



Date: August 18, 2014
To: Interested Person
From: Kara Fioravanti, Land Use Services
 503-823-5892 / Kara.Fioravanti@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has **approved** a proposal in your neighborhood. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 14-167687 DZ - MAIN BUILDING, NORTH ENTRY REMODEL

GENERAL INFORMATION

Owner: Willy Paul, Kaiser Permanente
 500 NE Multnomah #100 | Portland, OR 97232

Applicant Warren Tyler, PKA Architects
 6969 SW Hampton Street | Portland, OR 97210

Site Address: 500 NE MULTNOMAH STREET

Legal Description: BLOCK 73&80 TL 2400, HOLLADAYS ADD
Tax Account No.: R396203360
State ID No.: 1N1E35BB 02400
Quarter Section: 2931
Neighborhood: Lloyd District Community, contact Michael Jones at 503-265-1568.
Business District: Lloyd District Community Association, contact Gary Warren at 503-234-8271.

Plan District: Central City - Lloyd District
Zoning: CXd, Central Commercial with design overlay
Case Type: DZ, Design Review
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:
 The applicant seeks design review approval to remodel the existing main building entry at the north façade. The storefront/entry doors will be brought to the back face of the columns and a new canopy will be added above the reconfigured entry. Within the new vestibule, doors will face north, east and west. The glazing will match existing glass and the storefront framing will be dark bronze to match the primary storefront framing for the entire building. The canopy will be faced with metal panels that will match other existing canopies.

Relevant Approval Criteria:
 In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- Central City Fundamental Design Guidelines
- Design Guidelines for the Design Zone of the Lloyd District of the Central City Plan.

ANALYSIS

Site and Vicinity: The 500 NE Multnomah Building is a 17-story building that was constructed in 1974. The building is bounded by NE Multnomah Street to the north NE Grand Avenue to the west and NE Hassalo Street to the south with the Lloyd District of the Central City Plan District. The building is setback from all streets with generous sidewalk and pedestrian spaces.

The surrounding area consists a mixture of commercial structures, hotels and surface parking lots as well as Holladay West Park to the west. NE Multnomah Street is designated a Traffic Access Street, Transit Access Street, City Bikeway, and City Walkway. NE Grand Avenue is designated a Major City Traffic Street, Major Transit Priority Street, and City Bikeway. The site is within the Lloyd Pedestrian District.

Zoning: The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together. Development is intended to be pedestrian-oriented with a strong emphasis on a safe and attractive streetscape.

The Design Overlay Zone (d) promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Central City Plan District implements the Central City Plan and other plans applicable to the Central City area. These other plans include the Downtown Plan, the River District Plan, the University District Plan, and the Central City Transportation management Plan. The Central City plan district implements portions of these plans by adding code provisions which address special circumstances existing in the Central City area. The site is within the Lloyd Subdistrict of this plan district.

Land Use History: City records indicate there are no prior land use reviews for this site.

- LUR 91-00006 DZ: Approval of exterior site alterations.
- LUR 93-00487 DZ: Approval of re-cladding the lower two floors.
- LUR 94-00844 DZ: Denial of (2) 150 sq. ft. fascia signs.
- LUR 95-00053 DZ: Approval of entry remodel and relocation of ATM.
- LUR 97-00134 CU, DZ: Approval of rooftop antennas and satellite dish.
- LUR 97-01199 DZ: Approval of freestanding monument sign.
- LUR 09-156611 DZ: Approval two new wall signs

Agency Review: A "Notice of Proposal in Your Neighborhood" was mailed **June 25, 2014**. No Bureaus have responded about the proposal except Bureau of Development Services Life Safety/Building Code Section (Exhibit E-1) with the following comments:

- *The structure is enrolled in the Facilities Permits Program (FPP). Please contact the assigned Facilities plans examiner/building inspector for building code requirements. FPP main telephone number (53) 823-5521*

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on June 25,

2014. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825, Design Review

Section 33.825.010 Purpose

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055, Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design district guidelines.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental and Lloyd District Special Design Guidelines.

Special Design Guidelines for the Design Zone of the Lloyd District of the Central City Plan and Central City Fundamental Design Guidelines

The Lloyd District is a unique, multi-dimensional neighborhood in the Central City, with special features and assets found nowhere else in Oregon.

With the recent completion of the Oregon Convention Center, the District now serves as the "front door for Oregon and our city." The District as a whole is emerging as a special area in the state and the region, and the way it is developed will determine its comfort and continued use.

The purpose of design review is to carry out the urban design vision for the District by emphasizing unique district assets in a manner that is respectful, creative, supportive, and compatible with all its areas. Although the District is a complex urban environment, it can become a cohesive whole with the use of these design principles.

The Central City Fundamental Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Lloyd District Design Goals

The following goals and objectives define the urban design vision for new development and other improvements in the Lloyd District

- Encourage the special distinction and identity of the Lloyd District;
- Integrate the sub-areas of the District for a visual and functional coherence of the whole; and
- Improve the safety, convenience, pleasure, and comfort of pedestrians.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within all of the Central City policy areas. The nine goals for design review within the Central City are as follows:

- Encourage urban design excellence in the Central City;
- Integrate urban design and preservation of our heritage into the development process;

- Enhance the character of the Central City's districts;
- Promote the development of diversity and areas of special character within the Central City;
- Establish an urban design relationship between the Central City's districts and the Central City as a whole;
- Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
- Provide for the humanization of the Central City through promotion of the arts;
- Assist in creating a 24-hour Central City which is safe, humane and prosperous;
- Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project. Central City and Lloyd District Guidelines are addressed concurrently.

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

Findings: The proposed glazing and doors will match the existing glass and entry doors on the building. The proposed vestibule alteration will use existing color and material palette to match existing building. The proposed canopy will match the existing exterior metal panels and will match the existing canopy on the south side of the building. *These guidelines are therefore met.*

A5. Enhance, Embellish, and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

A5-1. Develop Identifying Features. encourage the inclusion of features in the design of projects that give projects identity and a sense of place or significance within the district.

Findings for A5 & A5-1: The proposed addition of the vestibule, and more noticeably the projecting canopy will provide greater clarity and identity to the building's entranceway. *These guidelines are therefore met.*

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings for A6: The proposed alteration to the North entranceway vestibule and addition of the canopy respects the existing building massing, materials and color palette. The proposed materials, color palette and massing of the canopy are consistent with the existing building components. *These guidelines are therefore met.*

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

Findings for A8: The proposed vestibule alteration and canopy addition add positively to the streetscape through providing improved visibility and way-finding to the building's North side entrance. This in turn attracts pedestrian interest and encourages movement into the interior spaces of the building. *These guidelines are therefore met.*

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and

the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

Findings for B1: The proposed vestibule alteration and canopy addition more clearly define and enhance the building frontage and entranceway when viewed from the public right-of-way. To ensure constant pedestrian travel under the cover of the existing arcade, a Condition of Approval will require the proposed side doors of the vestibule must remain open during regular business hours of the building. *These guidelines are therefore met.*

B1-2. Incorporate Additional Lighting. Incorporate project lighting in a manner that reinforces the pedestrian environment and which provides design continuity to an area by enhancing the drama and presence of architectural features.

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

Findings for B1-2 & C12: The proposed vestibule alteration and canopy addition include additional lighting creating a pool of light, further emphasizing the North entranceway. *These guidelines are therefore met.*

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

FINDINGS: The proposed vestibule alteration and canopy addition provide a covered, lighted space for pedestrians at the sidewalk when entering/exiting the building. *These guidelines are therefore met.*

B4. Provide Stopping and Viewing Places. Provide safe, comfortable places where people can stop, view, socialize and rest. Ensure that these places do not conflict with other sidewalk uses.

Findings: Both the proposed vestibule alteration and canopy addition provide safe, comfortable and lighted space for pedestrians to stop, view, rest and socialize without conflicting with the sidewalk uses. *These guidelines are therefore met.*

B5. Make Plazas, Parks and Open Space Successful. Orient building elements such as main entries, lobbies, windows, and balconies to face public parks, plazas, and open spaces. Where provided, integrate water features and/or public art to enhance the public open space. Develop locally oriented pocket parks that incorporate amenities for nearby patrons.

Findings: The proposed vestibule expansion faces the existing north plaza and is in the same location as the existing entryway. *These guidelines are therefore met.*

B6. Develop Weather Protection. Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

B6-1. Provide Pedestrian Rain Protection. rain protection is encouraged at the ground level of all new and rehabilitated commercial buildings located adjacent to primary pedestrian routes. In required retail opportunity areas, rain protection is strongly recommended.

Findings for B6 & B6-1: The proposed vestibule alteration and canopy addition provide weather protection to the pedestrian. To ensure consistent pedestrian rain protection under the cover of the existing arcade, a Condition of Approval will require the proposed side doors of the vestibule must remain open during regular business hours of the building. *These guidelines are therefore met.*

B7. Integrate Barrier-Free Design. Integrate access systems for all people with the building's overall design concept.

Findings: The proposed vestibule alteration and canopy addition provide improved access to all users. The vestibule relocates the ADA door button to the exterior column under the canopy to maintain barrier free access through the North entryway. *These guidelines are therefore met.*

C1. Enhance View Opportunities. Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity. Size and place new buildings to protect existing views and view corridors. Develop building façades that create visual connections to adjacent public spaces.

C2-1. Maximize View Opportunities.

Findings for C1 & C2-1: The proposed vestibule alteration and canopy addition provide improved visibility of the location of the North entranceway while also not diminishing views into the building from what they are. The vestibule also allows pedestrians inside of the building greater visibility out by reason of being closer to the sidewalk and exterior activity. *These guidelines are therefore met*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

Findings for C2: The proposed glazing and doors will match the existing glass and doors on the project. The proposed vestibule will be dark bronze framing to match the existing building. The proposed canopy will match the exterior metal panels while also matching the existing canopy on the South side of the building. *These guidelines are therefore met.*

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

Findings for C3: The proposed vestibule alteration and canopy addition respect the existing character of the building as the glazing and doors match existing. The canopy metal panels also match the existing color, materials and scale of the building. *These guidelines are therefore met.*

C1-2. Integrate Signs. Carefully place signs and sign supports on and for buildings to integrate with the scale, color and articulation of the building design. Avoid large, excessively illuminated or freestanding signs that contribute to visual clutter.

Demonstrate how signage is one of the design elements of a new or rehabilitation project and has been coordinated by the project designer/architect. Submit a master signage program as a part of every Design Review application.

Incorporate signage that compliments and supports the pedestrian scale and use of the Broadway/Weidler Corridor and Holladay Street. While recognizing the dimensional provisions in the Code, size and scale of signs should be moderated in these pedestrian-oriented areas.

C13. Integrate Signs. Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings for C1-2 & C13: The existing building sign "Kaiser Permanent Building" will be relocated from above the existing entry doors to a new location above the relocated doors. The building address number "500" will also be relocated, to the North face of the proposed entranceway canopy. *These guidelines are therefore met.*

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for C4 and C5: The proposed addition and alteration complement existing buildings through the consistent use of local design vocabulary on the existing building. The vestibule and canopy match and blend in with the existing building complimenting and respecting the existing building and the greater district en large. The architect has deliberately attempted to integrate the new canopy and vestibule into the façade of the building for greater overall coherency. To maintain the covered arcade as a pedestrian through-travel zone, a Condition of Approval will require the proposed side doors of the vestibule must remain open during regular business hours of the building. *These guidelines are therefore met.*

C6. Develop Transitions between Buildings and Public Spaces. Develop transitions between private development and public open space. Use site design features such as movement zones, landscape elements, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.

FINDINGS: The proposed vestibule alteration and canopy provide a more recognizable entry point for pedestrians in the plaza. The canopy also creates an area for pedestrians to pause as they transition in and out of the building. *These guidelines are therefore met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal utilizes materials and elements that achieve a coherent composition and that enhance the pedestrian environment. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of design review to remodel the existing main building entry at the north façade. The storefront/entry doors will be brought to the back face of the columns and a new canopy will be added above the reconfigured entry. Within the new vestibule, doors will face north, east and west. The glazing will match existing glass and the storefront framing will be dark bronze to match the primary storefront framing for the entire building. The canopy will be faced with metal panels that will match other existing canopies

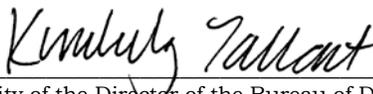
Approval per the approved plans, Exhibits C-1 through C-4, signed and dated August 14, 2014, subject to the following THREE conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.4. The sheets on which this information

appears must be labeled, "Proposal and design as approved in Case File # LU 14-167687 DZ."

- B. The proposed side doors of the vestibule (the doors facing East and West) must remain open during regular business hours of the building.
- C. No field changes allowed.

Staff Planner: Kara Fioravanti

Decision rendered by:  **on (August 14, 2014)**
By authority of the Director of the Bureau of Development Services

Decision filed August 15, 2014

Decision mailed August 18, 2014

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on June 10, 2014, and was determined to be complete on June 24, 2014.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on June 10, 2014.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: October 2, 2014.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on September 2, 2014** at 1900 SW Fourth Ave. Appeals can be filed at the Development Services Center Monday through Wednesday and Fridays between 8:00 am to 3:00 pm and on Thursdays between 8:00 am to 2:00 pm. After 3:00 pm Monday through Wednesday and Fridays, and after 2:00 pm on Thursdays, appeals must be submitted at the reception desk on the 5th floor. **An appeal fee of**

\$250 will be charged. The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **September 3, 2014**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

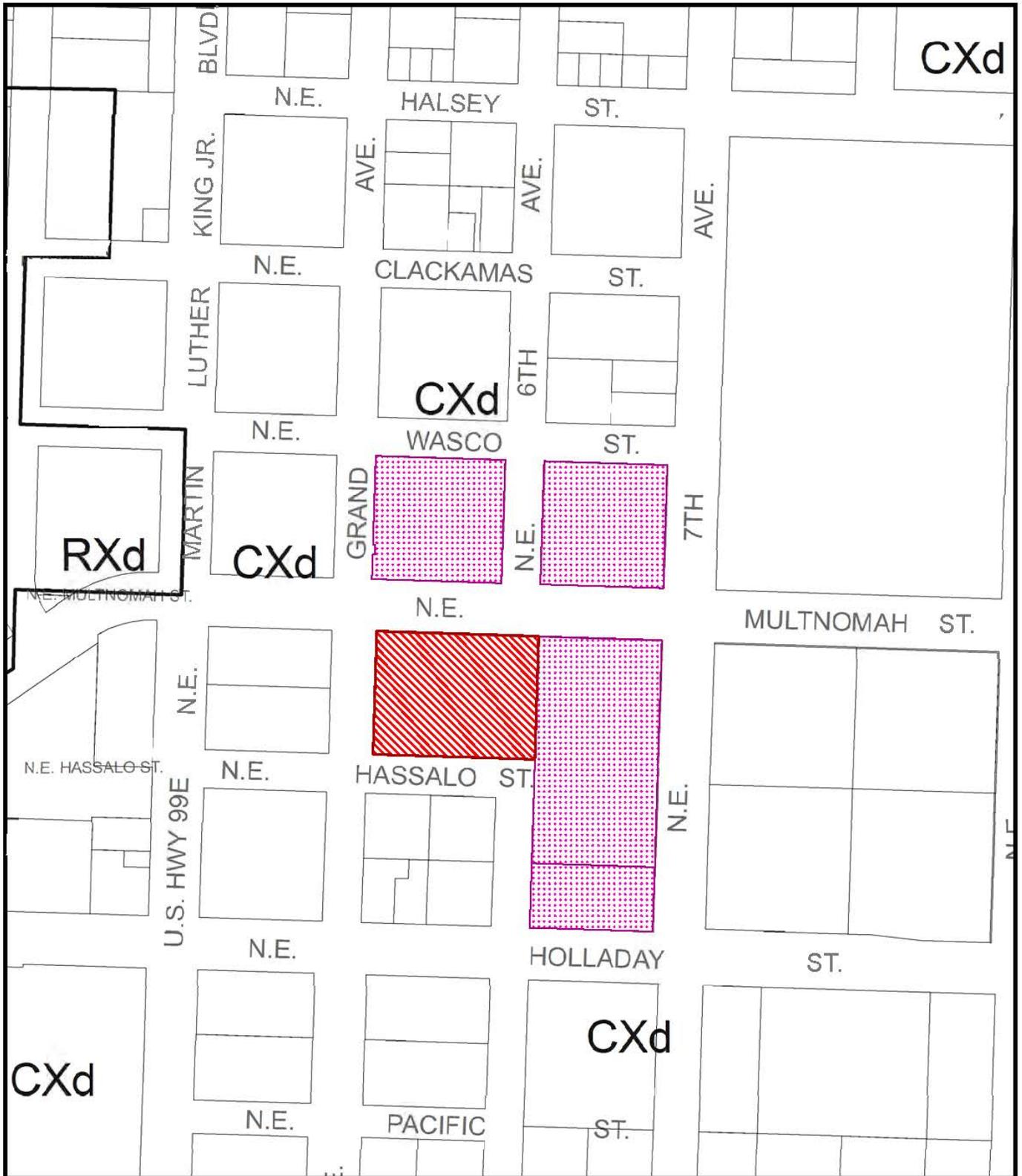
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Project Summary & Responses to Approval Criteria
 - 2. Existing North Entry - images
 - 3. Existing South Entry - images
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Site Plan, Elevations and Proposed Imagery (attached)
 - 3. Exterior Elevations
 - 4. Proposed New Entry - image
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Development Services: Life Safety/Building Code Section
- F. Correspondence: None received.
- G. Other:
 - 1. Original LU Application

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING

-  Site
-  Also Owned



This site lies within the:
CENTRAL CITY PLAN DISTRICT

File No. LU 14-167687 DZ
 1/4 Section 2931
 Scale 1 inch = 200 feet
 State_Id 1N1E35BB 2400
 Exhibit B (Jun 12, 2014)

Approved
 City of Portland
 Bureau of Development Services
 Planner [Signature]
 Date 8-14-14
*This approval applies only to the
 project and is subject to all
 zoning requirements that may apply.

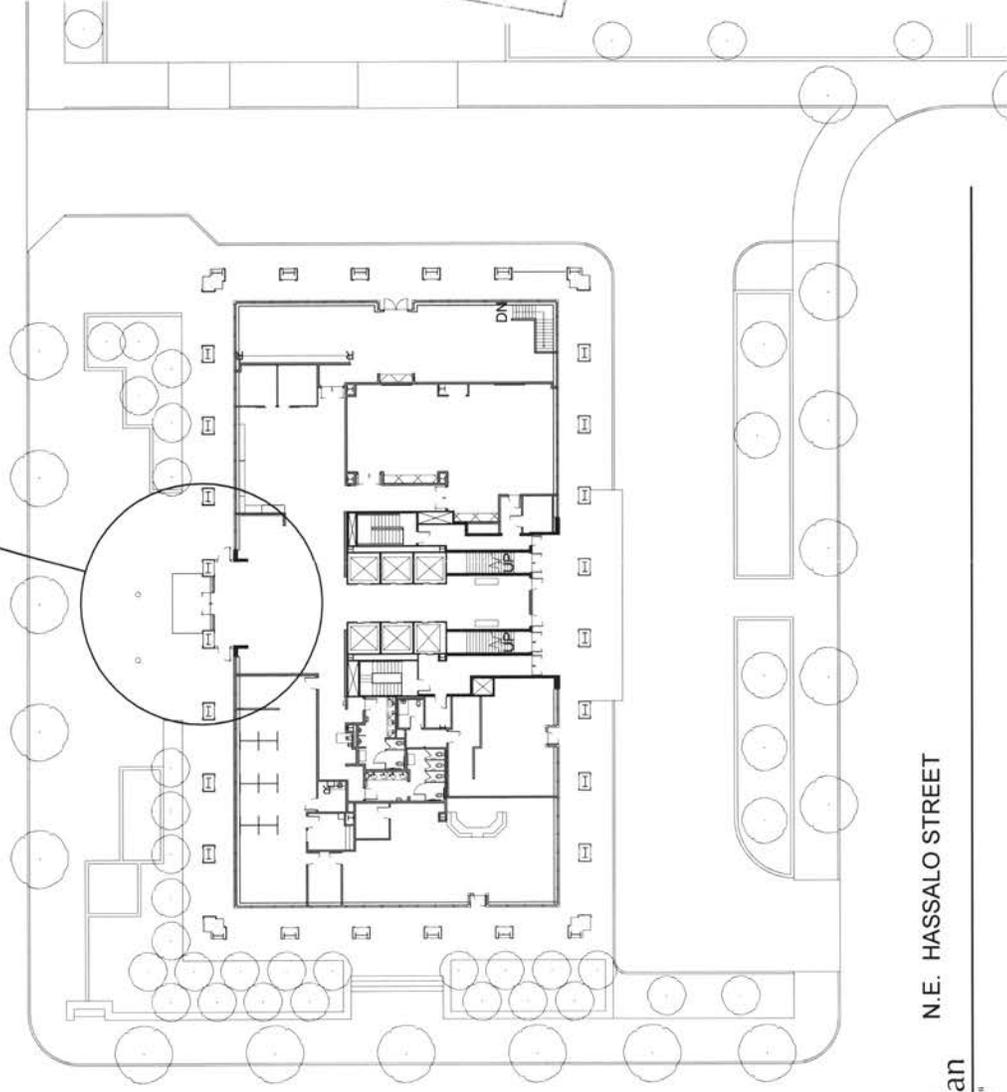
AREA OF WORK

N.E. MULTNOMAH STREET

N.E. GRAND AVENUE

N.E. HASSALO STREET

Site Plan
 1" = 30'-0"



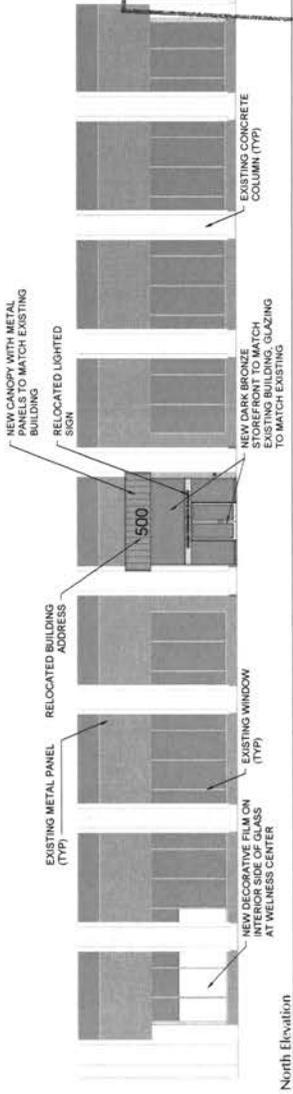
EXH. C-1
 W14-16768702

Kaiser Permanente Building (KPB)

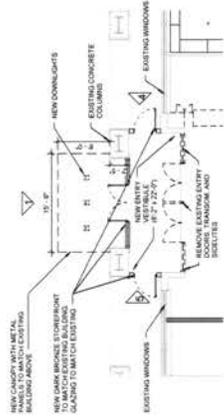
500 NE Multnomah Street Portland, OR 97232

Sheet: 0000
 Project Number: 0000
 File Name: 0000.dwg
 Plot Date: 8/14/14

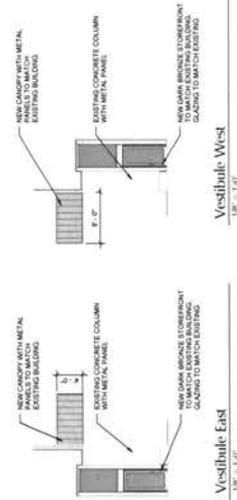
Approved
 City of Portland
 Bureau of Development Services
 Planner: *[Signature]*
 Date: *8-14-14*
 * This approval applies only to the
 revisions indicated and is subject to all
 conditions of approval.
 Additional zoning requirements may apply.



North Elevation
1/8" = 1'-0"

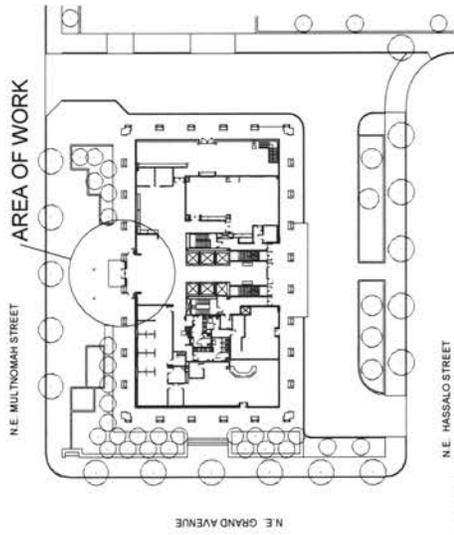


North Vestibule Plan
1/8" = 1'-0"



Vestibule West
1/8" = 1'-0"

Vestibule East
1/8" = 1'-0"



Site Plan
1" = 30'-0"



Proposed North Vestibule and Canopy



Existing Entry

Kaiser Permanente Building (KPB)

500 NE Multnomah Street Portland, OR 97232

LU14-167687HR EXH. C-2