



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
 FROM CONCEPT TO CONSTRUCTION

Amanda Fritz, Commissioner  
 Paul L. Scarlett, Director  
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[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** October 9, 2014  
**To:** Interested Person  
**From:** Chris Caruso, Land Use Services  
 503-823-5747 / [Chris.Caruso@portlandoregon.gov](mailto:Chris.Caruso@portlandoregon.gov)

**NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has **approved** a proposal in your neighborhood. This document is only a summary of the decision. The reasons for the decision, including the written response to the approval criteria and to public comments received on this application, are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

**CASE FILE NUMBER: LU 14-186051 DZ – LASKO BUILDING EXTERIOR RENOVATION**

**GENERAL INFORMATION**

**Applicant:** Damian Lobato  
 25 NW 23rd Place, Suite 6 | Portland, OR 97210

**Owner:** Lasko Properties LLC  
 110 North Page Street | Portland, OR 97227-1909

**Site Address:** 124 SE 11TH Avenue

**Legal Description:** BLOCK 238 LOT 3&4 W 33 1/3' OF LOT 5&6, EAST PORTLAND  
**Tax Account No.:** R226515800  
**State ID No.:** 1N1E35CD 03400  
**Quarter Section:** 3031  
**Neighborhood:** Buckman, contact Matthew Kirkpatrick at 503-236-6350.  
**Business District:** Central Eastside Industrial Council, contact Peter Fry at 503-274-2744.  
**District Coalition:** Southeast Uplift, contact Bob Kellett at 503-232-0010.  
**Plan District:** Central City - Central Eastside  
**Zoning:** EXd: Central Employment (EX) with design (d) overlay  
**Case Type:** DZ: Design Review  
**Procedure:** Type II, an administrative decision with appeal to the Design Commission.

**Proposal:**  
 The applicant seeks Design Review approval for exterior alterations to an existing warehouse building in the Central Eastside Subdistrict of the Central City Plan District that include the following:

- Two new glazed and solid steel overhead doors in two openings on the West façade with one opening enlarged from 8'x8' to 10'x10';
- New concrete access ramp and two new glazed metal doors on the West façade;

- Two new gooseneck style light fixtures on the West façade;
- One new glazed metal door in a new opening on the South façade;
- Concrete walkway from the new South façade door to the sidewalk; and
- One new gooseneck style light fixture on the West façade.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- Special Design Guidelines for the Central Eastside
- Central City Fundamental Design Guidelines
- 33.825 Design Review

**ANALYSIS**

**Site and Vicinity:** The subject site is a 13,333 SF corner lot located in the SW quarter of the block bounded by SE 11<sup>th</sup> Avenue, SE Ash Street, SE 12<sup>th</sup> Avenue, SE Ankeny Street, and SE Sandy Boulevard. The subject building was constructed in 1965 and is an 8,440 SF single-story masonry warehouse. There is a small addition to the main body at the northwest corner, consisting of twelve foot high wood sided walls with a flat roof. The immediate area contains a number of varied uses, such as small offices, two churches, a bilingual preschool, a coffee shop, restaurants and bars, a medical print shop, automotive repair, a musical instrument and sheet music store, a bakery and grocery store, a rock-climbing facility, single-family houses, and apartment buildings. The subject site is served by bus transit (the #70) on both SE 11<sup>th</sup> and SE 12<sup>th</sup> Avenues. SE 11<sup>th</sup> Ave., SE 12<sup>th</sup> Ave. and SE Sandy Boulevard are designated as District Collector Streets for automobile traffic. SE 11<sup>th</sup>, SE Sandy Boulevard, and SE Ankeny Street are designated as City Bikeways and City Walkways and include bicycle infrastructure.

**Zoning:** The Central Employment (EX) zone allows mixed uses and is intended for areas in the center of the City that have predominantly industrial-type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed, but are not intended to predominate or set development standards for other uses in the area.

The Design overlay (d) promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

**Land Use History:** City records indicate there are no prior land use reviews for this site.

**Agency Review:** A “Notice of Proposal in Your Neighborhood” was mailed **September 9, 2014**. No Bureaus have responded to the proposal other than the Bureau of Development Services Life Safety Building Code Section: See Exhibit E-1 for comments.

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on September 9, 2014. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

**ZONING CODE APPROVAL CRITERIA****Chapter 33.825 Design Review****Section 33.825.010 Purpose of Design Review**

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design

district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

### **Section 33.825.055, Design Review Approval Criteria**

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

**Findings:** The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because the site is located generally within the Central City Plan District, the applicable design guidelines are the Central City Plan Fundamental Design Guidelines. As the site is also specifically located within the Design Zone of the Central Eastside District, the Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan also apply.

### **Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan and Central City Fundamental Design Guidelines**

The Central Eastside is a unique neighborhood. The property and business owners are proud of the district's heritage and service to the community and region. Light industry, distribution/warehousing, and transportation are important components of the district's personality. To the general public, retail stores and commercial businesses provide the central focus within the district.

The underlying urban design objective for the Central Eastside is to capitalize on and emphasize its unique assets in a manner that is respectful, supportive, creative and compatible with each area as a whole. Part of the charm and character of the Central Eastside District, which should be celebrated, is its eclectic mixture of building types and uses. An additional strength, which should be built on, is the pattern of pedestrian friendly retail uses on Grand Avenue, East Burnside and Morrison Streets, as well as portions of 11<sup>th</sup> and 12<sup>th</sup> Avenues.

The Central City Fundamental Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

### **Central Eastside Design Goals**

The following goals and objectives define the urban design vision for new development and other improvements in the Central Eastside

- Encourage the special distinction and identity of the design review areas of the Central Eastside District.
- Provide continuity between the Central Eastside and the Lloyd District.
- Provide continuity between the Central Eastside and the river, downtown, and adjacent residential neighborhoods.
- Enhance the safety, convenience, pleasure, and comfort of pedestrians.

### **Central City Plan Design Goals**

This set of goals are those developed to guide development throughout the Central City. They apply within all of the Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the

- Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
  7. Provide for the humanization of the Central City through promotion of the arts;
  8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
  9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

*Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.*

**A2. Emphasize Portland Themes.** When provided, integrate Portland-related themes with the development's overall design concept.

**A2-1. Recognize Transportation Modes, Produce, and Commerce as Primary Themes of East Portland.** Recognize and incorporate East Portland themes into a project design, when appropriate.

**Findings for A2 and A2-1:** The existing building is one of many structures built for commerce in the original East Portland which is now part of the Central Eastside Subdistrict. New clear-glazed overhead doors and regular person doors will continue the building's role as a place of commerce on Sandy Boulevard. *These guidelines are therefore met.*

**A4. Use Unifying Elements.** Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

**C4. Complement the Context of Existing Buildings.** Complement the context of existing buildings by using and adding to the local design vocabulary.

**Findings for A4 and C4:** The proposal includes new clear-glazed overhead doors and clear-glazed person doors, wall-mounted light fixtures, and concrete entry walkways, all of which are design elements traditionally present throughout the Central Eastside Subdistrict. The proposed materials and simple forms of this renovation allow the building to continue to evoke the warehouse style of the surrounding area. *These guidelines are therefore met.*

**A5. Enhance, Embellish, and Identify Areas.** Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

**A5-2. Acknowledge the Sandy River Wagon Road (Sandy Boulevard).** Acknowledge the historical significance of the Sandy River Wagon Road (Sandy Boulevard) from East Burnside to 7<sup>th</sup> Avenue with an upgrade of the public right-of-way to be more pedestrian accommodating and which is related to its historical context. New development located adjacent to this diagonal alignment also should acknowledge the historical significance in a creative way that is attractive, informative, and appropriate.

**Findings for A5 and A5-2:** New entry walkways that are ADA compliant as well as the large areas of clear glazing in the doors and overhead doors will contribute to a more pedestrian accommodating environment near historic Sandy Boulevard by adding visual and textural interest along what is now a rather stark concrete environment. *These guidelines are therefore met.*

**A6. Reuse/Rehabilitate/Restore Buildings.** Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

**Findings:** The proposed renovation allows for continued occupation of an existing building in the district. *This guideline is therefore met.*

**A7. Establish and Maintain a Sense of Urban Enclosure.** Define public rights-of-way by creating and maintaining a sense of urban enclosure.

**A8. Contribute to a Vibrant Streetscape.** Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

**Findings for A7 and A8:** The existing building sits at the surrounding public right-of-way along one of its two frontages but it set back from the street on the other. This existing building sitting will not be altered so the urban environment created by the exterior building walls will remain in place. The new doors on the west façade will face the nearby sidewalk and will allow more views into active interior spaces, thereby enlivening the streetscape. *These guidelines are therefore met.*

**B1. Reinforce and Enhance the Pedestrian System.** Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

**B2. Protect the Pedestrian.** Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

**B7. Integrate Barrier-Free Design.** Integrate access systems for all people with the building's overall design concept.

**Findings for B1, B2 and B7:** The existing sidewalks surrounding the site will be retained with this proposal. The pedestrian environment will not be impacted by mechanical equipment as this is all located on the roof. New lighting is being provided along both street-facing facades above the person doors, and to provide additional sidewalk and site night-lighting. Vehicular movement will remain as it exists today with clearly marked entries to the parking area so pedestrians are aware of vehicle movement zones. The reconfigured customer entries and building exits will be at grade, providing a barrier-free design. *These guidelines are therefore met.*

**C2. Promote Quality and Permanence in Development.** Use design principles and building materials that promote quality and permanence.

**C3. Respect Architectural Integrity.** Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

**C5. Design for Coherency.** Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

**Findings for C2, C3 and C5:** The new aluminum-framed glazed doors, landing, and light fixtures are constructed of high quality materials such as concrete, steel, aluminum, and glass, all of which can withstand the demands of an urban environment. These new building elements will promote quality and permanence that is consistent with other commercial development in the Central Eastside Subdistrict. The new overhead doors are proportioned to fit within the building architecture so that head heights match across the west façade. All of the new doors are compatible with the simple warehouse design of the existing building. The new light fixtures also complement this building by their straightforward design and regular placement along both facades. All of these new elements work with the existing warehouse building to create a coherent composition. *These guidelines are therefore met.*

**C7. Design Corners that Build Active Intersections.** Use design elements including, but not limited to, varying building heights, changes in façade plane, large windows, awnings, canopies, marquees, signs and pedestrian entrances to highlight building corners. Locate flexible sidewalk-level retail opportunities at building corners. Locate stairs, elevators, and other upper floor building access points toward the middle of the block.

**C8. Differentiate the Sidewalk-Level of Buildings.** Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

**Findings for C7 and C8:** The existing building's only full corner faces SE Ash Street and SE 11<sup>th</sup> Avenue. This intersection is marked by the building's strong vertical concrete wall with regular openings thru it which will remain unchanged. The sidewalk level of the building is differentiated from the top by the new glazed overhead doors which create areas of openings in the wall which offset the solid parapet above. *These guidelines are therefore met.*

**C8-1. Allow for Loading and Staging Areas on Sidewalks.** On local service streets, adjacent businesses may use the sidewalk area for temporary loading and staging as long as pedestrian access through it is maintained.

**Findings:** While no staging currently happens on the surrounding local service street sidewalks, these areas will remain available for use by businesses if needed. *These guidelines are therefore met.*

**C12. Integrate Exterior Lighting.** Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

**Findings:** The three new light fixtures are located at each person door in a regular and logical manner and fit into the overall building design. The fixtures are also located at the first floor level and will therefore not have an impact on the skyline at night. *This guideline is therefore met.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The alterations to the building including new overhead doors, new person doors, a new landing, and light fixtures fit into the context of the existing building and add quality features to the sidewalk level of this plan district. The proposal meets the applicable design guidelines and therefore warrants approval.

## ADMINISTRATIVE DECISION

Approval of Design Review for exterior alterations to an existing warehouse building in the Central Eastside Subdistrict of the Central City Plan District that include the following:

- Two new glazed and solid steel overhead doors in two openings on the West façade with one opening enlarged from 8'x8' to 10'x10';
- New concrete access ramp and two new glazed metal doors on the West façade;

- Two new gooseneck style light fixtures on the West façade;
- One new glazed metal door in a new opening on the South façade;
- Concrete walkway from the new South façade door to the sidewalk; and
- One new gooseneck style light fixture on the West façade.

Approval, per the approved site plans, Exhibits C-1 through C-5, signed and dated October 7, 2014, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.5. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 14-186051 DZ. No field changes allowed."

**Staff Planner: Chris Caruso**

**Decision rendered by:**  **on October 7, 2014**  
By authority of the Director of the Bureau of Development Services

**Decision mailed: October 9, 2014**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on July 18, 2014, and was determined to be complete on **September 4, 2014**.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on July 18, 2014.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: January 02, 2015.**

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the

use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on October 23, 2014** at 1900 SW Fourth Ave. Appeals can be filed at the Development Services Center Monday through Wednesday and Fridays between 8:00 am to 3:00 pm and on Thursdays between 8:00 am to 2:00 pm. After 3:00 pm Monday through Wednesday and Fridays, and after 2:00 pm on Thursdays, appeals must be submitted at the reception desk on the 5<sup>th</sup> floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **October 24, 2014**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034  
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

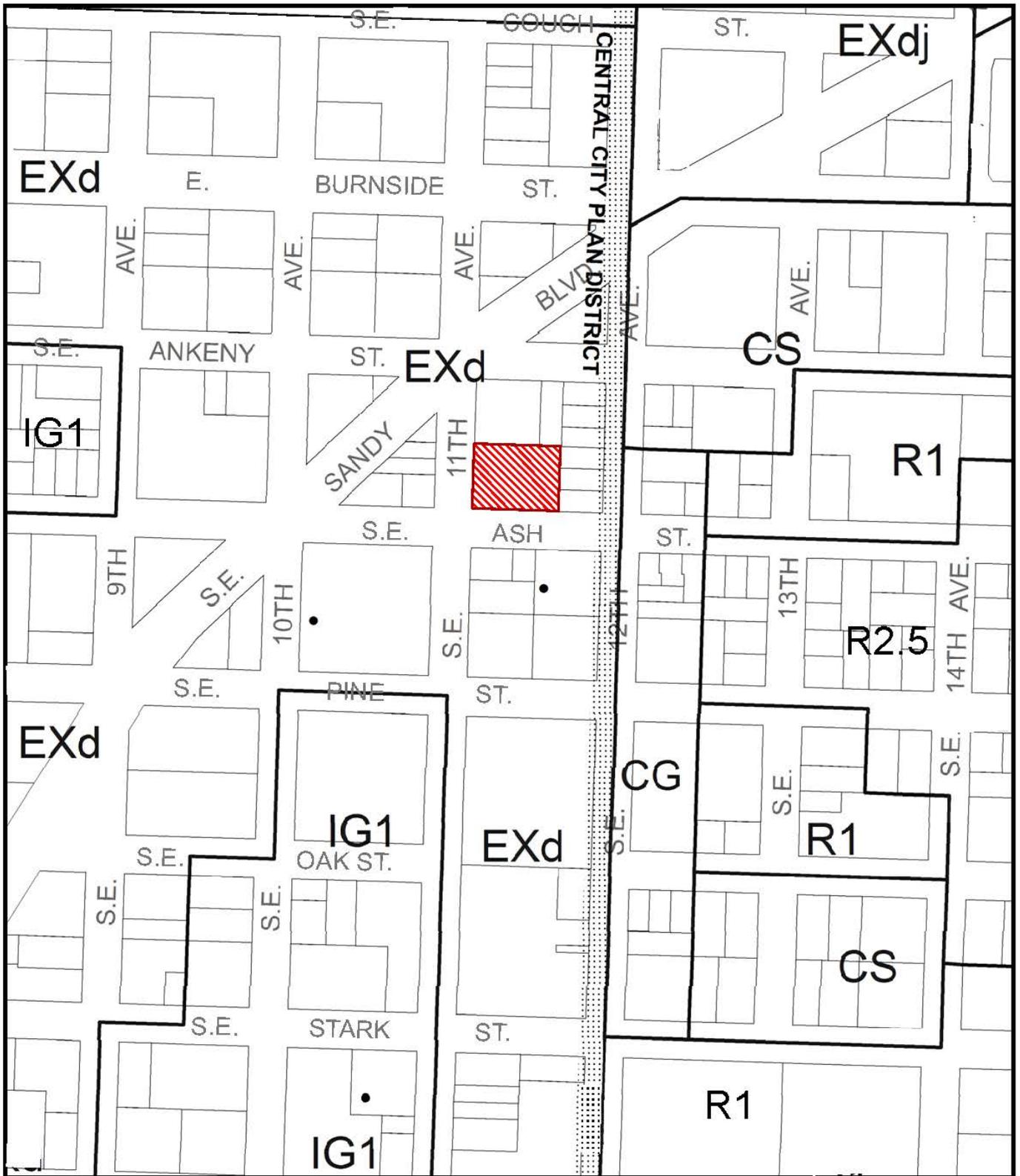
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

#### **EXHIBITS**

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. Site Plan (attached)
  - 2. Elevations (attached)
  - 3. Details Sheet
  - 4. Manufacture's Cut Sheets
  - 5. Floor and Roof Plan
- D. Notification information:
  - 1. Mailing list
  - 2. Mailed notice
- E. Agency Responses:
  - 1. Life Safety Review Section of BDS
- F. Correspondence: None Received
- G. Other:
  - 1. Original LU Application
  - 2. Incomplete Letter: August 1, 2014

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**



# ZONING



Site



Historic Landmark

This site lies within the:  
**CENTRAL CITY PLAN DISTRICT -  
 CENTRAL EASTSIDE**



File No. LU 14-186051 DZ  
 1/4 Section 3031  
 Scale 1 inch = 200 feet  
 State\_Id 1N1E35CD 3400  
 Exhibit B (Jul 21, 2014)





Quatrel, Inc.  
 1000 NE Oregon Street, Suite 100  
 Portland, OR 97232  
 Tel: 503.255.1111 Fax: 503.255.1112

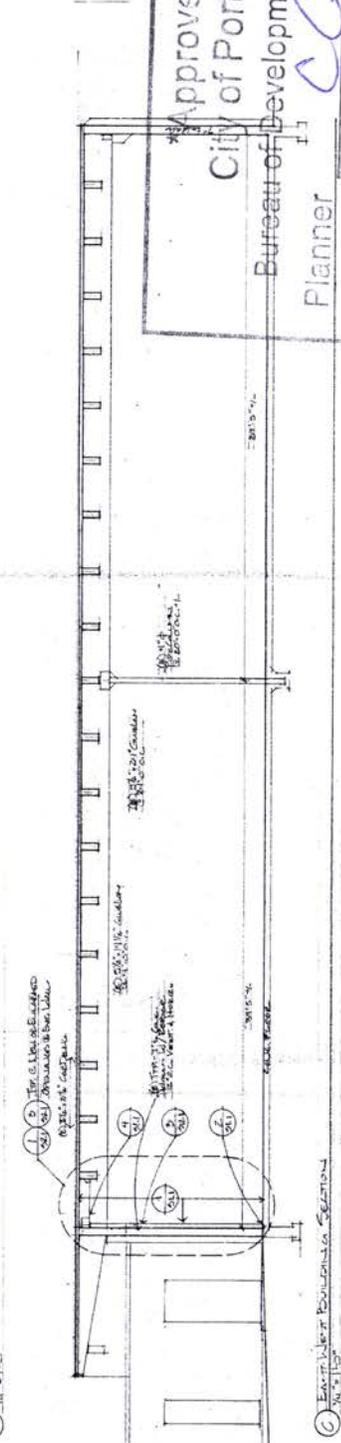
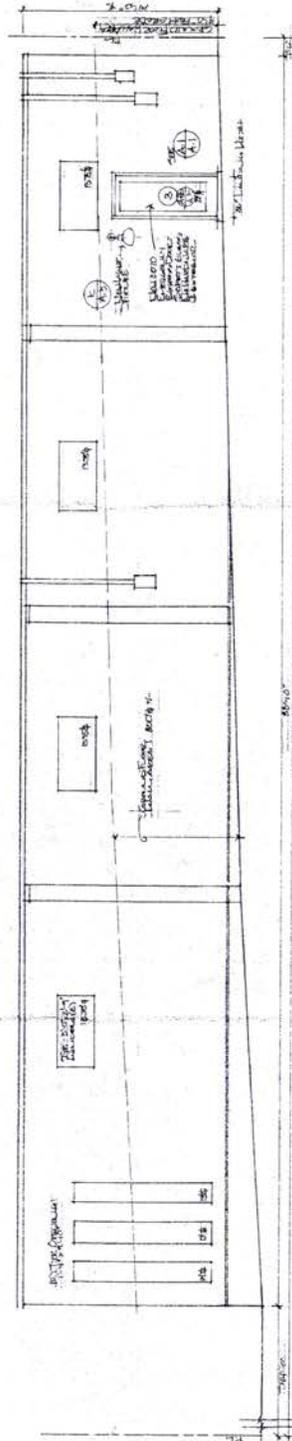
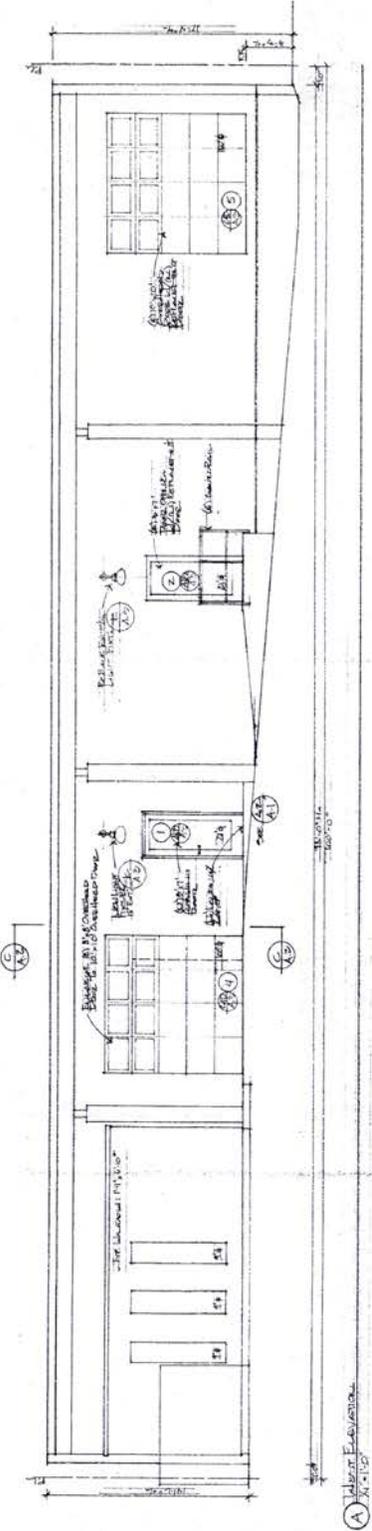
124 SE 11th Avenue  
 Exterior Alteration  
 Portland, OR 97214

Prepared by: LUMPS

DATE: 6/28/14

SCALE: 1/8" = 1'-0"

SHEET: A.2



Approved\*  
 City of Portland  
 Bureau of Development Services  
 Planner CCS  
 Date 10/7/14

\* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

EXH.C-2

LU 14-186051 D2