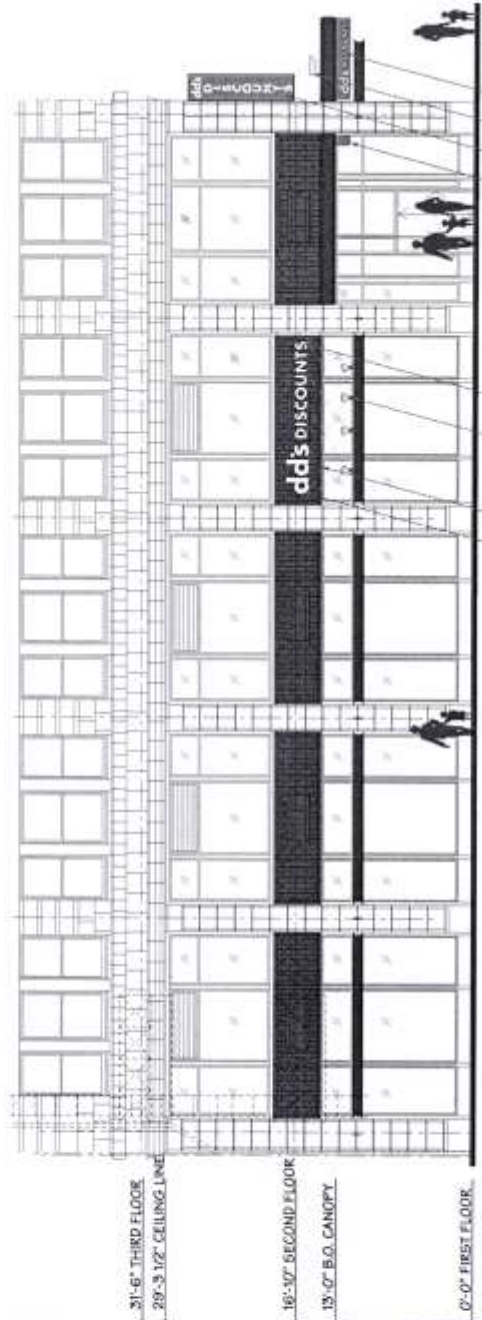
- ROSS CONTRACTOR TO PROVIDE:
- ADEQUATE ACCESS BEHIND LOGO LETTERS AND CABINET FOR INSTALLATION AND MAINTENANCE, PER ARTICLE 600 OF THE M.C.C.
- FOUR (4) 20 AMP ISOLATED SIGN CIRCUITS AND JUNCTION BOXES TO AREA BEHIND SIGN LETTERS CONNECTED TO THE ENERGY MANAGEMENT SYSTEM
- AT LEAST 1/2" THICK PLYWOOD BACKING BEHIND ALL E.I.F.S. WALL SYSTEMS FOR SIGN AND BANNER SUPPORT
- SIGN FASCIA TO BE FREE OF JOINTS & REVEALS, AND OF A LIGHT COLOR (MINIMUM 75% L.R.V.) TO PROVIDE HIGH CONTRAST AND VISIBILITY FOR THE SIGN.
- ALL COLORS ARE SUBJECT TO ROSS STORES, INC. REVIEW AND APPROVAL. COLOR APPEARANCE MAY BE ALTERED BY PRINTING. SEE APPROVED FINAL CONSTRUCTION DRAWINGS FOR COLOR SPECIFICATIONS.
- IF ANY SIGNAGE PROPOSED IN THIS EXHIBIT IS ALTERED BY LOCAL GOVERNMENT AUTHORITIES, ROSS STORES, INC. RESERVES THE RIGHT TO, AT NO COST, ADJUST ARCHITECTURAL FEATURES TO BEST ACCOMMODATE THE ALTERED SIGNAGE.

- (A) 27TH INDIVIDUAL "ROSS" REVERSE ALUMINUM PAN CHANNEL 2" DEEP LOGO LETTERS, FACES PAINTED SEMI-GLOSS WHITE AND EDGES PAINTED INTERIOR MAGENTA. SEE CONTRACTOR'S PLANS FOR DETAILS.
- (B) 13.5" H. INDIVIDUAL "DISCOUNTS" AND ASTROSCOPE REVERSE ALUM. PAN CHANNEL 2" DEEP LOGO LETTERS, FACES PAINTED SEMI-GLOSS WHITE AND EDGES PAINTED TEAL. ILLUMINATION: EXTERNAL BY GC. SEE CONTRACTOR'S PLANS FOR DETAILS.
- (C) ONE (1) 10" O.H. X 30" W. X 8" D. DOUBLE-FACE REFURBISHED CABINET SIGN; MAKEUP PANE "PANE" M.P. APPROX. 87% GLOSSY. FACE: PAINTED MAGENTA TO MATCH PMS #2416C WITH 17H-345K & 97H-193C UNITS. COPY OUT OF 3/4" THICK WHITE SINTRA. ILLUMINATION: EXTERNAL BY GEN. CONTRACTOR. SEE CONTRACTOR'S PLANS FOR DETAILS.
- (D) REFURB (E) 16" HIGH X 94" WIDE DIFF INTERNALLY ILLUMINATED UNDERCANYON SIGN. U.L. SEE SHEET UC FOR DETAILS.

- (E) ONE (1) 10" O.H. X 30" W. X 8" D. DOUBLE-FACE REFURBISHED CABINET SIGN; CONTRACTOR, SEE NOTES
- (1) EXISTING CYLINDRICAL, BAFFLED UPLIGHTING LAMP
- (3) NEW TYPICAL ARCHITECTURAL LIGHTING BY GENERAL CONTRACTOR. SEE BLDG/TRADE PERMIT FOR DETAILS.

Approved
 City of Portland
 Bureau of Development Services
 Planner Kate O
 Date July 22, 2014

• This approval applies only to the reviews requested and is subject to all conditions of approval.
 Additional zoning requirements may apply.



1 STOREFRONT - NORTH - SW ALDER ST - ELEVATION (WEST END)

SCALE: 3/32" = 1'-0"

Reduced sheet size.

bill moore & associates

1007 1/2nd Ave.
 P.O. Box 6155
 Astoria, OR 97103-0153
 503.325.4294 fax 503-325-0092
 www.billmoore.com

MEMBER

dd's DISCOUNTS

#5264 DT PORTLAND
 618 SW 5th Avenue @ Alder Street
 Portland, OR 97204-1405

Drawn: 07/26/13
 top to bottom BD: 12/12/13
 sign call: 02/18/14
 new letter details: 04/03/14

SIGN SQUARE FOOTAGE CALCULATION

dd's DISCOUNTS

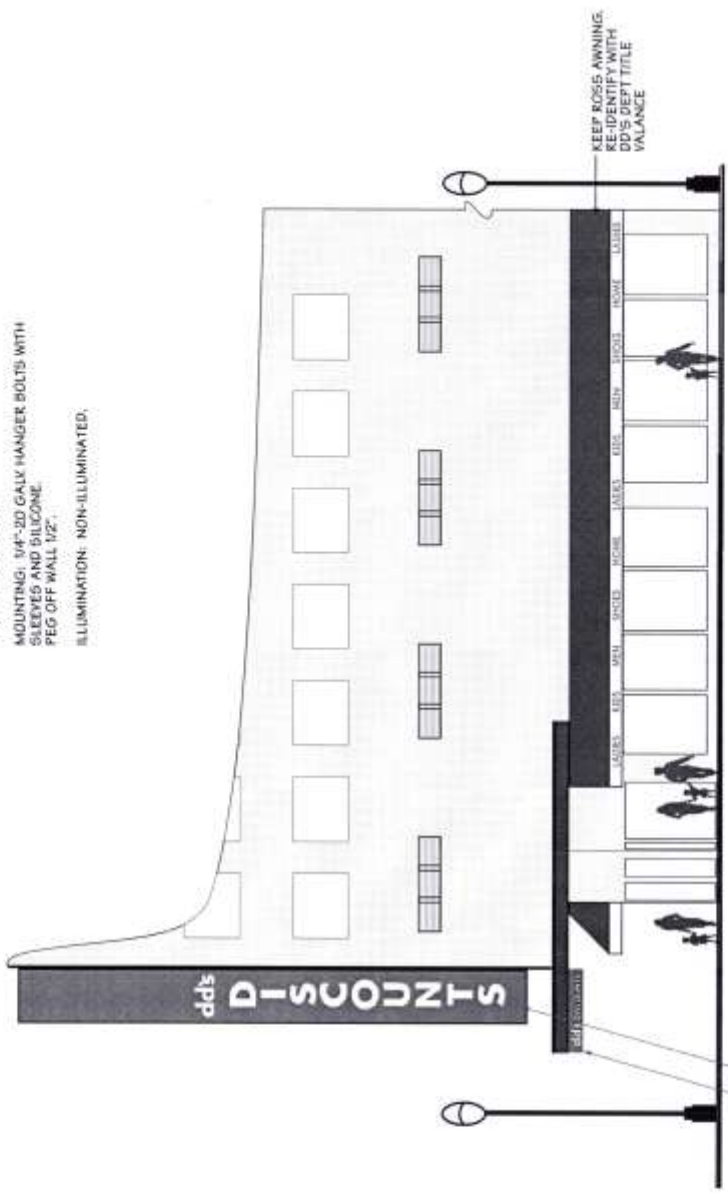
31'-42" x 14'-0" HIGH x 31.43' WIDE

Case Number: LU 14-120374 HR Exhibit C-3

(D) REFURB (E) 16" HIGH X 94" WIDE
D/F INTERNALLY ILLUMINATED
UNDERCANGOPY SIGN, U.L.
SEE SHEET UC FOR DETAILS.

(C) (E) 48"-5" HIGH X 60" WIDE D/F BLADE.
PAINT TO MATCH MAGENTA (PMS PURPLE C 80%)
22"H INDIVIDUAL "DDS" REVERSE ALUMINUM
PAN CHANNEL 4" DEEP LOGO LETTERS,
FACES PAINTED SEMI-GLOSS WHITE AND
EDGES PAINTED INTENSE MAGENTA
25"H INDIVIDUAL "DISCOUNTS" REVERSE ALUM.
4" DEEP PAN CHANNEL LETTERS INCL. APOSTROPHE,
FACES PAINTED SEMI-GLOSS WHITE AND
EDGES PAINTED TEAL
MOUNTING: 1/4"-30 GALV. HANGER BOLTS WITH
SLEEVES AND GASKETS
PED OFF WALL 1/2"

(A) N/A
(B) N/A



1 STOREFRONT • NORTH • SW ALDER ST. • ELEVATION (EAST END)
SCALE: 3/32" = 1'-0"

Reduced sheet size.

RB-E

SHEET
S2

drawn by: bly dr per jf
revised by: bly dr per jf
showcase banners
no 80 lights; big 08
05/08/14
12/12/13
11/20/13
03/19/13

#5264 DT PORTLAND
618 SW 5th Avenue @ Alder Street
Portland, OR 97204-1405



bill moore & associates
1037 valencia ave.
portland, or 97205
phone: 503.878.0115
910.828.3394 fax: 503.402.6702
www.billmoore.com



Notes:
ROSS CONTRACTOR TO PROVIDE:
• TWO (2) 20 AMP 120V ISOLATED SIGN CIRCUITS AND JUNCTION BOXES TO AREA
BEHIND LETTERS CONNECTED TO THE EMS.
• AT LEAST 1/2" THICK PLYWOOD BACKING BEHIND ALL E.L.F.S, WALL SYSTEMS FOR
SIGN AND BANNER SUPPORT
SIGN FASCIA TO BE FREE OF JOINTS & REVEALS, AND OF A LIGHT COLOR
(MINIMUM 75% L.V.) TO PROVIDE HIGH CONTRAST AND VISIBILITY FOR THE SIGN.
ALL COLORS ARE SUBJECT TO ROSS STORES, INC. REVIEW AND APPROVAL. COLOR
APPEARANCE MAY BE ALTERED BY PRINTING. SEE APPROVED FINAL
CONSTRUCTION DRAWINGS FOR COLOR SPECIFICATIONS.
IF ANY SIGNAGE PROPOSED IN THIS EXHIBIT IS ALTERED BY LOCAL GOVERNMENT
AUTHORITIES, ROSS STORES, INC. RESERVES THE RIGHT TO, AT NO COST, ADJUST
ARCHITECTURAL FEATURES TO BEST ACCOMMODATE THE ALTERED SIGNAGE.

Approved
City of Portland - Bureau of Development Services
Planner [Signature] Date July 22, 2014
* This approval applies only to the reviews requested and is subject to all
conditions of approval. Additional zoning requirements may apply.

PHASE I

Case number: LU 14-127696 DZM Exhibit C-4

Notes:

- ROSS CONTRACTOR TO PROVIDE:
- TWO (2) 20 AMP 120V ISOLATED SIGN CIRCUITS AND JUNCTION BOXES TO AREA BEHIND LETTERS CONNECTED TO THE EMS.
- AT LEAST 1/2" THICK PLYWOOD BACKING BEHIND ALL E.L.F.S. WALL SYSTEMS FOR SIGN AND BANNER SUPPORT SIGN FASCIA TO BE FREE OF JOINTS & REVEALS, AND OF A LIGHT COLOR (MINIMUM 75% L.R.V.) TO PROVIDE HIGH CONTRAST AND VISIBILITY FOR THE SIGN.
- ALL COLORS ARE SUBJECT TO ROSS STORES, INC. REVIEW AND APPROVAL. COLOR APPEARANCE MAY BE ALTERED BY PRINTING. SEE APPROVED FINAL CONSTRUCTION DRAWINGS FOR COLOR SPECIFICATIONS.
- IF ANY SIGNAGE PROPOSED IN THIS EXHIBIT IS ALTERED BY LOCAL GOVERNMENT AUTHORITIES, ROSS STORES, INC. RESERVES THE RIGHT TO, AT NO COST AND WITHOUT ARCHITECTURAL FEATURES TO BEST ACCOMMODATE THE ALTERED SIGNAGE.

(A) N/A
(B) N/A

(C) (E) 40"-0" HIGH X 60" WIDE D/F BLADE. PAINT TO MATCH MAGENTA (PMS PURPLE C 90%)
22"TH INDIVIDUAL "DISCOUNTS" REVERSE ALUMINUM PAN CHANNEL 4" DEEP LOGO LETTERS. FACES PAINTED SEMI-GLOSS WHITE AND EDGES PAINTED INTENSE MAGENTA.

(D) REFURB (E) 16" HIGH X 84" WIDE D/F INTERNALLY ILLUMINATED UNDERCANYOPY SIGN, U.L. SEE SHEET UC FOR DETAILS.

28"TH INDIVIDUAL "DISCOUNTS" REVERSE ALUM. 4" DEEP PAN CHANNEL LETTERS INCL. APOSTROPHE. FACES PAINTED SEMI-GLOSS WHITE AND EDGES PAINTED TEAL.

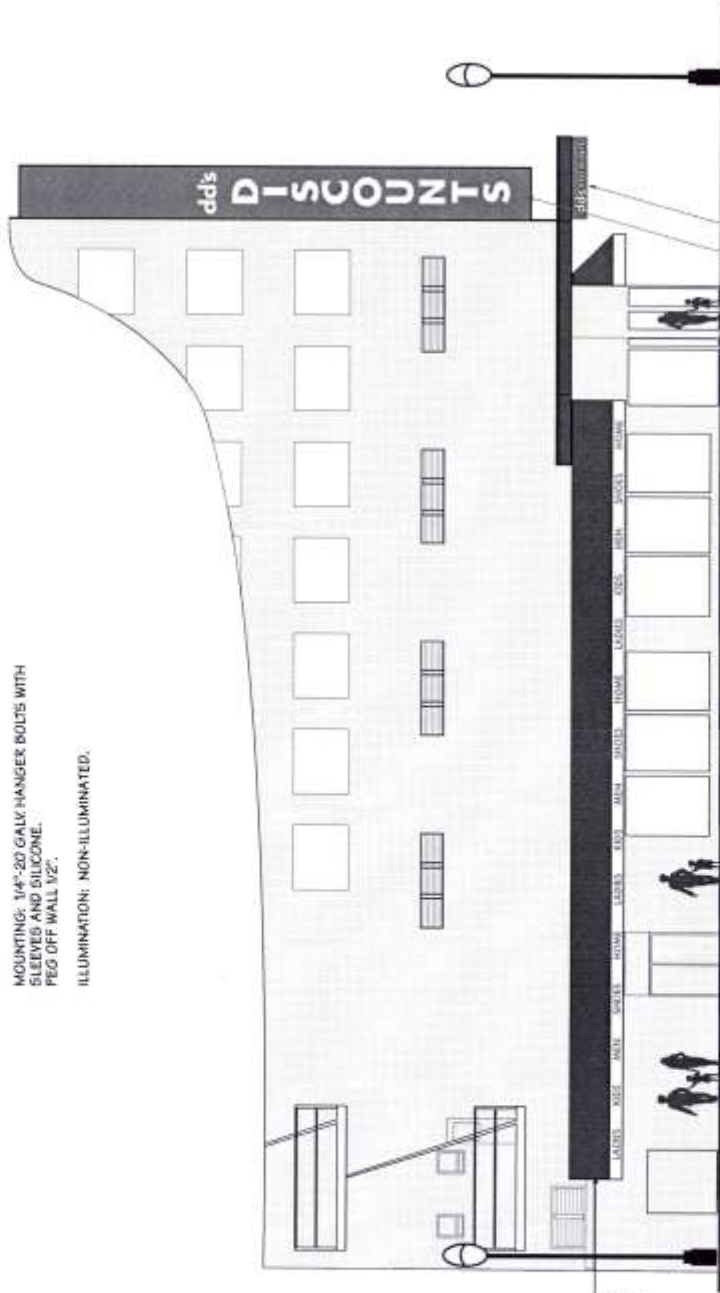
MOUNTING: 1/4"-20 GALV HANGER BOLTS WITH SLEEVES AND SILICONE. PEG OFF WALL 1/2".

ILLUMINATION: NON-ILLUMINATED.

Approved
City of Portland
Bureau of Development Services
Planner Kate O
Date July 22, 2014

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

KEEP ROSS AWNING. RE-IDENTIFY WITH ROSS' PEFT TITLE BALANCE



1 STOREFRONT • EAST • FOURTH AVE • ELEVATION

Reduced sheet size.

SCALE: 3/32" = 1'-0"

RB-E

 bill moore & associates	 1007 jackson ave. p.o. box 6158 dunbar, ct 06824-0153 \$16100-0206 fax 520-6592 www.billmoore.com	 #5264 DT PORTLAND 618 SW 5th Avenue @ Alder Street Portland, OR 97204-1405	07/20/13 11/20/13 12/12/13 65/96/14
			dds reverse blade on pan, # showcase banners no RO lights big DB

PHASE I

SHEET
S1