



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**

FROM CONCEPT TO CONSTRUCTION

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[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** March 09, 2015  
**To:** Interested Person  
**From:** Arthur Graves, Land Use Services  
503-823-7803 | [Arthur.Graves@portlandoregon.gov](mailto:Arthur.Graves@portlandoregon.gov)

## **NOTICE OF A TYPE I DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has **approved** a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision, including the written response to the approval criteria and to public comments received on this application, are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

### **CASE FILE NUMBER: LU 15-111056 HR: FRONT PORCH AND STEPS REPLACEMENT**

#### **GENERAL INFORMATION**

**Applicant:** David F Wadley / Appropriate Technology / 503.543.2154  
52596 North Rd / Scappoose OR 97056

**Owner:** Anthony Hunt  
1445 SE Division Street / Portland OR 97202-1139

**Site Address:** 1445 SE Disvison Street

**Legal Description:** BLOCK 3 LOT 7, LADDS ADD  
**Tax Account No.:** R463300440  
**State ID No.:** 1S1E02DC 12600  
**Quarter Section:** 3232  
**Neighborhood:** Hosford-Abernethy, contact Joanne Stainbrook at 503-231-9245.  
**Business District:** Division-Clinton Business Association, contact Darice Robinson at 503-233-1888.

**District Coalition:** Southeast Uplift, contact Bob Kellett at 503-232-0010.  
**Other Designations:** Contributing resource in the Ladd's Addition Historic District, listed in the National Register of Historic Places on August 31, 1988.

**Zoning:** R5: Single-Dwelling Residential with Historic Resource overlay  
**Case Type:** HR: Historic Review  
**Procedure:** Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

#### **Proposal:**

The applicant seeks Historic Resource Review approval for an alteration to the 1923 contributing Colonial Revival Bungalow residence in the Ladd's Addition Historic District. The proposed alteration includes the removal of the existing deteriorating concrete front

(south facing) porch and steps to be replaced with new concrete steps and porch in the same style and design, and in the same location.

Historic resource review is required for exterior alterations to contributing structures such as this one in the Ladd's Addition Historic District.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- Ladd's Addition Conservation District Guidelines

## ANALYSIS

**Site and Vicinity:**

The subject property is a one and a half story, Bungalow-Colonial Influence Style, residence. The house was built by the architect T.J. Alsleber for Thomas Accettura in 1923 and, along with the detached garage, are both contributing resources within the Ladd's Addition Historic District.

The Historic District, with its distinctive pattern of streets, alleys, and public gardens, is significant as an early example of planned suburban development related to the extension of streetcar lines east of the Willamette River in the late nineteenth century. Ladd's Addition Historic District was listed in the National Register of Historic Places on August 31, 1988, with a period of significance of 1891-1939.

The historic character of the Ladd's Addition neighborhood is one of small to medium-sized houses, set back moderately from tree-lined streets, with five public gardens incorporated into the distinctive layout of the subdivision at significant nodes. A few larger houses, churches, small apartment buildings, and modest commercial properties, similar in character to the single-family housing, are sprinkled throughout the district. Denser traditional storefront commercial and apartment development is concentrated along SE Hawthorne, the northern boundary street, and SE Division at the south. These were the streets that were originally designed to accommodate the streetcar lines.

Regarding area amenities within a quarter-mile (roughly a five-minute walk) from the site the site, there are a numerous restaurants, cafes and shops within this range. The site is located directly on SE Division Street providing easy walking access to the Ford Building, Pine State Biscuits and Genies Café to the west and New Seasons Market to the east. Open space amenities can be found in the Ladd's Rose Gardens Circle and Square as well as the nearby Abernethy Elementary School.

Transpiration amenities adjacent to the site include a number of options. The 4 bus line provides "frequent transit service" (defined by Trimet as, "bus lines [that] run every 15 minutes or better most of the day on weekdays) along Division Street. The 70 bus provides service north and south along SE 17<sup>th</sup> Ave. Both SE Division and SE 17<sup>th</sup> Ave are also designated as City Bikeways.

**Zoning:**

The Residential 5,000 (R5) single-dwelling zone is intended to preserve land for housing and to provide housing opportunities for individual households. The zone implements the comprehensive plan policies and designations for single-dwelling housing. Minimum lot size is 3,000 square feet, with minimum width and depth dimensions of 36 and 50 feet, respectively. Minimum densities are based on lot size and street configuration. Maximum densities are 1 lot per 5,000 square feet of site area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations

implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

**Land Use History:** City records indicate there are no prior land use reviews for this site.

**Agency Review:** A Notice of Proposal in your Neighborhood was mailed on **February 17, 2015**. No responses have been received.

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on **February 17, 2015**. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

## **ZONING CODE APPROVAL CRITERIA**

### **Chapter 33.846.060 - Historic Resource Review**

#### **Purpose of Historic Resource Review**

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

#### **Historic Resource Review Approval Criteria**

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

**Findings:** The site is located within the Ladd's Addition Historic District and the proposal is for a non-exempt treatment not requiring a new foundation. Therefore Historic Resource Review approval is required. The approval criteria are the *Ladd's Addition Conservation District Design Guidelines – Exterior Rehabilitation*.

*Staff has considered all guidelines and addressed only those applicable to this proposal.*

### **Ladd's Addition Conservation District Guidelines – Exterior Rehabilitation**

**1. Façades Oriented to a Street.** In rehabilitating existing buildings, the architectural integrity of street-oriented façades should be maintained. Additions and structural alterations should be limited to the rear and side yard façades and be minimally visible from the street.

**5. Front Façade Detailing.** Original entrances to buildings, front porches and projecting features, such as balconies, bays, and dormer windows should be retained or restored.

**8. Color.** Restoration of original colors, or colors appropriate to the style and era of the building, is encouraged.

**Findings for 1, 5 and 8:** The proposed alterations to the contributing resource including the replacement of the concrete porch and steps are on the front façade oriented to SE Division Street. The intention is to remove the front porch and steps due to age and deterioration and replace them with new concrete steps and porch to match. As this proposal intends to have the new porch and steps exactly match that which is being removed in size, mass, design and color, the architectural integrity of this structure's street facing façade will be maintained and strengthened through this proposal. *Therefore these criteria have been met.*

**3. Exterior Siding Material.** Restoration and maintenance of original siding materials is encouraged. Materials used on additions should match or be compatible with the predominant materials used on the original structure. Most single family residences and duplexes in Ladd's Addition feature stucco, horizontal wood siding, wood shingles, brick or a combination of these materials. Most commercial and multi-family structures feature stucco

or brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.

**Findings:** The removal of the existing deteriorating front concrete steps and porch is the extent of this proposal, exterior siding will not be impacted. Any inadvertent damage to existing siding will be repaired and replaced to match existing. *Therefore this criteria has been met.*

**6. Windows and Doors.** Original windows and doors, including trim, should be retained or restored. If repair is not feasible, new windows or windows on additions should match or be compatible with original windows in form, materials, type, pattern and placement of openings. On residences, the removal of original wood sash windows and replacement with aluminum sash is especially discouraged. Restoration of commercial storefront windows with large fixed glass panes below and smaller glass panes above is especially encouraged.

**Findings:** Although this proposal intends to remove and replace the existing front porch and steps no impact to the existing door or windows is intended. Full protection of the existing door and windows through demolition and construction will be ensured so that existing doors and windows are not negatively impacted. *Therefore this criteria has been met.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

## ADMINISTRATIVE DECISION

Approval of alterations to the 1923 contributing Colonial Revival Bungalow residence in the Ladd's Addition Historic District including the removal of the existing deteriorating concrete front (south facing) porch and steps to be replaced with new concrete steps and porch in the same size, mass, style, design and color, in the same location.

Approval, per the approved site plans, Exhibits C-1 through C-6, signed and dated March 05, 2015, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.6. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 15-111056 HR." **No field changes allowed.**

**Staff Planner: Arthur Graves**

**Decision rendered by:** \_\_\_\_\_ **on Thursday, March 05, 2015.**

By authority of the Director of the Bureau of Development Services

**Decision mailed Monday, March 09, 2015.**

**Procedural Information.** The application for this land use review was submitted on January 27, 2015, and was determined to be complete on **February 12, 2015**.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on January 27, 2015.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: Thursday, June 11, 2015.**

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**This decision, and any conditions associated with it, is final.** It may be appealed to the Oregon Land Use Board of Appeals (LUBA), within 21 days of the date the decision is mailed, as specified in the Oregon Revised Statute (ORS) 197.830. Among other things, ORS 197.830 requires that a petitioner at LUBA must have submitted written testimony during the comment period for this land use review. Contact LUBA at 775 Summer St NE Suite 330, Salem, OR 97301-1283 or phone 1-503-373-1265 for further information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Recording the final decision.**

If this Land Use Review is approved, the final decision must be recorded with the Multnomah County Recorder. A building or zoning permit will be issued only after the final decision is recorded. The final decision may be recorded on or after **March 09, 2015**. The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to:

Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.

- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034  
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code for the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

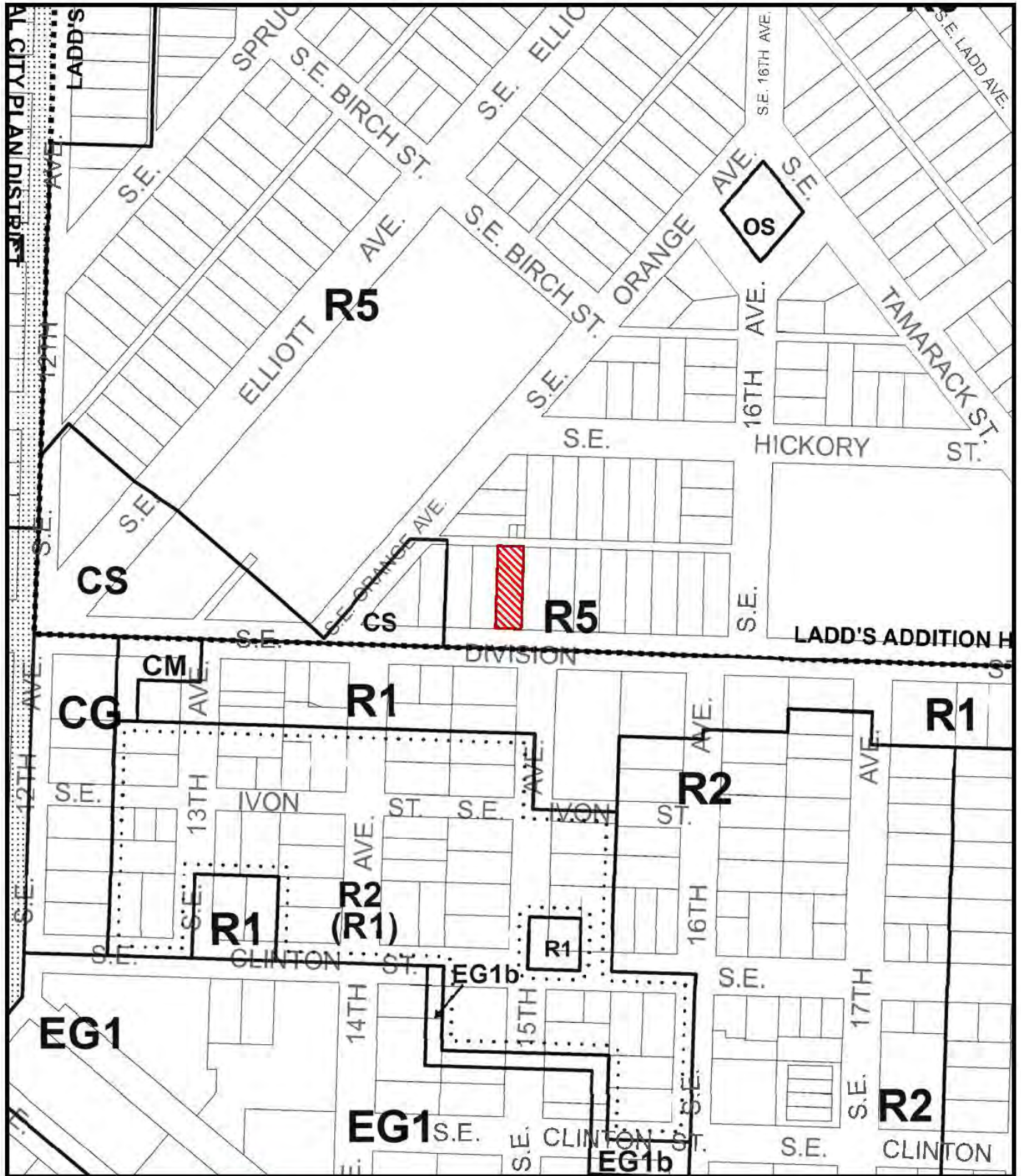
#### **EXHIBITS**

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Submittal
  1. Applicant's Statement
  2. Site Photos
- B. Zoning Map (attached)
- C. Plans/Drawings:
  1. Site Plan (attached)
  2. First Floor Plan: Footprint
  3. Elevation: South (attached)
  4. Elevation: West (attached)
  5. Elevation: East
  6. Details (attached)
- D. Notification information:
  1. Mailing list
  2. Mailed notice
- E. Agency Responses: No responses were received.
- F. Correspondence: No responses were received.
- G. Other:
  1. Original LU Application
  2. Site Visit Photos
  3. Oregon Historic Site Records

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**





# ZONING



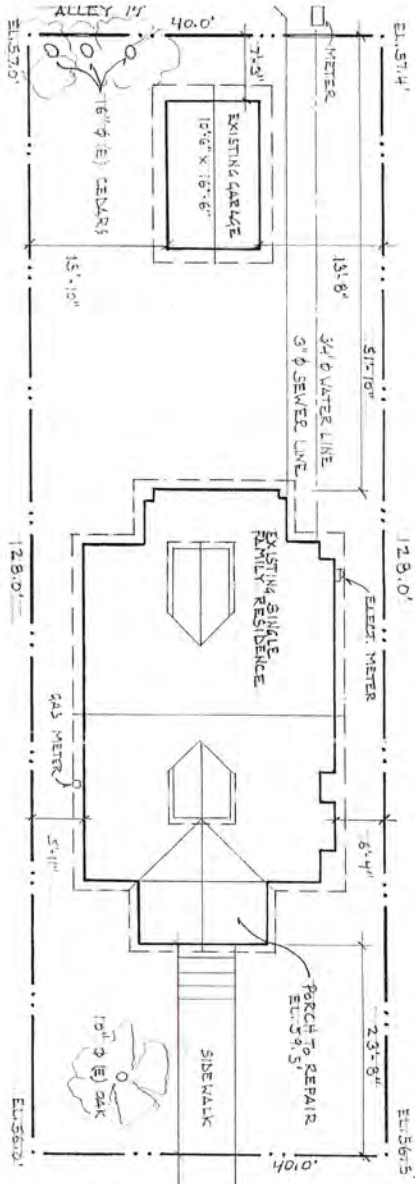
Site



This site lies within the:  
LADD'S ADDITION HISTORIC DISTRICT

File No. LU 15-111056 HR  
 1/4 Section 3232  
 Scale 1 inch = 200 feet  
 State\_Id 1S1E02DC 12600  
 Exhibit B (Jan 29, 2015)

12" Ø SEWER, COMBINED GRAVITY MAIN



LOT COVERAGE  
 LOT AREA 3,110.41'  
 EXIST. AREA (GARAGE) 1385.41'  
 EXIST. AREA (SINGLE FAMILY RESIDENCE) 2707.41'  
 EXIST. AREA (PORCH) 1655.41' (INCL. OVERHANG)  
 1655 ± / 3110 = 52.2% LOT COVERAGE



SITE PLAN  
 SCALE 1" = 10'

PROJECT LEGAL  
 TABS ADD BLOCK 3 LOT 7  
 MAP 5232 OLD

TONY HUNT, RESIDENCE  
 PORCH RENOVATION AT  
 1445 S.E. DIVISION ST  
 PORTLAND, OR 97202 1/5/15

DRAWN BY DAVID E. WAHLEY, MURP. dha  
 APPROPRIATE TECHNOLOGY  
 5256 NORTH RD.  
 SCAPPOOSE, OR 97156

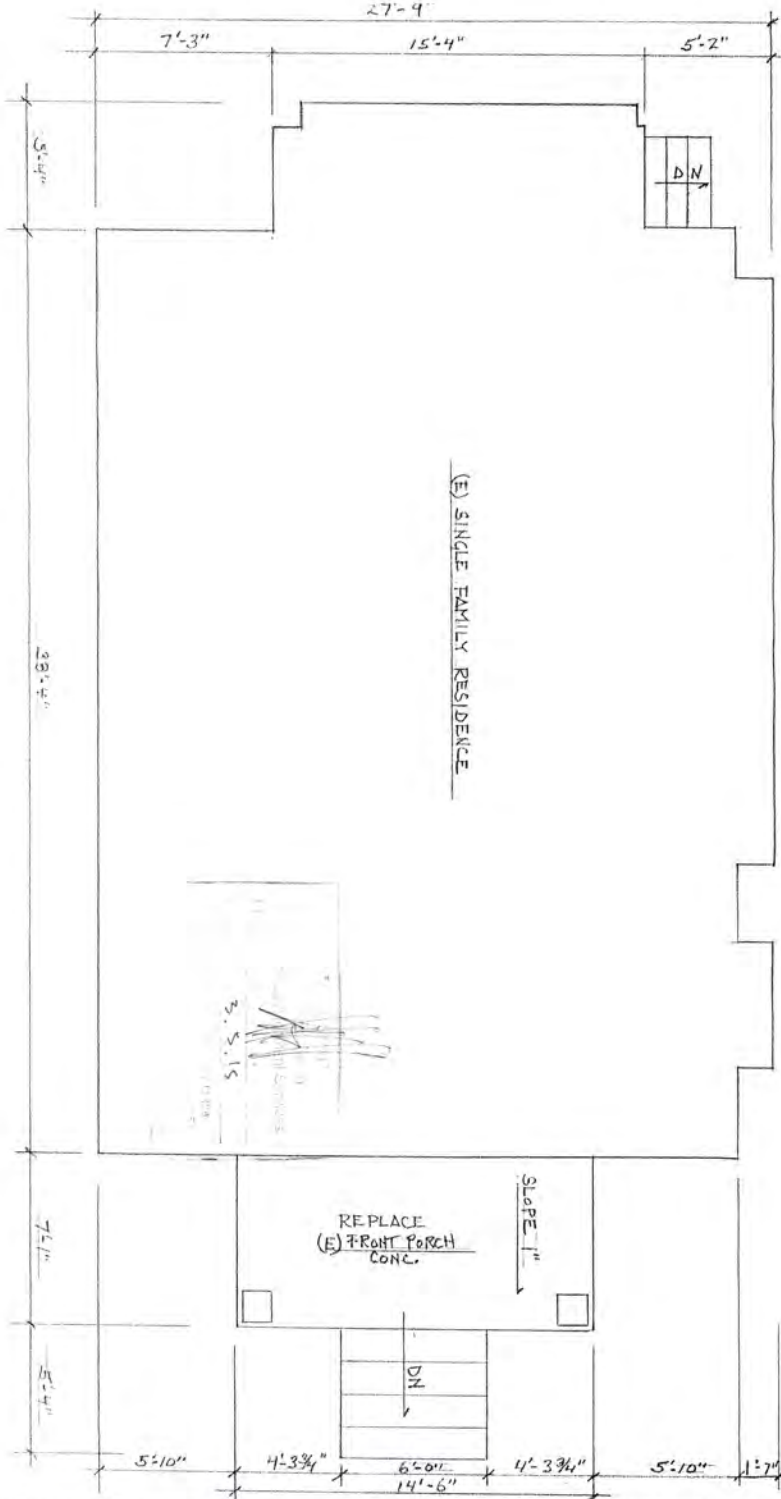
1



S.E. DIVISION ST. 70' WIDTH  
 W15 111054HR

SIDEWALK 6'-0"  
 BIOWALE 9'-4"  
 UTILITY POLE  
 6" CURB





NORTH

FIRST FLOOR PLAN (FOOTPRINT)  
SCALE 1/4" = 1'-0"

(E) SINGLE FAMILY RESIDENCE

REPLACE  
(E) FRONT PORCH  
CONC.

SLOPE 1"

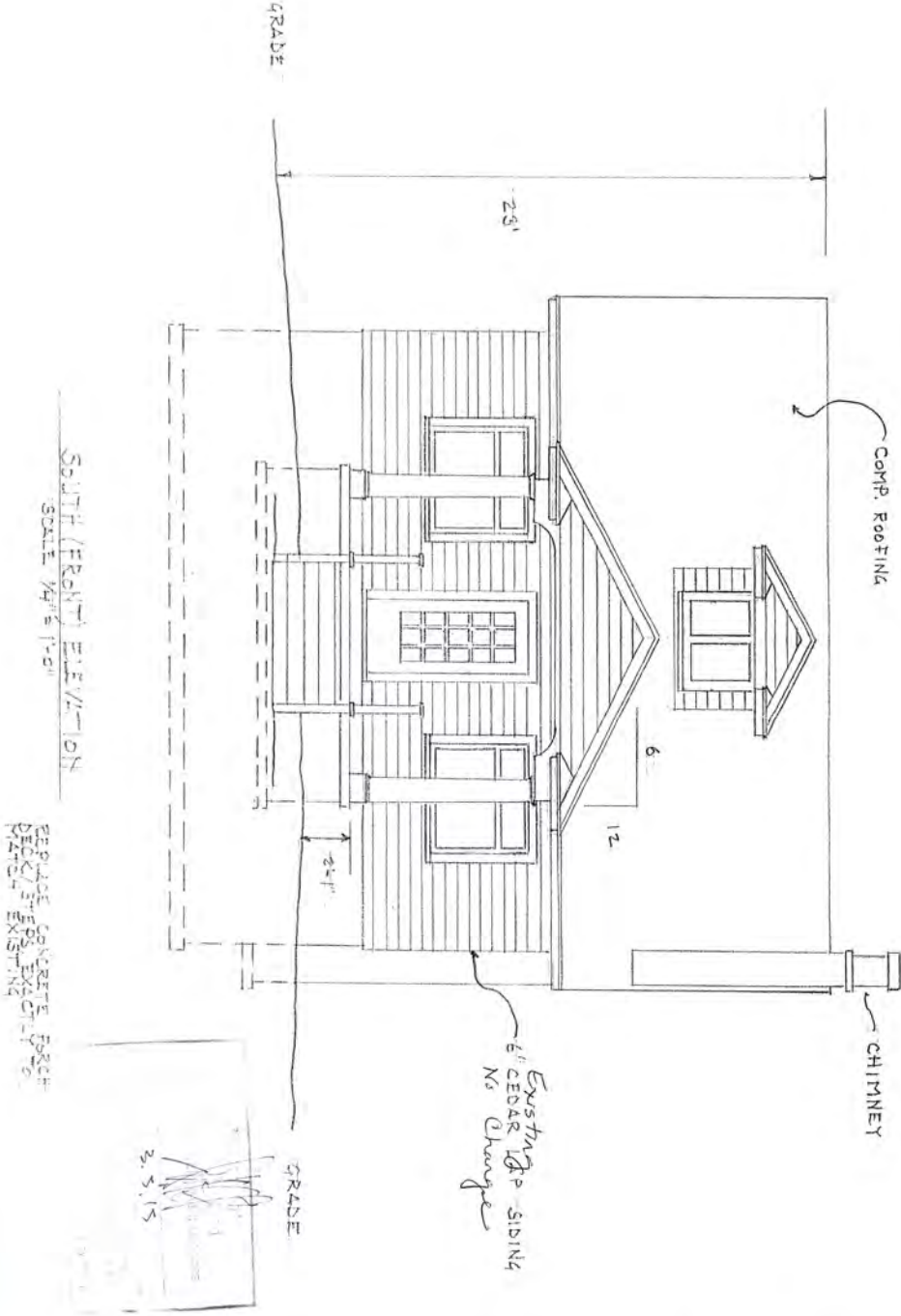
DN

2

TONY HUNT, RESIDENCE  
PORCH RENOVATION AT  
1445 S.E. DIVISION ST.  
PORTLAND, OR 97202

1/5/15

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APPROPRIATE TECHNOLOGY  
52596 NORTH RD.  
SCAPOOSE, OR 97056



SOUTH (FRONT) ELEVATION  
SCALE 1/4" = 1'-0"

REPLACE CONCRETE PORCH  
DECK WITH 3" EPD EXISTING 1"  
MATCH EXISTING

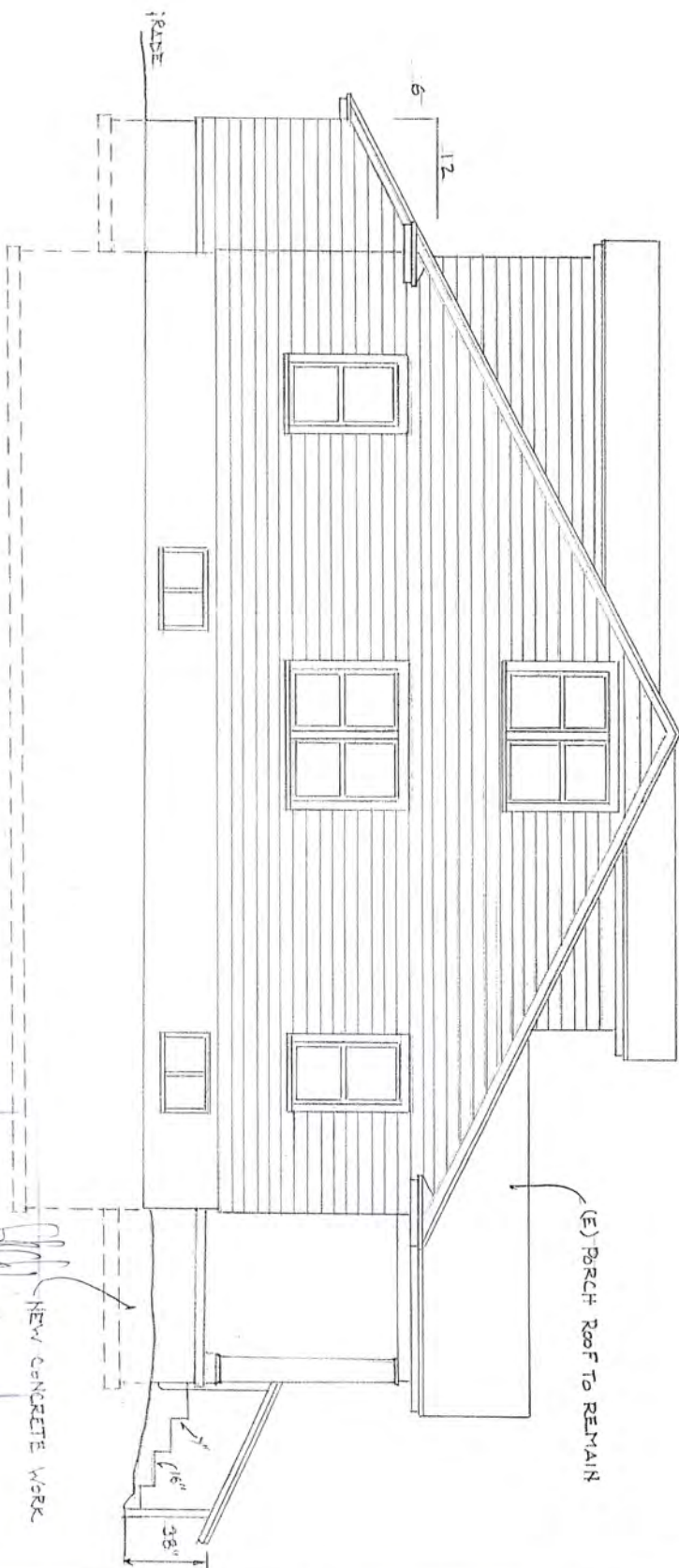
EXISTING 6" CEDAR  
SIDING  
NO CHANGE

3

TONY HUNT, RESIDENCE  
PORCH RENOVATION AT  
1445 S.E. DIVISION ST.  
PORTLAND, OR 97202 1/5/15

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APPROPRIATE TECHNOLOGY  
52596 NORTH RD.  
SCAPPOOSE, OR 97056

LW15-111056HR EXH C-3



WEST (LEFT) ELEVATION  
SCALE 1/4" = 1'-0"

(E) PORCH ROOF TO REMAIN

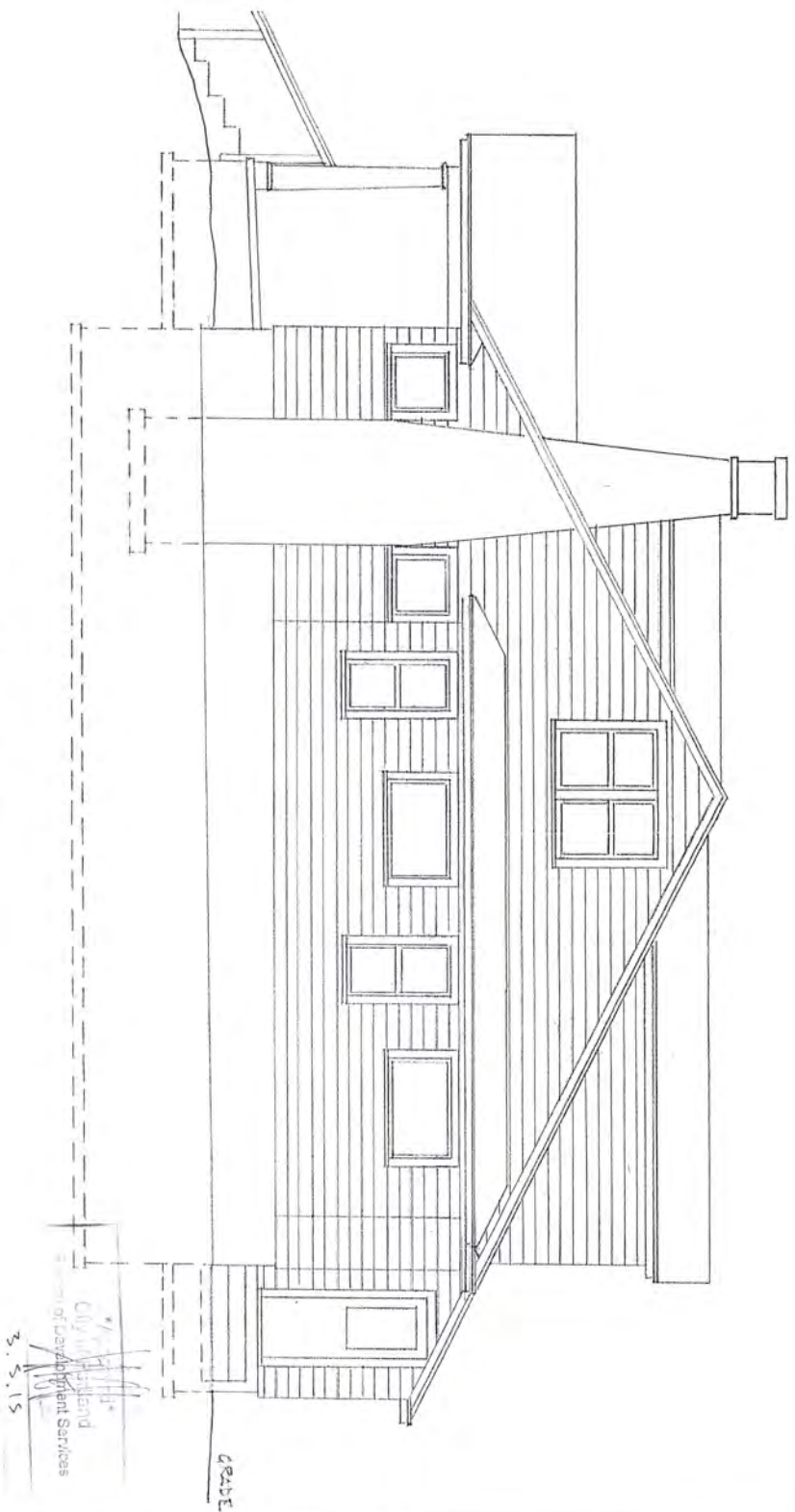
NEW CONCRETE WORK

3.5.15

TONY HUNT, RESIDENCE  
PORCH RENOVATION AT  
1445 S.E. DIVISION ST.  
PORTLAND, OR 97202 1/5/15

DRAWN BY DAVID F. WADLEY, MURP, dba  
APPROPRIATE TECHNOLOGY  
52596 NORTH RD.  
SCAPPOOSE, OR 97056

EAST (RIGHT) ELEVATION  
SCALE 1/4" = 1'-0"



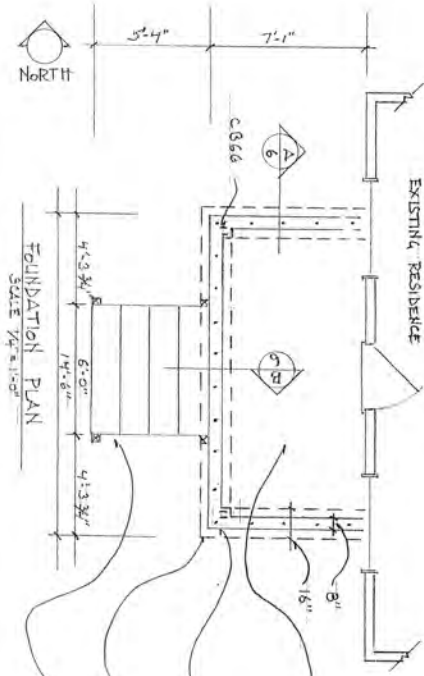
5

TONY HUNT, RESIDENCE  
PORCH RENOVATION AT  
1445 S.E. DIVISION ST.  
PORTLAND, OR 97202

1/5/15

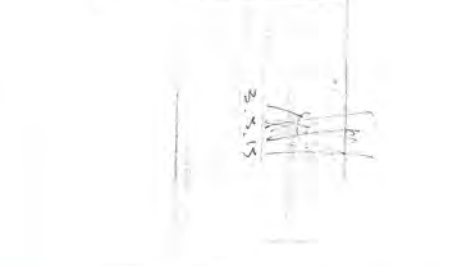
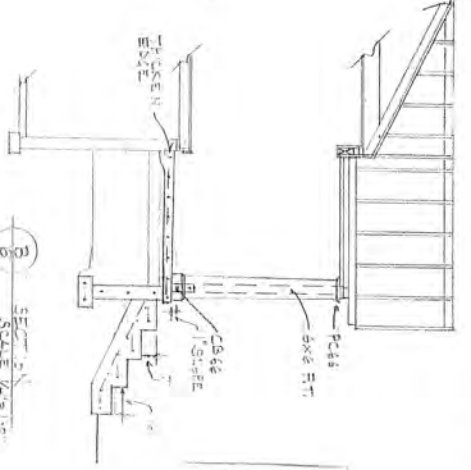
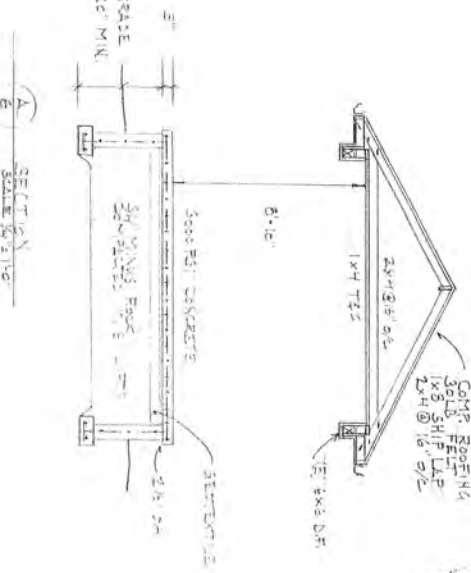
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APPROPRIATE TECHNOLOGY  
52596 NORTH RD.  
SCAPPOOSE, OR 97056

LV15-111056HR EXH C-5



PORCH SLAB: 3000 PSI CONCRETE  
 4" THICK, 1/4" REBAR @ 12" ON CENTER  
 2" X 2" @ 12" ON CENTER INTO NEW  
 STEM WALLS  
 PORCH STEM WALLS: 3000 PSI CONCRETE  
 8" THICK W/ 3/4" REBAR HORIZ. AND  
 VERT. @ 16" ON CENTER INTO  
 FOOTING  
 PORCH FOOTINGS: 3000 PSI CONCRETE  
 8" X 8" W/ 3/4" REBAR HORIZ. AND  
 VERT. @ 16" ON CENTER  
 PORCH STEPS: 3000 PSI CONCRETE  
 W/ 3/4" REBAR HORIZ. AND VERT. @  
 16" ON CENTER

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 APPROPRIATE TECHNOLOGY  
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 SCAPPOOSE, OR 97056



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 1/5/15