



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Amanda Fritz, Commissioner  
Paul L. Scarlett, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
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[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** January 29, 2015  
**To:** Interested Person  
**From:** Chris Caruso, Land Use Services  
503-823-5747 / [Chris.Caruso@portlandoregon.gov](mailto:Chris.Caruso@portlandoregon.gov)

## **NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has **approved** a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision, including the written response to the approval criteria and to public comments received on this application, are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

### **CASE FILE NUMBER: LU 14-200176 HR NEW REAR DORMERS AND SIDE BAY WINDOWS**

#### **GENERAL INFORMATION**

**Applicant:** Jonathon Zilka / Zilka Design  
2421 SE Ash St / Portland OR 97214

**Owners:** Alexander Bassos  
1912 SE 12th Ave/Portland OR 97214-4718  
Matthew Masini  
1918 SE 12th Ave/Portland, OR 97214

**Site Address:** 1912-1918 SE 12TH AVE

**Legal Description:** BLOCK 11 S 21' OF LOT 16 LOT 17, LADDS ADD  
**Tax Account No.:** R463302320, R463302320  
**State ID No.:** 1S1E02CA 09000, 1S1E02CA 09000  
**Quarter Section:** 3231

**Neighborhood:** Hosford-Abernethy, contact Joanne Stainbrook at 503-231-9245.  
**Business District:** Division-Clinton Business Association, Darice Robinson at 503-233-1888, Hawthorne Blvd. Bus. Assoc., Hilda Stevens at 503-774-2832.

**District Coalition:** Southeast Uplift, contact Bob Kellett at 503-232-0010.  
**Plan District:** None  
**Other Designations:** Ladd's Addition Historic District  
**Zoning:** R1 – Multi-Dwelling Residential with Historic Resources Overlay  
**Case Type:** HR – Historic Resource Review  
**Procedure:** Type II, an administrative decision with appeal to the Landmarks Commission.

**Proposal:**

The applicant seeks Historic Resource Review approval for exterior alterations to a non-contributing duplex built in 1925 as listed below:

- Two new side bay window projections, one on the north façade and one on the south façade, with wood windows and exterior materials and trim to match the house; and
- Two new rear second story shed roof dormers with skylights and wood windows, located on either side of the existing central shed roof, with exterior materials and trim to match the house.

Historic resource review is required for non-exempt alterations to structures within historic districts.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- 33.846 Historic Reviews
- Ladd's Addition Conservation District Guidelines

**ANALYSIS**

**Site and Vicinity:** The site is located within the Ladd's Addition Historic District and is developed with a noncontributing 1925 duplex that has undergone numerous alterations over the years. The house fronts SE 12<sup>th</sup> Avenue, a north-south street, which is the western boundary of the historic district, and also has access to one of the rear alleyways. Surrounding development is predominately 20<sup>th</sup> Century homes in a variety of styles and sizes.

Ladd's Addition is Portland's oldest planned community (1891) and one of the oldest in the western United States. Ladd's radial street plan marked a dramatic break in Portland's typical grid street pattern. With a symmetry echoing Renaissance cities and gardens, the radial streets converge at five formal gardens, which are showpieces of the Ladd's Addition community. The street plan is arranged in a hierarchy of street types that range from two broad central boulevards (SE Ladd Ave. and SE Elliott) to narrower minor streets and service alleys, all with a central focus on SE Ladd Circle. Parking strips are lines with mature street trees, green archways of elms and maples that are specifically designated for planting on each type of street.

The architectural character of Ladd's Addition was established in the three decades following the turn of the century. Although the individual structures represent a variety of styles, including Bungalow, Mission, Tudor and Colonial Revival, they have a continuity of materials, scale, detailing, orientation and setback which creates a sense of architectural uniformity. Historic development in the District occurred between approximately 1891 and 1930.

**Zoning:** The Residential 5,000 (R5) single-dwelling zone is intended to preserve land for housing and to provide housing opportunities for individual households. The zone implements the comprehensive plan policies and designations for single-dwelling housing. Minimum lot size is 3,000 square feet, with minimum width and depth dimensions of 36 and 50 feet, respectively. Minimum densities are based on lot size and street configuration. Maximum densities are 1 lot per 5,000 square feet of site area. The current use is allowed by right.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

**Land Use History:** City records indicate there are no prior land use reviews for this site.

**Agency Review:** A “Notice of Proposal in Your Neighborhood” was mailed **December 31, 2014**. The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services
- Bureau of Transportation Engineering
- Site Development Section of BDS
- Fire Bureau
- Water Bureau (Exhibit E-1)
- Life Safety Review Section of BDS (Exhibit E-2)
- Bureau of Parks-Forestry Division (Exhibit E-3)

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on December 31, 2014. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

## **ZONING CODE APPROVAL CRITERIA**

### **Chapter 33.846.060 - Historic Resource Review**

#### **Purpose of Historic Resource Review**

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

#### **Historic Resource Review Approval Criteria**

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

**Findings:** The site is located within the Ladd's Addition Historic District and the proposal is for a non-exempt treatment not requiring a new foundation. Therefore Historic Resource Review approval is required. The approval criteria are the *Ladd's Addition Conservation District Design Guidelines – Exterior Rehabilitation*.

*Staff has considered all guidelines and addressed only those applicable to this proposal.*

### **Ladd's Addition Conservation District Guidelines – Exterior Rehabilitation**

**1. Façades Oriented to a Street.** In rehabilitating existing buildings, the architectural integrity of street-oriented façades should be maintained. Additions and structural alterations should be limited to the rear and side yard façades and be minimally visible from the street.

**Findings:** The proposed rear dormers, skylights, and side bays are located on the rear and non-street-facing sides of the building and will be minimally visible from the street. The duplex is raised high on the site and has heavily landscaped side setbacks which minimize direct views of the sides from SE 12<sup>th</sup> Avenue and the alleyway. The dormer ridge lines align with that of the existing house and the sides are pulled back from the body of the structure so there is also no view of the new roof from the street. There is no work proposed on the front façade. *This guideline is therefore met.*

**3. Exterior Siding Material.** Restoration and maintenance of original siding materials is encouraged. Materials used on additions should match or be compatible with the predominant materials used on the original structure. Most single family residences and duplexes in Ladd's Addition feature stucco, horizontal wood siding, wood shingles, brick or a combination of these materials. Most commercial and multi-family structures feature stucco or brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.

**Findings:** All existing siding material not affected by the additions will be maintained and all new siding and trim will match the profile of existing wood lap siding and wood trim on the remainder of the house. *This guideline is therefore met.*

**4. Roof Form.** Repair and alteration of roofs should retain:

- a. The original roof shape and pitch;
- b. Original structural and decorative features such as gables , dormers, chimneys, cornices, parapets, pediments, frieze boards , exposed rafters and other ornamental details; and,
- c. Whenever possible the original type, size, color, and pattern of roofing materials. New roof features including roof additions and new dormers should be compatible in size, scale, materials, and color with the original building. Skylights, solar, mechanical and service equipment, and new roof features should be inconspicuous from the street.

**Findings:** The roof of the proposed dormers and side bays matches the shed-roof form of the front and rear of the duplex and also incorporates many of the characteristics of the original building. These include the dimensions and materials of the trim, roof finishes, wall finishes, and eave overhangs, which will visually match those on the existing house. The pulled in dormer walls allow the roof form to sit within the frame of the duplex as a secondary element which is appropriate for rear elevations in this district. *This guideline is therefore met.*

**6. Windows and Doors.** Original windows and doors, including trim, should be retained or restored. If repair is not feasible, new windows or windows on additions should match or be compatible with original windows in form, materials, type, pattern and placement of openings. On residences, the removal of original wood sash windows and replacement with aluminum sash is especially discouraged. Restoration of commercial storefront windows with large fixed glass panes below and smaller glass panes above is especially encouraged.

**Findings:** The proposed new windows being placed in the rear and side additions will be wood double-hung and fixed windows to match the style of the existing windows. All new siding and trim will match the material and profile of corresponding architectural elements on the existing duplex. These replicated properties allow the new additions to blend in well with the character of the building and the historic district. *This guideline is therefore met.*

**8. Color.** Restoration of original colors, or colors appropriate to the style and era of the building, is encouraged.

**Findings:** The dormer, side bays, window trim, roof shingles, and siding will match the existing color of the house which is painted green and white. These colors are seen on other older houses in the area and are appropriate to this noncontributing duplex. *This guideline is therefore met.*

**13. Crime Prevention.** Crime prevention elements should be included in the design with specific attention to landscaping, parking areas, walkways, lighting, entries, and visibility. Windows and entries should not be obscured. Parking areas, walkways, and entries should be adequately illuminated for visibility.

**Findings:** No changes are proposed for the existing landscaping, parking area, entries, walkways, or lighting. The new rear dormer and side bays will have windows that are not obscured and that will allow for views of activity happening in the side yards, the rear yard and adjacent alley. *This guideline is therefore met.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The purpose of the Historic Design Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. The proposed dormers, skylights, and bays, located on the rear and sides of the building do not negatively impact the street-facing façade along SE 12<sup>th</sup> Avenue or the rear or side views of the building from the alley and adjacent street. By carefully relating to its context, these alterations are well-considered contributions to the district. This proposal meets the applicable Historic Design Review criteria and therefore warrants approval.

## ADMINISTRATIVE DECISION

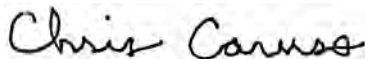
Approval of Historic Resource Review for exterior alterations to a non-contributing duplex built in 1925 as listed below:

- Two new side bay window projections, one on the north façade and one on the south façade, with wood windows and exterior materials and trim to match the house; and
- Two new rear second story shed roof dormers with skylights and wood windows, located on either side of the existing central shed roof, with exterior materials and trim to match the house.

Approved, per the approved site plans Exhibits C-1 through C-12 signed and dated January 27, 2015, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.12. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 14-200176 HR. No field changes allowed."

**Staff Planner: Chris Caruso**



**Decision rendered by:** \_\_\_\_\_ **on January 27, 2015**

By authority of the Director of the Bureau of Development Services

**Decision mailed: January 29, 2015**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on August 21, 2014, and was determined to be complete on December 29, 2014.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on August 21, 2014.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: April 28, 2015.**

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on February 12, 2015** at 1900 SW Fourth Ave. Appeals can be filed at the Development Services Center Monday through Wednesday and Fridays between 8:00 am to 3:00 pm and on Thursdays between 8:00 am to 12:00 pm. After 3:00 pm Monday through Wednesday and Fridays, and after 12:00 pm on Thursdays, appeals must be submitted at the reception desk on the 5<sup>th</sup> floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks

Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **February 13, 2015 – (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

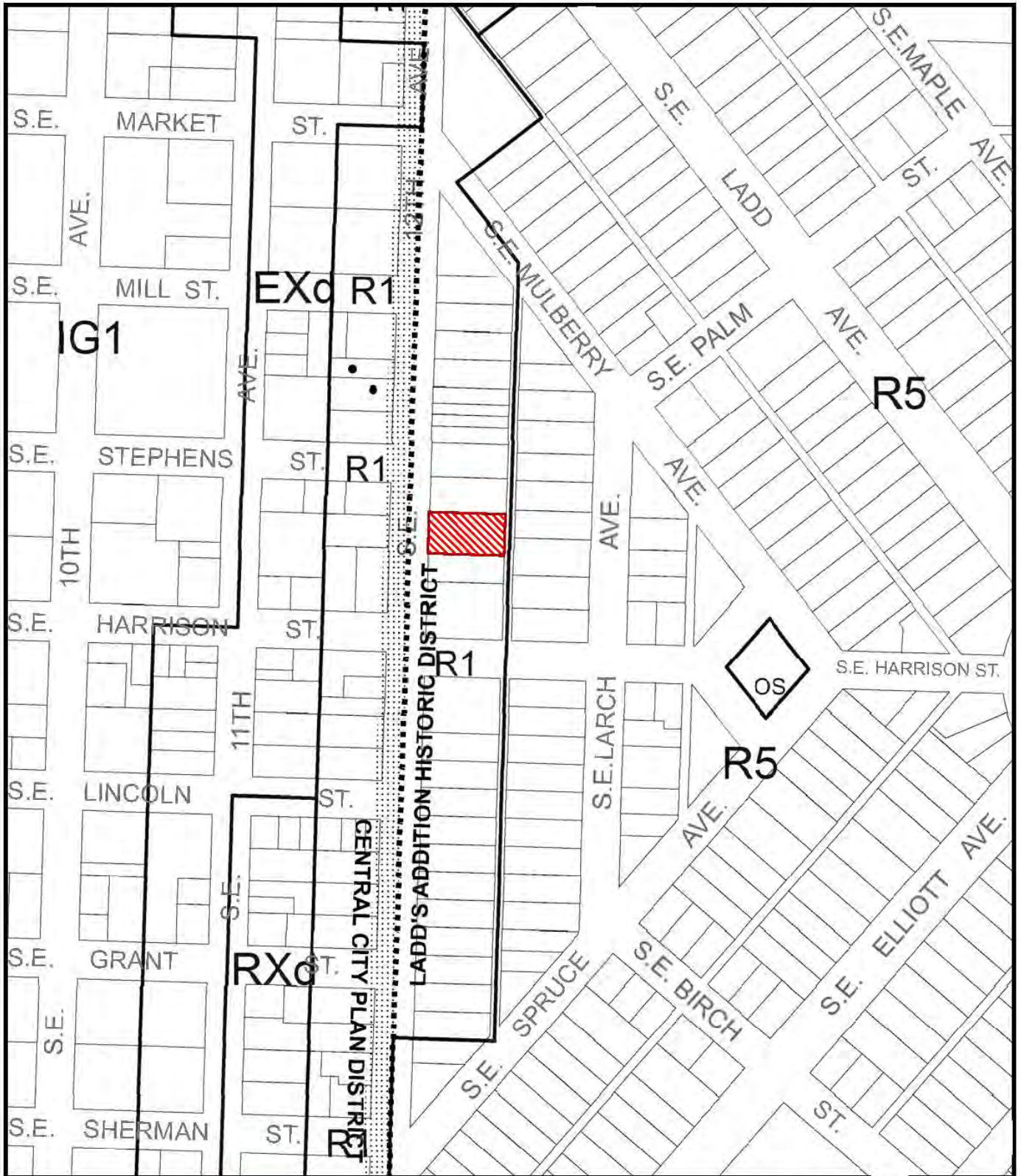
**EXHIBITS**

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Information
  - 1. Project Narrative
  - 2. Email, December 24, 2015
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. Site Plan (attached)
  - 2. West (Front) Elevation (attached)
  - 3. East (Back) Elevation (attached)
  - 4. North (Side) Elevation (attached)
  - 5. South (Side) Elevation (attached)
  - 6. First Floor Plan
  - 7. Second Floor Plan
  - 8. Building Cross Section
  - 9. N-S Building Section Looking East
  - 10. Existing and Proposed Wood Window Details
  - 11. Skylight Details
  - 12. Window Section and Building Trim Details
- D. Notification information:
  - 1. Mailing list
  - 2. Mailed notice
- E. Agency Responses:
  - 1. Water Bureau
  - 2. Life Safety Review Section of BDS
  - 3. Bureau of Parks, Forestry Division
- F. Correspondence: none received
- G. Other:
  - 1. Original LU Application
  - 2. Incomplete Letter
  - 3. Staff email requesting additional information, November 26, 2014

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**





# ZONING



Site



Historic Landmark



This site lies within the:  
LADD'S ADDITION HISTORIC DISTRICT

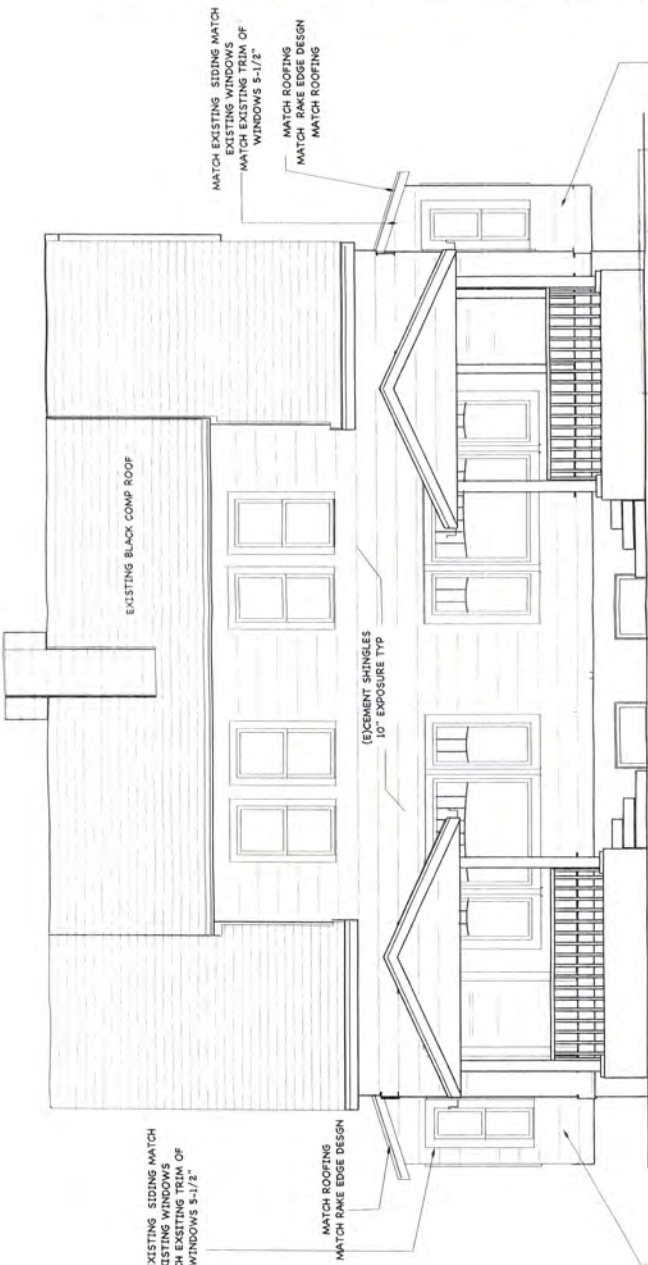
File No.	LU 14-200176 HR
1/4 Section	3231
Scale	1 inch = 200 feet
State_Id	1S1E02CA 9000
Exhibit	B (Aug 22, 2014)



3

2

1



EXISTING BLACK COMP ROOF

MATCH EXISTING SIDING MATCH EXISTING WINDOWS MATCH EXISTING TRIM OF WINDOWS 5-1/2"

MATCH EXISTING SIDING MATCH EXISTING WINDOWS MATCH EXISTING TRIM OF WINDOWS 5-1/2"

MATCH ROOFING MATCH RAKE EDGE DESIGN

(EXCERENT) SHINGLES 10" EXPOSURE TYP

PROPOSED BAY WINDOW

APPROVED  
City of Portland  
Bureau of Development Services  
Planner  
Date 1/27/15

# WEST ELEVATION (FRONT) 1912-1918 SE 12TH AVE

SCALE 1/4"=10"

1912-1918 SE 12 AVE  
PORTLAND OR  
DOORS AND 2ND FL  
BACK ELEVATION (EAST)

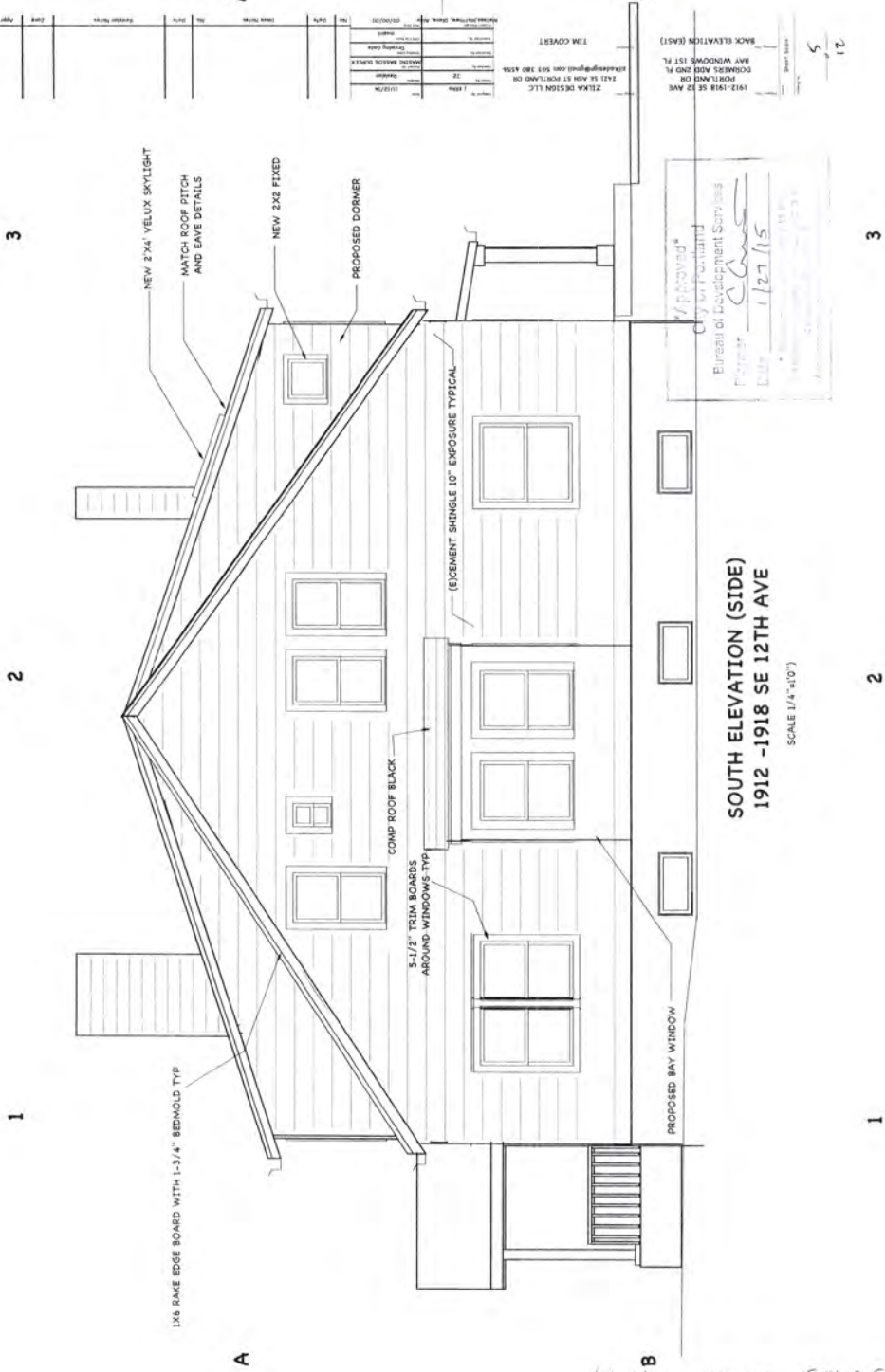
ZLKA DESIGN LLC  
2421 SE 45TH ST PORTLAND OR  
503.242.1534  
zlkadesign@gmail.com 503.242.1534  
TDM COVERST

PROJECT NO.	151217A
DATE	1/27/15
PROJECT NAME	1912-1918 SE 12TH AVE
CLIENT	ZLKA DESIGN LLC
ARCHITECT	ZLKA DESIGN LLC
DESIGNER	ZLKA DESIGN LLC
DATE	1/27/15
PROJECT NO.	151217A

This drawing contains the City of Portland  
 Bureau of Development Services  
 Planning Department  
 Date: 1/27/15







NO.	DATE	DESCRIPTION
1		PRELIMINARY
2		REVISED
3		REVISED

ZILKA DESIGN LLC  
 1421 SE 14th ST SUITE 100  
 MIAMI BEACH, FL 33133  
 TEL: 305.444.1111  
 WWW.ZILKADesign.com

BACK ELEVATION (EAST)  
 1912-1918 SE 12th AVE  
 DORRIS AND 2ND FL  
 100'x100'x10'  
 BAY WINDOWS 1ST FL

City of Portland  
 Bureau of Development Services  
 Project: 127115  
 Date: 1/27/15

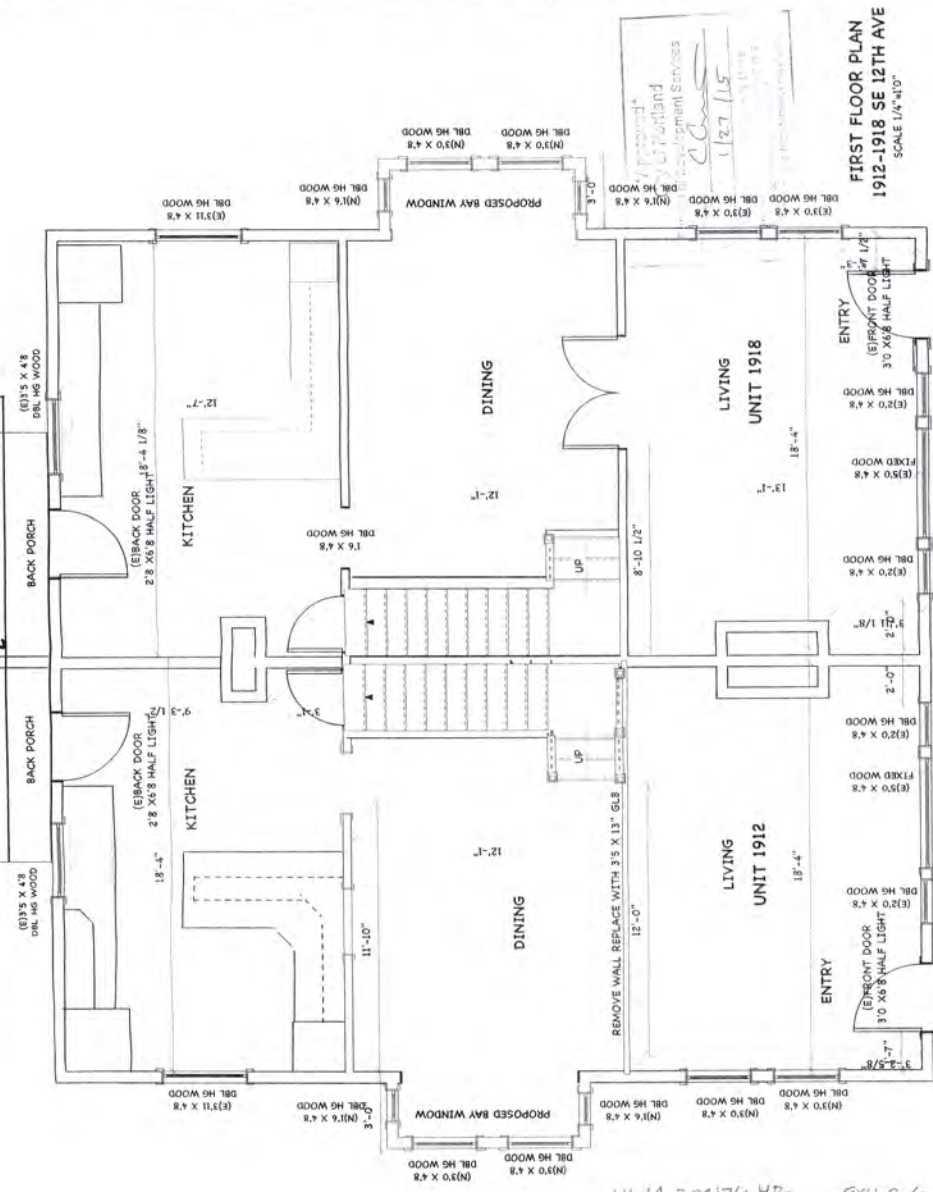
SOUTH ELEVATION (SIDE)  
 1912 - 1918 SE 12TH AVE  
 SCALE 1/4" = 1'-0"

1x6 RAKE EDGE BOARD WITH 1-3/4" BEADMOLD TYP  
 NEW 2'x4' VELUX SKYLIGHT  
 MATCH ROOF PITCH AND EAVE DETAILS  
 NEW 2'x4' FIXED  
 PROPOSED DORMER  
 CEMENT SHINGLE 10" EXPOSURE TYPICAL  
 COMP ROOF BLACK  
 5-1/2" TRIM BOARDS AROUND WINDOWS TYP  
 PROPOSED BAY WINDOW

1  
 2  
 3

LU 14-200176 HR EXH.C-5

DATE	1/27/15
PROJECT	1912-1918 SE 12th Ave
CLIENT	DOMINUS AND CNO FC
ARCHITECT	ZILKA DESIGN LLC
ADDRESS	4421 SE 12th St Portland, OR
PHONE	503.230.4574
EMAIL	info@zilka.com
SCALE	1/4" = 1'-0"



**FIRST FLOOR PLAN**  
**1912-1918 SE 12 TH AVE**  
 SCALE 1/4"=1'-0"

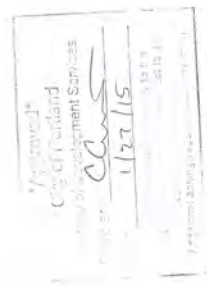
LU 1A-200170 HP

EXH. C-6

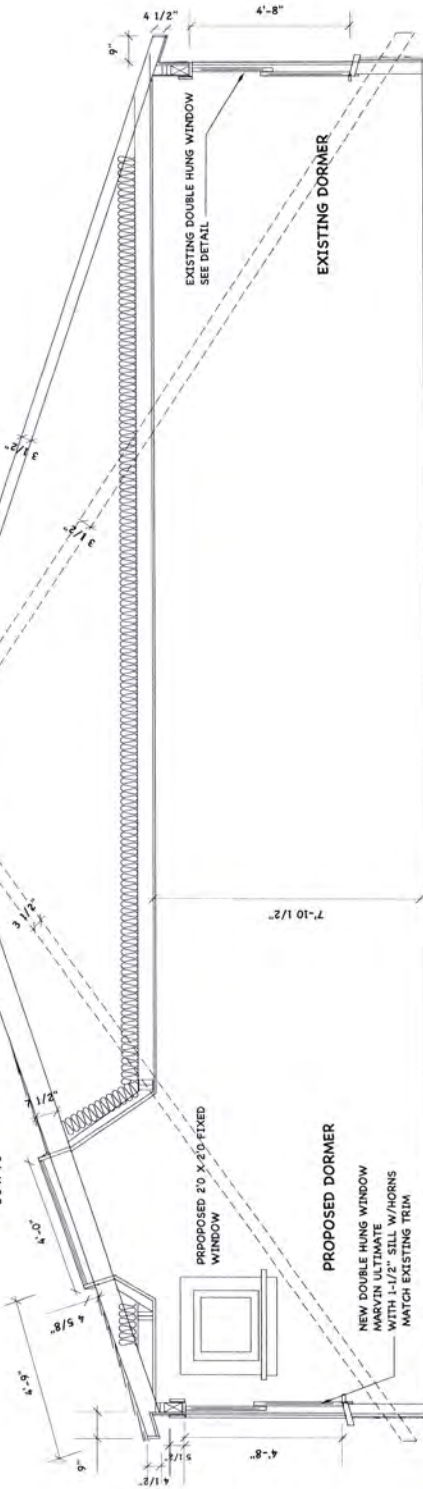




EXISTING  
CEMENT  
SHINGLE



NEW VELUX DECK MOUNT SKYLIGHT  
20 X 40



EXISTING DOUBLE HUNG WINDOW  
SEE DETAIL

EXISTING DORMER

PROPOSED 20' X 20' FIXED  
WINDOW

PROPOSED DORMER

NEW DOUBLE HUNG WINDOW  
MARVIN ULTIMATE  
WITH 1-1/2" SILL W/HORNS  
MATCH EXISTING TRIM

EXISTING  
CEMENT  
SHINGLE

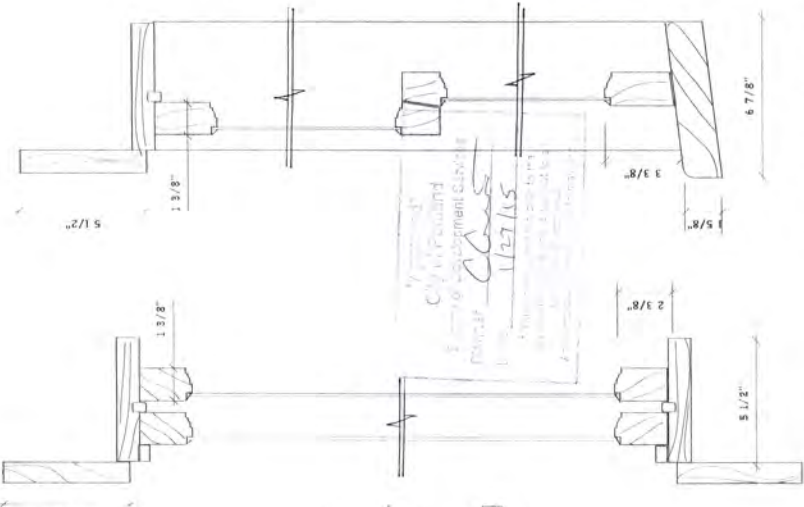
A BUILDING CROSS SECTION 1912-1918 SE 12TH AVE

SCALE 3/8"=1'0"

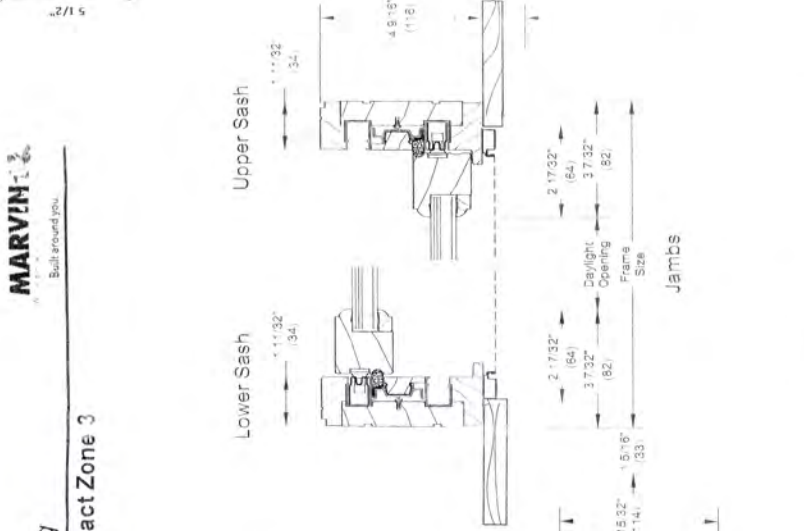


# Wood Ultimate Double Hung

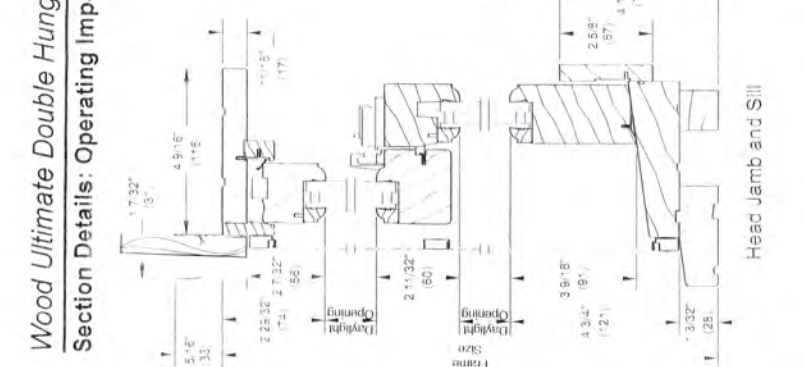
## Section Details: Operating Impact Zone 3



EXISTING WOOD WINDOWS SIDE VIEW



EXISTING WOOD WINDOWS TOP VIEW



PROPOSED WOOD WINDOWS TOP VIEW

PROPOSED WOOD WINDOWS SIDE VIEW

DATE	1/27/15
BY	CS
CHECKED	
DESIGNED	
PROJECT	2421 NE 45TH AVE. PORTLAND, OR 97218
CLIENT	ZILKA DESIGN LLC
PROJECT NO.	14-20076
PROJECT NAME	WOOD ULTIMATE DOUBLE HUNG
PROJECT ADDRESS	5000 NE WASHINGTON BLVD. PORTLAND, OR 97218
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	
PROJECT DESCRIPTION	
PROJECT NOTES	
PROJECT STATUS	
PROJECT COMMENTS	
PROJECT REVISIONS	
PROJECT APPROVALS	
PROJECT SIGNATURE	
PROJECT TITLE	
PROJECT SCALE	
PROJECT SHEET NO.	1/2
PROJECT SHEET TOTAL	1/2

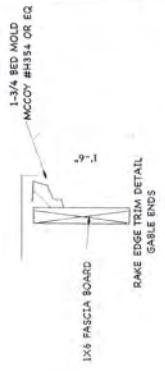


1912-1918 St 12 Ave PORTLAND OR DOUGLAS AND 2ND ST 847 WINDOMS 1ST FL	221X4 DESIGN LLC 2211 SE 45TH ST PORTLAND OR 503 280 4334 dsh@221x4design.com	Contractor Name Contractor Address Contractor Phone Contractor Email	Client Name Client Address Client Phone Client Email
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Sheet No. 12  
Drawing No. 12

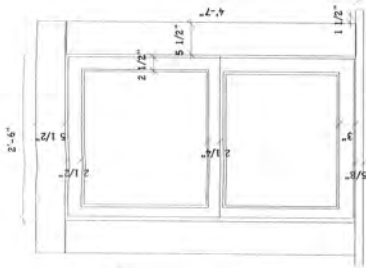


EAVE DETAIL  
RAFTER END



RAKE EDGE TRIM DETAIL  
GABLE ENDS

11 Portland  
C/O Portland  
Construction Services  
1277 15  
1/27/15  
3-24-15  
11 Portland, OR 97201

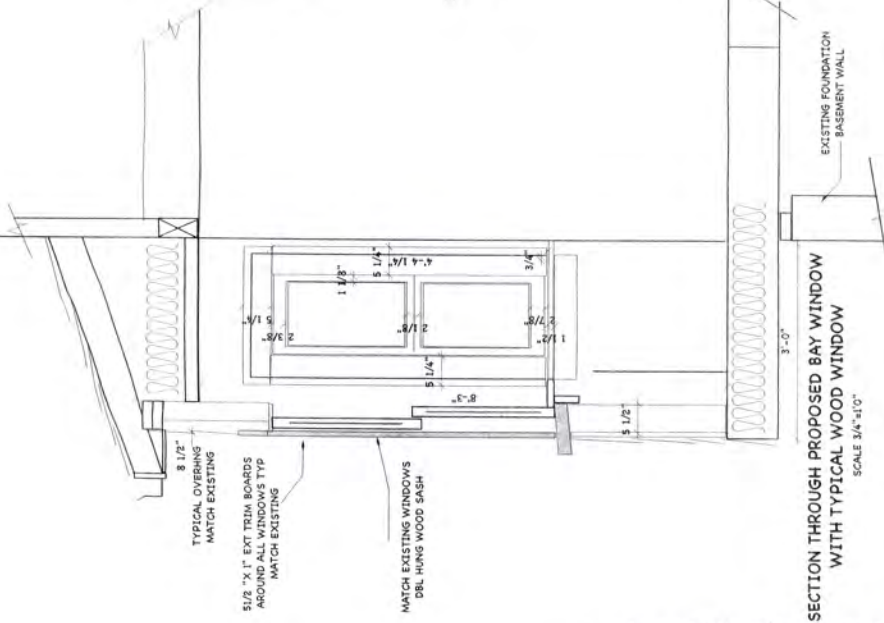


TYPICAL WOOD WINDOW  
AND TRIM FROM EXTERIOR

SCALE 3/4"=1'-0"

DETAIL SHEET

SCALE 3/4"=1'-0"



SECTION THROUGH PROPOSED BAY WINDOW  
WITH TYPICAL WOOD WINDOW

SCALE 3/4"=1'-0"

LU 14-200176 HR EXH.C-12