



Date: July 24, 2015
To: Interested Person
From: Hillary Adam, Land Use Services
 503-823-3581 / Hillary.Adam@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has **approved** a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision, including the written response to the approval criteria and to public comments received on this application, are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 15-157599 DZ – EXTERIOR ALTERATIONS
GENERAL INFORMATION

Applicant: Suzannah Stanley, Mackenzie
 1515 SE Water Ave, Suite 100 Portland, OR 97214

Owner: Al Solheim, Stagecraft Warehouse Investors, LLC
 1136 NW Hoyt St #200 Portland OR 97209-3097

Site Address: 1302 NW KEARNEY ST

Legal Description: BLOCK 137 N 40' OF LOT 4 LOT 5&8, COUCHS ADD
Tax Account No.: R180211890
State ID No.: 1N1E33AD 01400 **Quarter Section:** 2928
Neighborhood: Pearl District, contact Patricia Gardner at 503-243-2628.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Plan District: Central City - River District
Zoning: EXd – Central Employment with Design overlay
Case Type: DZ – Design Review
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant proposes exterior alterations to the existing building to include:

- Replacement of all existing windows with new fixed aluminum windows;
- Lowering of window sills at the ground level on the north and east façades;
- Replacement of the two southern entrances on the east façade with new overhead doors;
- Replacement of existing entrances on the north façade with new storefront entrances;
- Removal of an existing canopy and installation of a new canopy with strip lighting on the east façade to cover both center entrances;
- Optional canopies with strip lighting on the north façade over each entrance; and
- New cable-rail guardrail along the east façade dock to match the existing guardrail at the ramp.

Design Review is required because the proposal is for non-exempt exterior alterations in a Design district.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Central City Fundamental Design Guidelines
- River District Design Guidelines

ANALYSIS

Site and Vicinity: The subject property is a two-story brick warehouse building originally constructed in 1894 to occupy the two parcels at the northwest corner of the block. By 1909, an addition was built on the 1/8-block parcel to the south of the original building. The building is located just north of the Thirteenth Avenue Historic District and within the Northwest Triangle Pedestrian District. NW 13th Avenue is identified as a City Walkway. A dock has been located along the NW 13th Avenue frontage since at least 1909.

The River District comprises those areas north of Burnside Street and east of the I-405 freeway, west of the Willamette River. Formerly it was known as the Northwest Triangle, an area of light industry and warehouse uses served by several railroad spurs. In the late 1980s and early 1990s, the area became the site of several warehouse-to-loft conversions, with its rebirth formalized in the creation of Designated an Urban Renewal Area in 1998. Following demolition of the NW Lovejoy viaduct and aided by the construction of the Portland Streetcar, the area has seen significant growth and is now one of the densest and most active parts of the city, with many new buildings filled with condominiums, apartments, restaurants, galleries and other commercial spaces as well as three new parks.

Zoning: The Central Employment (EX) zone allows mixed uses and is intended for areas in the center of the City that have predominantly industrial-type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed, but are not intended to predominate or set development standards for other uses in the area.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Central City Plan District implements the Central City Plan and other plans applicable to the Central City area. These other plans include the Downtown Plan, the River District Plan, the University District Plan, and the Central City Transportation management Plan. The Central City plan district implements portions of these plans by adding code provisions which address special circumstances existing in the Central City area. The site is within the River Subdistrict of this plan district.

Land Use History: City records indicate the following prior land use reviews for this site:

- EA 15-12146 APPT – Early Assistance meeting for the current proposal.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **June 26, 2015**. The following Bureaus have responded with no issues or concerns:

- Life Safety Division of BDS

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on June 26, 2015. One written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

- Patricia Gardner, Pearl District Neighborhood Association, on July 17, 2015, wrote in support of the proposal. Please see Exhibit F-1 for additional details.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental Design Guidelines and River District Guidelines.

River District Design Guidelines and Central City Fundamental Design Guidelines

The River District is a remarkable place within the region. The area is rich with special and diverse qualities that are characteristic of Portland. Further, the River District accommodates a significant portion of the region's population growth. This area emphasizes the joy of the river, connections to it, and creates a strong sense of community. The goals frame the urban design direction for Central City and River District development.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

River District Design Goals

1. Extend the river into the community to develop a functional and symbolic relationship with the Willamette River.
2. Create a community of distinct neighborhoods that accommodates a significant part of the region's residential growth.
3. Enhance the District's character and livability by fostering attractive design and activities that give comfort, convenience, safety and pleasure to all its residents and visitors.
4. Strengthen connections within River District, and to adjacent areas.

Central City Plan Design Goals

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;

7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area’s character. Identify an area’s special features or qualities by integrating them into new development.

A5-1. Reinforce Special Areas. Enhance the qualities that make each area distinctive within the River District, using the following “Special Area Design Guidelines” (A5-1-1 – A5-1-5).

A5-1-1. Reinforce the Identity of the Pearl District Neighborhood. This guideline may be accomplished by:

- 1) Recognizing the urban warehouse character of the Pearl District when altering existing buildings and when designing new ones.
- 2) Recognizing the urban warehouse character of the Pearl District within the design of the site and open spaces.
- 3) Designing buildings which provide a unified, monolithic tripartite composition (base/middle/top), with distinct cornice lines to acknowledge the historic building fabric.
- 4) Adding buildings which diversify the architectural language and palette of materials.
- 5) Celebrating and encouraging the concentration of art and art galleries and studios with design features that contribute to the Pearl District’s “arts” ambiance. Consider features that provide connectivity and continuity such as awnings, street banners, special graphics, and streetscape color coordination, which link shops, galleries, entrances, display windows and buildings. Active ground level retail that opens onto and/or uses the sidewalk can contribute to the attraction of the “arts” concentration.

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal’s architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

Findings for A4, A5, A5-1-1, A6, C3, and C4: The proposal includes the retention of the existing 1894 building, with alterations to make it more viable and connected to the streetscape. The envelope of the building will be maintained with alterations focused at the fenestration. The second floor windows will be replaced within the same openings. The window openings on the first floor, however, are currently located approximately 6’-0” above sidewalk level at the east façade and approximately 8’-0” above sidewalk level at the north façade. These windows are proposed to be extended to approximately 1’ to 3’ above the sidewalk level to provide more visual permeability between the interior and exterior. The width of the openings will not be extended, however, and the existing brick sills will be replicated at the bottom of the new window openings; therefore the architectural integrity of the building will be somewhat maintained while increasing views between the interior and exterior.

The proposal also shows two new overhead doors to be installed within existing openings on the NW 13th Avenue frontage. While the proposed uses in the building have not yet been identified, and may change over time regardless, these new openings provide the opportunity for the space to open up onto the sidewalk, thus establishing a more active ground level. Therefore the proposal reinforces the identity of the Pearl district and the nearby warehouse structures. *These guidelines are met.*

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

B1-1. Provide Human Scale to Buildings along Walkways. Provide human scale and interest to buildings along sidewalks and walkways. This guideline may be accomplished by:

- 1) Providing street furniture outside of ground floor retail, such as tables and chairs, signage and lighting, as well as large windows and balconies to encourage social interaction.
- 2) Providing stoops, windows, and balconies within the ground floors of residential buildings.

C8. Differentiate the Sidewalk-Level of Buildings. Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

C9. Develop Flexible Sidewalk-Level Spaces. Develop flexible spaces at the sidewalk-level of buildings to accommodate a variety of active uses.

Findings for A8, B1-1, C8, and C9: As noted above, the proposal includes the expansion of existing window openings in order to provide better views between the interior and exterior of the building. In addition, new overhead doors are proposed along the NW 13th Avenue façade, allowing the opportunity for interior activities to spill out to the adjacent sidewalk. These aspects of the proposal will help to contribute to a more vibrant streetscape. The applicant has not yet identified potential tenants but has designed the interior to be flexible enough to accommodate a variety of different uses. The ground level will be differentiated from the upper floors by the vertical extension of the windows allowing direct views between the interior and exterior and by the introduction of permanent canopies at the ground level. *These guidelines are met.*

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

B6. Develop Weather Protection. Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

Findings for B2, B6, and C12: New canopies will be provided along the NW 13th Avenue façade. This decision also allows for the future installation of canopies at the entries along NW Kearney within three years from the date of this decision. The canopies will provide shelter from sun and rain and will feature integrated lighting to provide additional safety and security at night. While not subject to review, the proposal maintains the existing raised pedestrian dock and will extend the existing metal and cable railing across the full frontage, providing additional safety for pedestrians. *These guidelines are met.*

B7. Integrate Barrier-Free Design. Integrate access systems for all people with the building's overall design concept.

Findings: Existing accessible entries will be maintained. The new recessed entry at the northwest corner will be accessible at the sidewalk and an interior ramp will provide access to the raised floor plate. *This guideline is met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and

lighting systems, to achieve a coherent composition.

Findings for C2 and C5: Quality aluminum systems are proposed for the replacement windows. While a more delicate window system is typically preferred for a building this age, the windows will be a dark finish and will be recessed more than nine inches behind the exterior face of the building. This significant recess, as well as the darker finish on the system, will help maintain the quality of light and shadow at the window openings that help establish the character of the building. Likewise, the canopies will be of steel construction with LED strip lighting integrated into the design, hidden from view behind a steel tube. However, in order to ensure a more cohesive presentation and to preserve the existing brick to the greatest extent possible, the canopies should be mounted through mortar joints rather than the face of the brick. Likewise, all conduit for exterior lighting should remain completely hidden from view and be immediately routed to the interior of the building through mortar joints for these same purposes.

Currently, the building features several types of windows and doors, including some potentially original windows and doors. While it is usually desirable to maintain original material on older buildings, if possible, the subject property is not a designated historic resource. As described above, the proposed windows and doors, as well as the extended window openings, will increase visibility between the exterior and thereby create a more vibrant streetscape. The new window and door systems will also establish a more cohesive fenestration program throughout the building.

With the conditions of approval that the canopies be mounted through mortar joints, to the greatest extent possible, and that all lighting conduit remain completely hidden from view and be immediately routed to the interior of the building through mortar joints, these guidelines are met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposal retains the envelope of the existing non-historic 1894 building while making relatively minor alterations to make the building pedestrian-friendly. As noted in the findings above, the existing ground floor window openings will be vertically extended and overhead glazed doors will be installed in the wider openings in order to increase views and the relationship of activities between the interior and exterior. Certain aspects of the original design will be recreated to maintain the architectural character; these include replication of the brick sills and the significant recesses of the window openings. Canopies will also be introduced to add human scale and protect pedestrian from sun and rain. The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of exterior alterations to an existing building in the River SubDistrict of the Central City Plan District, to include:

- Replacement of all existing windows with new fixed aluminum windows;
- Lowering of window sills at the ground level on the north and east façades;
- Replacement of the two southern entrances on the east façade with new overhead doors;

- Replacement of existing entrances on the north façade with new storefront entrances;
- Removal of an existing canopy and installation of a new canopy with strip lighting on the east façade to cover both center entrances;
- Optional canopies with strip lighting on the north façade over each entrance; and
- New cable-rail guardrail along the east façade dock to match the existing guardrail at the ramp.

This approval is per the approved site plans, Exhibits C-1 through C-7, signed and dated July 20, 2015, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 15-157599 DZ." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. To the greatest extent possible, the canopies must be mounted through mortar joints rather than through the face of the brick.
- C. All conduit must remain completely hidden from view and be immediately routed to the interior of the building through mortar joints.

Staff Planner: Hillary Adam

Decision rendered by:  **on July 20, 2015**
By authority of the Director of the Bureau of Development Services

Decision mailed: July 24, 2015

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on April 24, 2015, and was determined to be complete on **June 5, 2015**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on April 24, 2015.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: October 3, 2015.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on August 7, 2015** at 1900 SW Fourth Ave. Appeals can be filed at the Development Services Center Monday through Wednesday and Fridays between 8:00 am to 3:00 pm and on Thursdays between 8:00 am to 12:00 pm. After 3:00 pm Monday through Wednesday and Fridays, and after 12:00 pm on Thursdays, appeals must be submitted at the reception desk on the 5th floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **August 10,**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the

County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

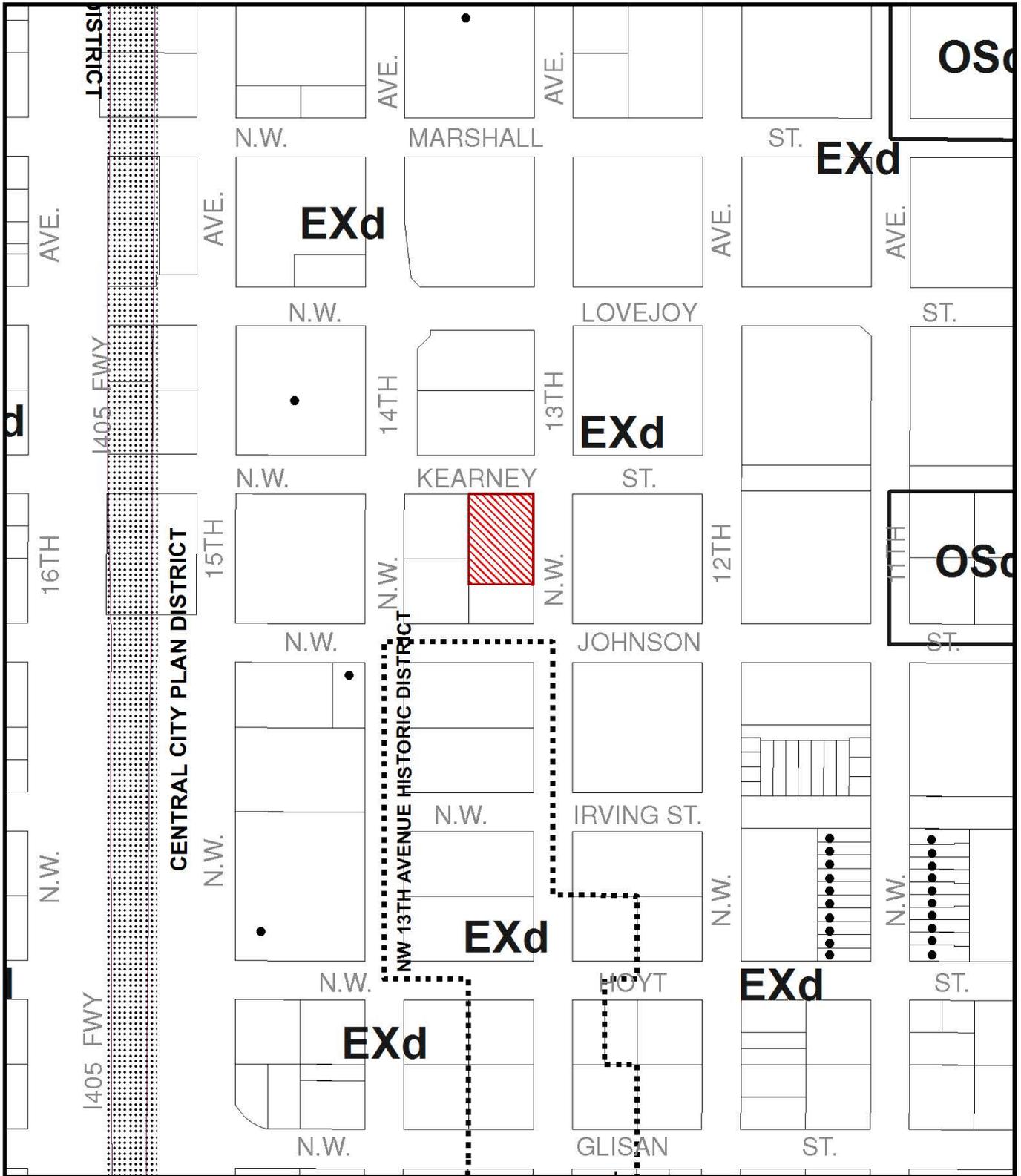
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Narrative
 - 2. Original Drawing Set (14 sheets)
 - 3. Completeness Response, dated June 5, 2015
 - 4. Suzannah Stanley email from Jeremy Finkle, PBOT, allowing the existing doors on the east façade to swing into the right-of-way over the loading dock.
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. East Demolition and New Elevations (attached)
 - 3. North and West Demolition and New Elevations (attached)
 - 4. Ground Floor Window Diagrams
 - 5. Window Elevations/Sections
 - 6. Door Sections
 - 7. Canopy Details
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Life Safety Division of BDS
- F. Correspondence: none
- G. Other:
 - 1. Original LU Application
 - 2. Incomplete Letter, dated May 14, 2015

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



Site

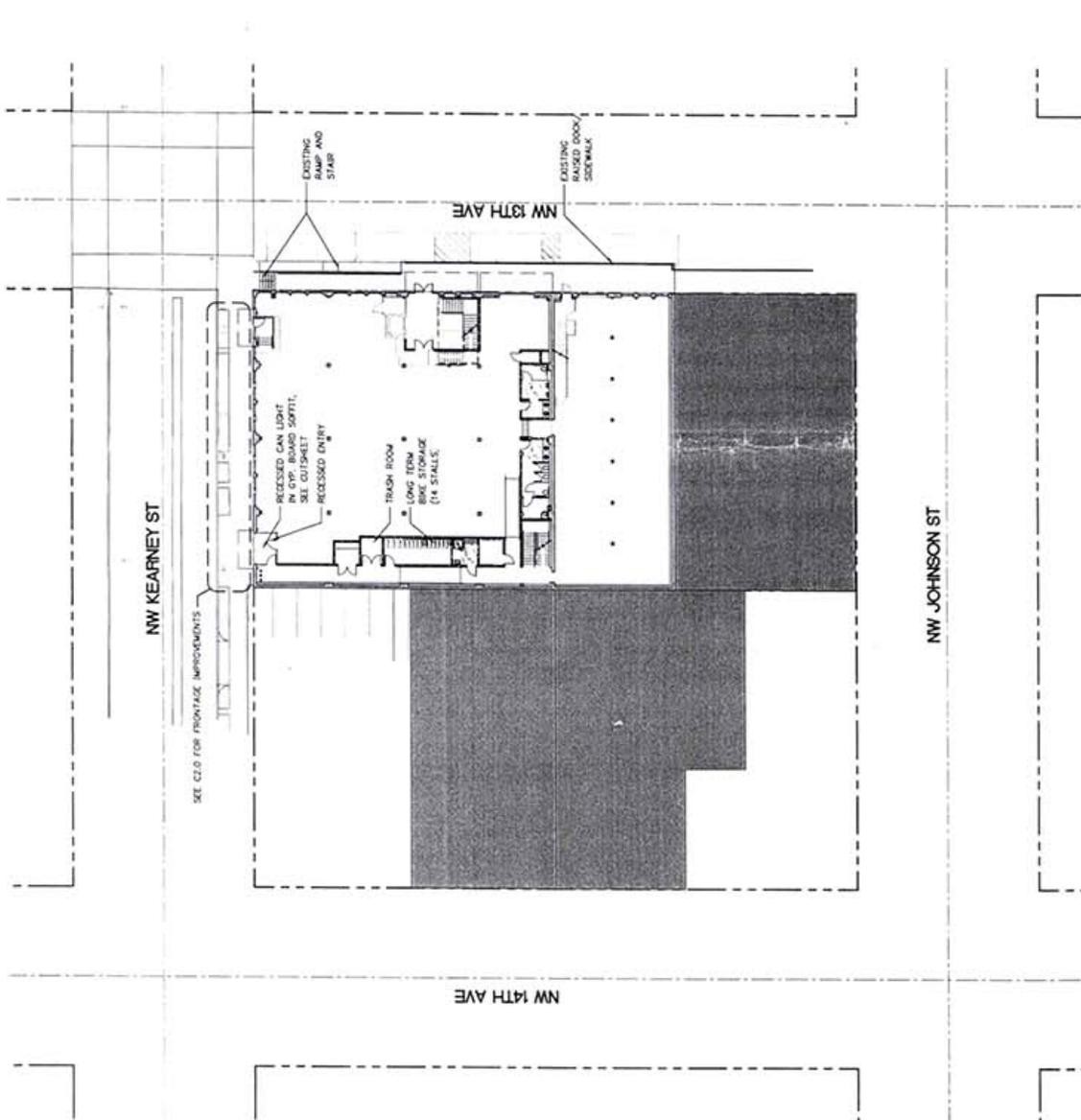


Historic Landmark



This site lies within the:
CENTRAL CITY PLAN DISTRICT
RIVER DISTRICT SUBDISTRICT

File No. LU 15-157599 DZ
 1/4 Section 2928
 Scale 1 inch = 200 feet
 State_Id 1N1E33AD 1400
 Exhibit B (Apr 28, 2015)



BIKE STORAGE ROOM



Approved
 City of Portland
 Bureau of Development Services
 Planner *Chelan*
 Date *7/20/15*

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

SITE PLAN/FIRST FLOOR PLAN



GENERAL NOTES

- A. VERIFY AND CORRECT ALL CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
- B. PAINT, PATCH AND REPAIR EXISTING CONDITIONS DAMAGED BY WORK.
- C. REMOVE AND REPAIR ALL EXISTING DOORS, WINDOWS, AND FRAMES.
- D. NEW GLAZING BASIS OF DESIGN: KAWNEER TRIFAB 451T, 100% VISIBLE GLASS, 1 1/2" GLASS, 1 1/2" SPANGLITE 500.
- E. NEW STAIRS: WOOD BASIS OF DESIGN: SPANGLITE 500.
- F. REMOVE BLOCKING, SUCUM WORK, ANVINGS, ACCESS CONTROLS, STORAGE, ETC PER ATTACHED PHOTOS.

KEYNOTES

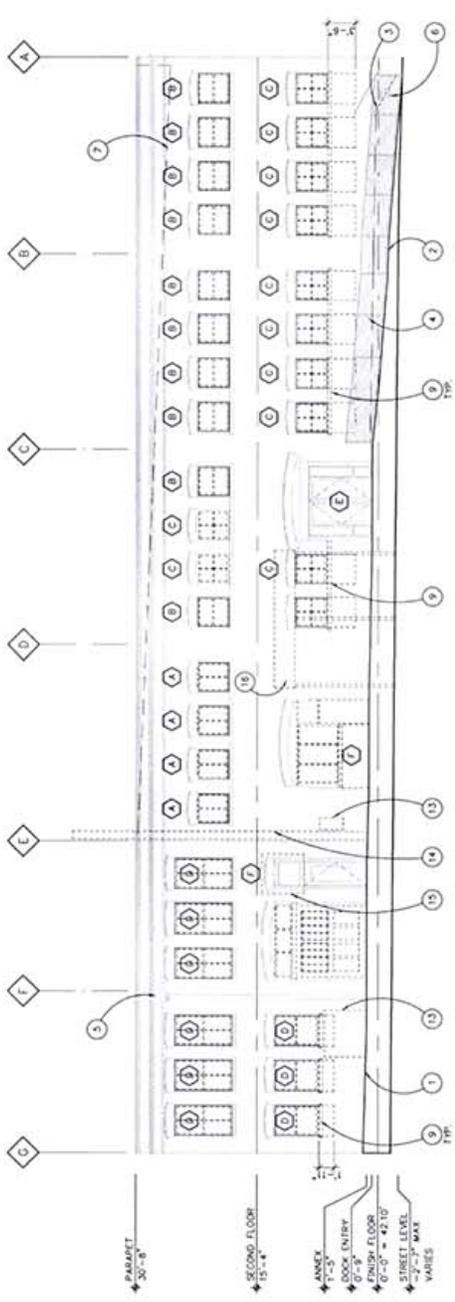
1. EXISTING CONCRETE LOADING DOCK TO REMAIN.
2. EXISTING CONCRETE STAIR TO REMAIN.
3. EXISTING CABLE-RAIL GUARDRAIL SYSTEM TO REMAIN.
4. EXISTING SCUPPER. REPLACE DOWNPOUT AT EXISTING LOCATION.
5. EXISTING VINYL TO REMAIN.
6. LINE OF ROOF BEYOND.
7. SAMOUT NEW OPENING. DO NOT OVERCUT.
8. EXISTING CONCRETE BRICK SILL.
9. NEW 4" HIGH CABLE-RAIL GUARDRAIL SYSTEM TO MATCH EXISTING.
10. NEW CANOPY. SEE DETAIL 1/AS 2.
11. EXISTING GUARDRAIL TO BE REPAIRED/RELOCATED.
12. EXISTING UTILITY POLE TO BE REMOVED.
13. EXISTING AWNING TO BE REMOVED.
14. EXISTING LEAN-TO/CANOPY TO BE REMOVED.

LEGEND

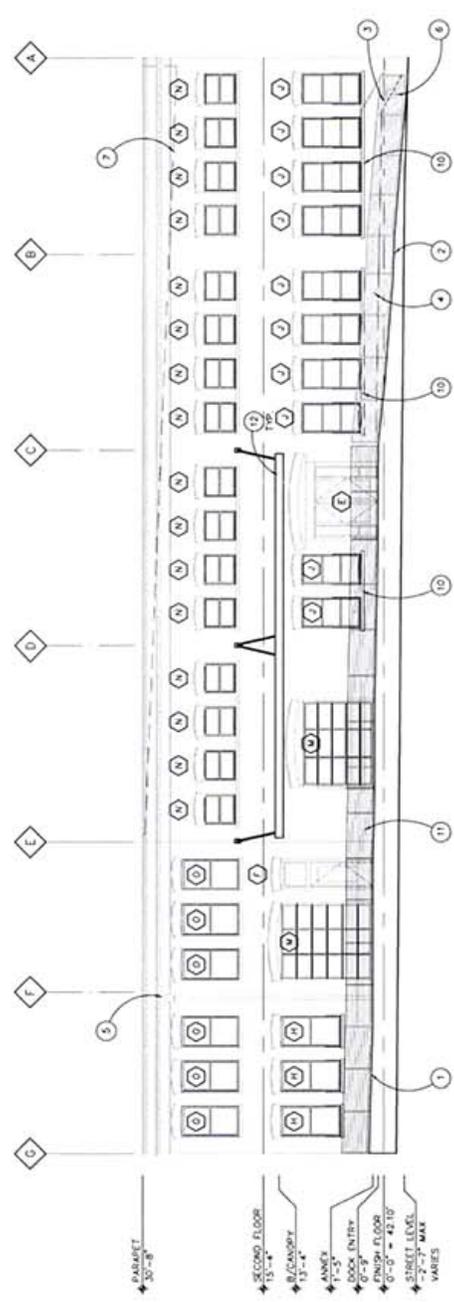
- WORK TO BE DEMOLISHED
- EXISTING WOOD WINDOW FRAME TO REMAIN AT ALL UN-ALTERED OPENINGS (WINDOW TYPE W)

Approved
City of Portland
Bureau of Development Services
Planner *Chaplan*
Date *7/20/15*

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



1 EAST ELEVATION - DEMOLITION
A3.1



2 EAST ELEVATION
A3.1

WINDOW SCHEDULE

NAME	STYLE	FINISH	NOTES
EXISTING	A	PAINTED, BROWN/BLACK	ALUMINUM
	B	AWNING, DOUBLE LITE	PAINTED, BROWN/BLACK
	C	FIXED WITH DIVIDED LITES	PAINTED, BROWN/BLACK
	D	SINGLE HANG	PAINTED, BROWN/BLACK
NEW	E	STOREFRONT ENTRY	WOOD
	F	FIXED, SINGLE LITE	PAINTED, BROWN/BLACK
	G	FIXED, DOUBLE LITE	PAINTED, BROWN/BLACK
	H	FIXED, TRIPLE LITE	PAINTED, BROWN/BLACK
	J	FIXED, QUADRUPLE LITE	PAINTED, BROWN/BLACK
	K	STOREFRONT ENTRY	ALUMINUM, BROWN/BLACK
	L	GLAZED KICK-UP DOOR	ALUMINUM, BROWN/BLACK
	M	FIXED, DOUBLE LITE	ALUMINUM, BROWN/BLACK
REPLACE	D	FIXED, DOUBLE LITE	BROWN/BLACK
			TO BE REPAIRED IF POSSIBLE

C-2

GENERAL NOTES

- A. VERIFY AND CONFIRM ALL CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
- B. PROTECT ALL WORKING CONDITIONS DAMAGED BY NEW WORK TO NEW CONDITION.
- C. REMOVE AND REPLACE ALL EXISTING DOORS, WINDOWS, AND
- D. NEW GRADING BASIS OF DESIGN: MARKER TRIFAB 4511, CENTER GRADED, WITH 1" FPC OPTIGRAY + SUNGATE 500
- E. STORMWATER DRAINAGE BASIS OF DESIGN: MARKER TRIFAB 4511, CENTER GRADED, WITH 1" FPC OPTIGRAY + SUNGATE 500
- F. NEW FLOORING TO BE INSTALLED ON EXISTING CONCRETE SLAB. SEE ATTACHED PHOTOS FOR ACCESS CONTROLS, SIGNAGE, ETC PER ATTACHED PHOTOS.

KEYNOTES

1. EXISTING SILLER. REPLACE COMPART AT EXISTING LOCATION.
2. EXISTING SILLER TO REMAIN. BE RELOCATED.
3. EXISTING ELECTRICAL SERVICE TO BE RELOCATED.
4. LINE OF ROOF BEYOND. DO NOT OVERCUT.
5. REMOVE EXISTING BRICK SILL.
6. NEW BRICK SILL TO MATCH EXISTING.
7. EXISTING BRICK SILL TO BE RELOCATED TO NEW LINE.
8. EXISTING BRICK SILL TO BE REMOVED.
9. EXISTING BRICK SILL TO BE RELOCATED TO NEW LINE.
10. EXISTING BRICK SILL TO BE REMOVED.
11. EXISTING BRICK SILL TO BE RELOCATED TO NEW LINE.
12. RELOCATED GAS METER TO ROOM.
13. RELOCATED ENTRY WITH DYP. BOARD 507111 AND RECESSED CAN LIGHT. SEE DETAIL SHEET.

LEGEND

- WORK TO BE DEMOLISHED
- EXISTING WOOD WINDOW TRIM TO REMAIN AT ALL UN-ALTERED OPENINGS (WINDOW TYPE W)

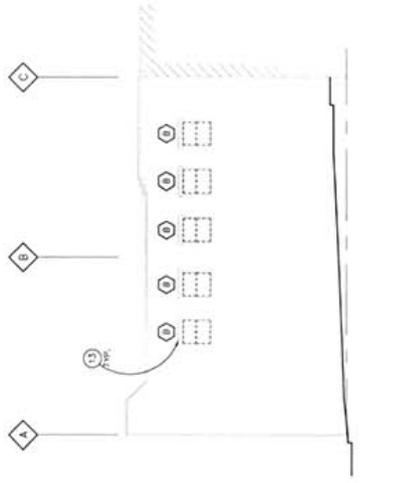
PROJECT
STAGECRAFT
BUILDING
1302 NW KEARNEY
PORTLAND, OR

DATE: 06/29/15
DRAWN BY: ELP
CHECKED BY: PCK
SHEET: A3.2

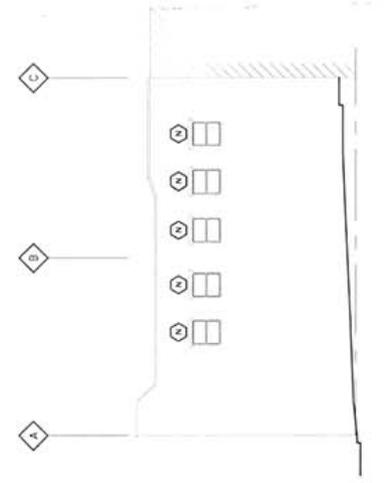
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A3.2

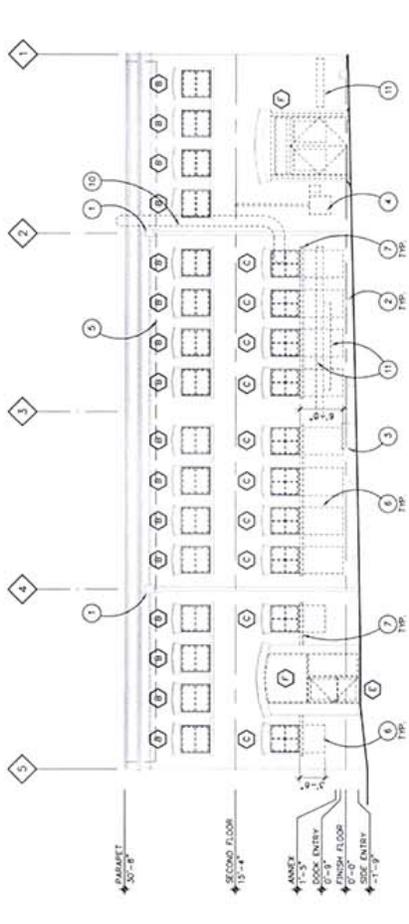
UPDATED 06-29-15
PRELIMINARY ONLY - 6/16/15
JOB NO. 2140430.00



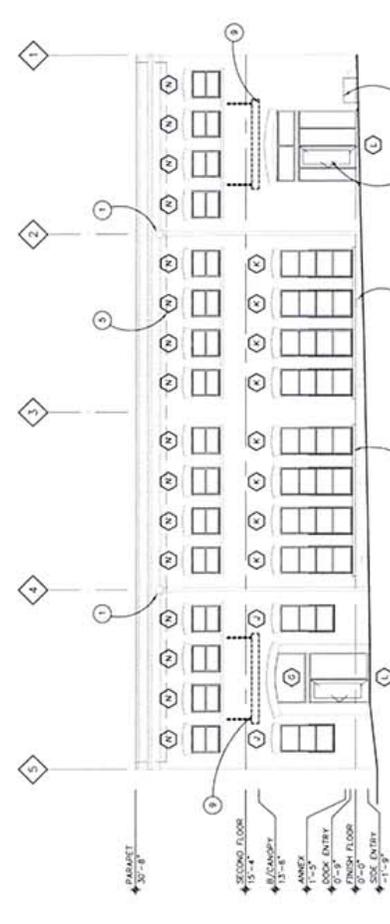
2 WEST ELEVATION - DEMOLITION
A3.2



4 WEST ELEVATION
A3.2



1 NORTH ELEVATION - DEMOLITION
A3.2



3 NORTH ELEVATION
A3.2

WINDOW SCHEDULE

NAME	STYLE	FINISH	NOTES
A	AWNING DOUBLE LITE	PAINTED BROWN/BLACK	ALUMINUM
B	FIXED WITH DOUBLE LITES	PAINTED BROWN/BLACK	ALUMINUM
C	SINGLE FRAME	PAINTED BROWN/BLACK	WOOD
D	STOREFRONT ENTRY	PAINTED BROWN/BLACK	STEEL
E	FIXED SINGLE LITE	PAINTED BROWN/BLACK	STEEL
F	FIXED DOUBLE LITE	BROWN/BLACK	STEEL
G	FIXED TRIPLE LITE	BROWN/BLACK	STEEL
H	FIXED QUADRUPE LITE	BROWN/BLACK	STEEL
I	STOREFRONT ENTRY	ALUMINUM BROWN/BLACK	STEEL
J	GLAZED ROLL-UP DOOR	ALUMINUM BROWN/BLACK	STEEL
K	FIXED DOUBLE LITE	BROWN/BLACK	STEEL
L	FIXED DOUBLE LITE	BROWN/BLACK	STEEL

C-3