



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

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Date: December 22, 2016
To: Interested Person
From: Hannah Bryant, Land Use Services
503-823-5353 / Hannah.Bryant@portlandoregon.gov

NOTICE OF A TYPE Ix DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 16-249929 HR NEW NEON SIGN ON ORIENT LODGE BUILDING

GENERAL INFORMATION

Applicant: Taylor Ruby | Vancouver Sign Company Inc.
2600 NE Andresen Road, Suite 50
Vancouver, WA 98661

Salome LLC
1502 SE Bybee Boulevard
Portland, OR 97202-5754

Site Address: **706-710 SE 6TH AVENUE**

Legal Description: BLOCK 139 LOT 1, EAST PORTLAND
Tax Account No.: R226508670, R226508670
State ID No.: 1S1E02BB 04700, 1S1E02BB 04700
Quarter Section: 3131
Neighborhood: Buckman, contact Rick Johnson at rickjohnson77@comcast.net
Business District: Central Eastside Industrial Council, contact Debbie Kitchin at ceic@ceic.cc.

District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.
Plan District: Central City - Central Eastside Subdistrict
Other Designations: East Portland/Grand Avenue Historic District
Zoning: **EXd**, Central Employment with design overlay
Case Type: **HR**, Historic Resource Review
Procedure: **Type Ix**, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal:

The applicant seeks **Historic Resource Review** approval for exterior alterations to the building historically known as the Orient Lodge I.O.O.F. #17, a primary contributing building to the East Portland/Grand Avenue Historic District that was constructed in 1907 in the Arts and Crafts style. The building was later known as the Portland Police Athletic Association Building [PPAA].

The proposed alteration is the addition of a 6-foot-wide by 4 foot, 4-inch-tall neon sign, mounted diagonally from the concrete column at the corner of SE 6th Avenue and SE Alder Street. The bottom of the sign will be approximately 10 feet above the sidewalk, aligned with the top of the transom window bands on both building facades.

Non-exempt exterior alterations to structures within a historic district require Historic Resource review.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- 33.846 Historic Resource Review
- Adopted Design Guidelines for the Grand Avenue/East Portland Historic Zone
- Central City Fundamental Design Guidelines

ANALYSIS

Site and Vicinity: The 5,000 SF site is located on the NW corner of the intersection of SE Alder Street and SE 6th Avenue. The Arts and Crafts style structure was developed in 1907 as the Odd Fellows Orient Lodge No. 17. It was sold to the Portland Police Athletic Association in 1972. The building is the only known expression of this style articulated in this manner in Oregon. It is a two-story reinforced concrete structure, faced with brick, notable for its second floor elliptical arched bays. It has been continually occupied, currently with a ballroom upstairs and a beer hall on the ground level. There have been a number of alterations over the years, including replacing original ground level storefront systems, adding awning frames, attaching lights and conduit to the exterior walls, adding and removing projecting blade signs, and painting. It is classified as a primary contributing resource in the East Portland/Grand Avenue Historic District.

The East Portland/Grand Avenue District is listed in the National Register of Historic Places under two of the eligibility criteria: “A” for its association with the development of the City of East Portland (which was annexed into Portland in 1893) and “C” for its examples of commercial architectural styles from the period of significance -- 1883 to 1939. The surrounding area has a mix of low and mid-rise commercial buildings along with a number of surface parking lots. Both SE Alder Street and SE 6th Avenue are designated as Local Service Walkways and Local Service Bikeways. The area is well served by transit with frequent service bus lines as well as the north-south Portland Streetcar on nearby SE Grand Avenue and MLK Jr Blvd. The site is not within a Pedestrian District.

Zoning: The Central Employment (EX) zone allows mixed uses and is intended for areas in the center of the City that have predominantly industrial-type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed, but are not intended to predominate or set development standards for other uses in the area.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review.

In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Central City Plan District implements the Central City Plan and other plans applicable to the Central City area. These other plans include the Downtown Plan, the River District Plan, the University District Plan, and the Central City Transportation Management Plan. The Central City plan district implements portions of these plans by adding code provisions which address special circumstances existing in the Central City area. The site is within the Central Eastside Subdistrict of this plan district.

East Portland/Grand Avenue Historic District is listed in the National Register of Historic Places under two of the eligibility criteria: "A" for its association with the development of the City of East Portland (which was annexed into Portland in 1893) and "C" for its examples of commercial architectural styles from the period 1883 to 1939.

Land Use History: City records indicate that prior land use reviews include the following:

- 93-010248 HR: Approval to install two 60 SF signs. (Signs have been removed.)
- 14-210781 HR: Approval for exterior alterations to the building including adding bi-fold window walls; creating two ADA compliant entries; elevator overrun; installing rooftop mechanical equipment.

Agency Review: A Notice of Proposal in your Neighborhood was mailed on **November 7, 2016**. The following Bureaus have responded with no issues or concerns about the proposal:

- Site Development
- Life Safety
- Fire Bureau
- Environmental Services
- Bureau of Transportation
- Water Bureau
- Urban Forestry

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on **November 7, 2016**. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846.060 - Historic Resource Review

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is a designated a contributing property within the East Portland Grand Avenue Historic District and the proposal is for a non-exempt treatment. Therefore, Historic Resource Review approval is required. The approval criteria are the *Design Guidelines - East Portland Grand Avenue Historic Design Zone* and those listed in *33.846.060 G – Other Approval Criteria*. Because the site is also within the *Central City Plan District* the *Central City Fundamental Design Guidelines* are also approval criteria.

Staff has considered all guidelines and addressed only those applicable to this proposal. The Design Guidelines - East Portland Grand Avenue Historic Design Zone and the Central City

Fundamental Design Guidelines are addressed concurrently.

I. CENTRAL CITY FUNDAMENTAL DESIGN GUIDELINES

A1. Integrate the River. Orient architectural and landscape elements including, but not limited to lobbies, entries, balconies, terraces, and outdoor areas to the Willamette River and Greenway. Develop access ways for pedestrians that provide connections to the Willamette River and Greenway.

A3. Respect the Portland Block Structures. Maintain and extend the traditional 200-foot block pattern to preserve the Central City's ratio of open space to built space. Where superblocks exist, locate public and/or private rights-of-way in a manner that reflects the 200-foot block pattern, and include landscaping and seating to enhance the pedestrian environment.

A7. Establish and Maintain a Sense of Urban Enclosure. Define public rights-of-way by creating and maintaining a sense of urban enclosure.

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

Findings for A1, A3, A7, A8 and B1: The diagonal direction of the proposed sign allows it to be highly visible to pedestrians walking toward the river, and highlights the corner entry of the ground floor business. Its location demarcates the corner and indicates the presence of a destination for pedestrians at the intersection of two quiet, local service streets. The proposal strives to provide a visually attractive, celebratory lighting element to enliven a dark streetscape. In doing so, the highly visible, recognizable sign may become a well-known landmark, strengthening a sense of district identity and enhancing the pedestrian experience in this area. *Therefore, these guidelines are met.*

A2. Emphasize Portland Themes. When provided, integrate Portland-related themes with the development's overall design concept.

Findings: The proposed sign shape is the outline of the state of Oregon. While its text content may change in the future, per current regulations, the outline may not change without subsequent design review. The current business and its branding are celebrating Portland's internationally-recognized concentration of breweries, distilleries and cider makers. *Therefore, this guideline is met.*

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish, and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings for A4, A5 and A6: The proposed neon sign is consistent with a local sign vernacular that includes large neon and illuminated signs at Trifecta (one building south, in the Tourist Garage Building); the Schleiffer furniture sign (two blocks northwest) and Kwik Gas | Jay's Garage (one block SE). These well-recognized signs

help to identify the area and its historic commercial tenants. Adding new neon signs is an appropriate connection to an iconic district element. The continued use of the Odd Fellows Orient Lodge #17 as a space for commercial tenants and rentable event space is an excellent example of matching a compatible new use to the character of an existing building. *Therefore, these guidelines are met.*

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

Findings: The design, location and detailing of this sign has considered its impact on the pedestrian environment. The colorful neon sign will add much-needed lighting, and serve as a visual beacon to pedestrians, on otherwise dark sidewalks. The height was determined to be most aligned with building elements that are clearly legible from the pedestrian zone. The electrical details, with hidden conduit, also provide for a clean, well-detailed project as viewed from the sidewalk below. *Therefore, this guideline is met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for C2, C3, C4 and C5: The proposal employs high-quality materials. The 1/8" aluminum sign face is fastened to a steel frame and steel plate, mounted to the concrete column. The proposal will contribute to the surrounding context, which has numerous examples of large historic, neon-lit commercial signs. The proposal responds to its architectural context by locating the sign above all ground-level glazing, so it will not obscure any of the pedestrian-level windows, but also aligning the strong horizontal bottom datum of the sign with the strong horizontal datum at the top of the transom windows, as required by Condition B. *Therefore, these guidelines are met.*

C7. Design Corners that Build Active Intersections. Use design elements including, but not limited to, varying building heights, changes in façade plane, large windows, awnings, canopies, marquees, signs and pedestrian entrances to highlight building corners. Locate flexible sidewalk-level retail opportunities at building corners. Locate stairs, elevators, and other upper floor building access points toward the middle of the block.

C10. Integrate Encroachments. Size and place encroachments in the public right-of-way to visually and physically enhance the pedestrian environment. Locate permitted skybridges toward the middle of the block, and where they will be physically unobtrusive. Design skybridges to be visually level and transparent.

Findings for C7 and C10: The proposed location, design and scale of this sign all serve to activate an intersection that is currently under-lit and lacking any notable signage at night. The diagonal angle of the sign engages both the adjacent streets, and calls out the unique diagonal orientation of the main entrance below. The proposal visually and physically enhances the pedestrian environment without creating any real or perceived obstacles. *Therefore, this guideline is met.*

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural

components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

C13. Integrate Signs. Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings for C12 and C13: The proposed design utilizes high quality 12mm neon enclosed in a 10" deep sign cabinet. The sign will draw attention to the beautifully restored building, and its unique architectural style, without obscuring any of the building's architectural elements. The proposed location will highlight the main entry, and demarcate the intersection of two streets, but will not impede on long-distance views down the streets or distant glimpses of Portland's skyline. *Therefore, these guidelines are met.*

II: EAST PORTLAND/GRAND AVENUE DESIGN ZONE GUIDELINES

A61. Use Special East Portland/Grand Avenue Historic Design Zone Guidelines

A61a. Scale and Proportion

1. The added height or width of an alteration should be compatible with the original scale and proportion first of the affected building and second of adjacent buildings.
2. The scale and proportion of altered or added building elements, such as the size and relationship of new windows, doors, entrances, columns and other building features should be visually compatible with the original architectural character of the building.
3. The visual integrity of the original building should be maintained when altering or adding building elements including the vertical lines of columns, piers, the horizontal definition of spandrels and cornices, and other primary structural and decorative elements.

Findings for A6 & A6-1a: The proposed alterations are compatible in scale and proportion with the subject building. The bottom horizontal datum of the sign will align with the top of the band of transom windows, as required by Condition B. This relationship helps the added element integrate with the existing architecture. *Therefore, this guideline is met.*

A61-d. Exterior Mechanical Systems and Auxiliary Service Elements. Avoid unnecessary clutter and unsightliness of mechanical systems, auxiliary structures, and service elements such as trash containers, storage sheds, satellite dishes, etc.

Findings for A6-1d: The junction box for the sign will be located on the interior of the building, connected by conduit that will be housed in the sign's attachment arm and discreetly disappear through the building wall to connect with interior electrical. To maintain an attractive, clean appearance, there will be no exposed conduit visible from the outside. *Therefore, this guideline is met.*

A6-1e. Color

1. When painting a building or making color changes, colors chosen should be visually compatible with the architectural character of the District represented by both the primary (1870-1914) and secondary (1915-1935) historic periods of development. A broad range of color schemes may be acceptable.
2. The colors should be compatible with the original architectural style of the building. If the building has no apparent style, use the surrounding buildings and any character-defining features on the building itself as a guide.

A6-11. Materials, Colors, Textures

1. Exterior materials, colors and textures used in new buildings should be visually compatible with adjacent buildings and the District's architectural character.

2. The use of traditional materials such as brick and concrete are encouraged. The use of non-traditional metal, wood and plastic as major exterior surfaces is discouraged.

A6-1f. Signs

1. Exterior building signs should be visually compatible in size, scale, proportion, color and materials with the original architectural character of the building.
2. A variety of signs within the District are encouraged, incorporating excellence in graphic design and lettering, careful color coordination with the building, mounting, and readability.
3. Prominent signs that are creative yet compatible with the building and the District are encouraged, particularly on simple concrete buildings.
4. Sign lighting that is creative and compatible with the building and the District is acceptable. Plastic signs and backlit plastic signs are generally not acceptable.

A6-1n. Signs, Lighting, Etc.

1. Exterior building signs and lighting and other site embellishments, such as flagpoles, fences, walls and landscaping features, should be visually compatible in size, scale, proportion, color and materials with the character of the building and District.
2. A variety of signs within the District are encouraged. Signs should incorporate excellence in design, color coordination with the building, and mounting which does not distract from the building's design. Large signs that are creative yet compatible with the building and the District are encouraged, particularly on simple concrete buildings.
3. Plastic signs and back lit plastic signs are generally not acceptable.

Findings for A6-1e, A6-1f, A6-1n and A6-1l: The proposed prominent column-mounted neon sign creates an iconic, recognizable image similar to other historic, metal signs in the immediate neighborhood context. The metal sign cabinet is mounted to the steel and concrete column with simple brackets and fasteners, painted to match the black finish of the sign cabinet. The sign does not negatively impact the pedestrian environment, as its horizontal lower datum is aligned with the bottom of adjacent transom window bands above the storefront, as required by Condition B. It is located above standard right-of-way clearance heights and within acceptable projection depths. The height of the 4' tall sign will not impact the Portland skyline. The well-designed sign provides visual interest at the pedestrian scale without negative impacts to the larger city. *Therefore, these guidelines are met.*

A6-1i. Siting and Building Orientation.

1. In addition to meeting zoning requirements, siting and building orientation should be visually compatible with adjacent buildings and the District's architectural character.
2. Buildings and additions should be built up to the sidewalk along major arterials and side streets. Buildings should front Grand Avenue or Martin Luther King Jr. Boulevard. Setbacks at ground level from major arterials and cross streets are discouraged as they break the traditional development pattern of the District and are counter to establishing a concentrated urban environment.
3. Development along Martin Luther King Jr. Boulevard should be in harmony with and compatible in design and orientation with Grand Avenue.
4. Building entrances should be located in a manner that re-establishes the traditional pattern in the District. Central entries were the most common along Grand Avenue. Corner entries were also used along the major arterials and side streets. Where buildings were oriented on the side streets, central, corner and off-center entries were common.
 - a. On Grand, main central entries are encouraged, but some flexibility should be allowed for main corner entries where they are found to be compatible with the District.
 - b. On Martin Luther King Jr. Boulevard, corner and central entries on the boulevard are encouraged. For buildings fronting the boulevard, main entries on cross streets or on the interior of the block are discouraged.

Findings for A6-1i: The proposed sign is centered above the diagonal corner entry, and projects at a diagonal toward the intersection of SE 6th and SE Alder street. Its highly visible location honors the pedestrian nature of both streets and celebrates the recessed corner entry at the ground level. *Therefore, this guideline is met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposal is consistent with the sign typology and character of the surrounding East Portland/Grand Avenue Historic District. All of the proposed materials are appropriate with respect to both durability and design compatibility. The new sign element has been carefully designed to highlight the building's entrance without obscuring or damaging the original architectural elements. The proposal meets the applicable Historic Design Review criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of 72"x 58" neon sign mounted diagonally from concrete column over front entry per the approved site plans, Exhibits C-1 through C-2, signed and dated December 20, 2016, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related condition (B) must be noted on each of the four required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE- Case File LU 16-249929 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. Proposed sign to be mounted so bottom of sign aligns with the top of the west-facing transom windows.

Staff Planner: Hannah Bryant

Decision rendered by:  **on December 20, 2016**

By authority of the Director of the Bureau of Development Services

Decision mailed December 22, 2016

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on September 27, 2016, and was determined to be complete on November 1, 2016.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on September 27, 2016.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

This decision, and any conditions associated with it, is final. It may be appealed to the Oregon Land Use Board of Appeals (LUBA), within 21 days of the date the decision is mailed, as specified in the Oregon Revised Statute (ORS) 197.830. Among other things, ORS 197.830 requires that a petitioner at LUBA must have submitted written testimony during the comment period for this land use review. Contact LUBA at 775 Summer St NE Suite 330, Salem, OR 97301-1283 or phone 1-503-373-1265 for further information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Recording the final decision.

If this Land Use Review is approved, the final decision must be recorded with the Multnomah County Recorder. A building or zoning permit will be issued only after the final decision is recorded. The final decision may be recorded on or after **December 23, 2016**. The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder’s office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-7617.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

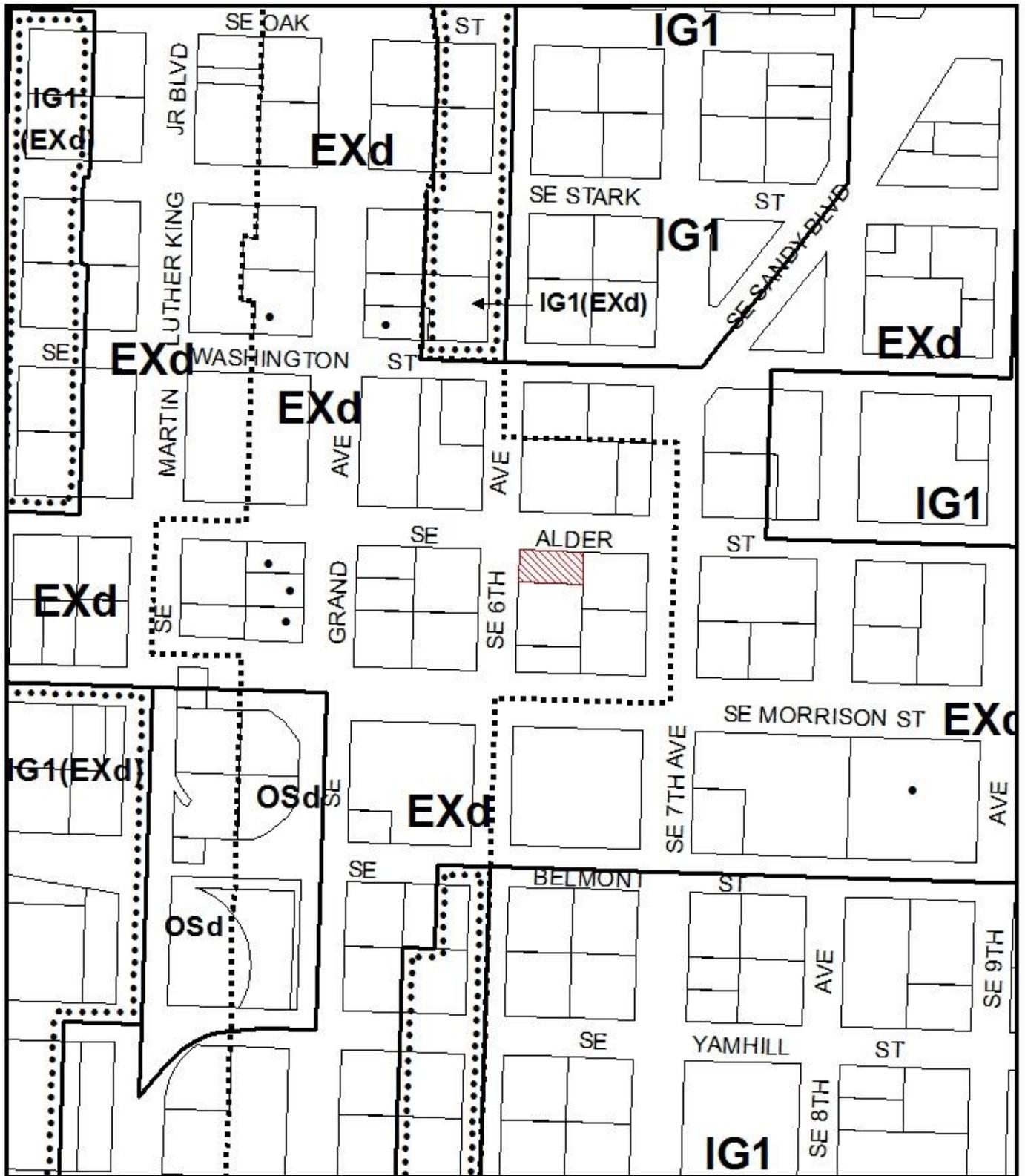
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code for the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Submittals
 - 1. November 1, Revised Submittal
 - 2. Original Submittal
 - 3. November 2, Applicant Email
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Final Plan, Elevation and Rendering (attached)
 - 2. Site Plan (attached)
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses: No concerns or comments received
- F. Correspondence: None received.
- G. Other:
 - Original LU Application
 - 1. Application and Receipt
 - 2. Applicant Narrative

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING

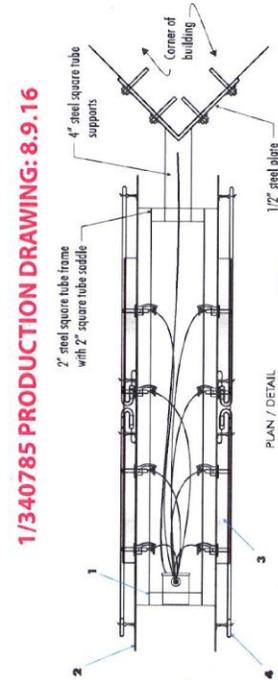
- Site
- Historic Landmark



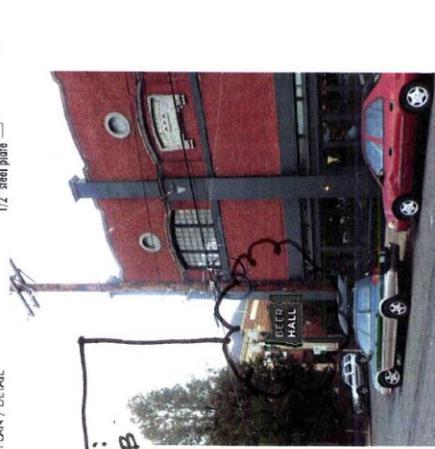
This site lies within the:
 CENTRAL CITY PLAN DISTRICT
 CENTRAL EASTSIDE SubDistrict
 EAST PORTLAND / GRAND AVENUE HISTORIC DISTRICT

File No.	<u>LU 16-249929 HR</u>
1/4 Section	<u>3131</u>
Scale	<u>1 inch = 200 feet</u>
State_Id	<u>1S1E02BB 4700</u>
Exhibit	<u>B (Oct 03, 2016)</u>

1/340785 PRODUCTION DRAWING: 8.9.16

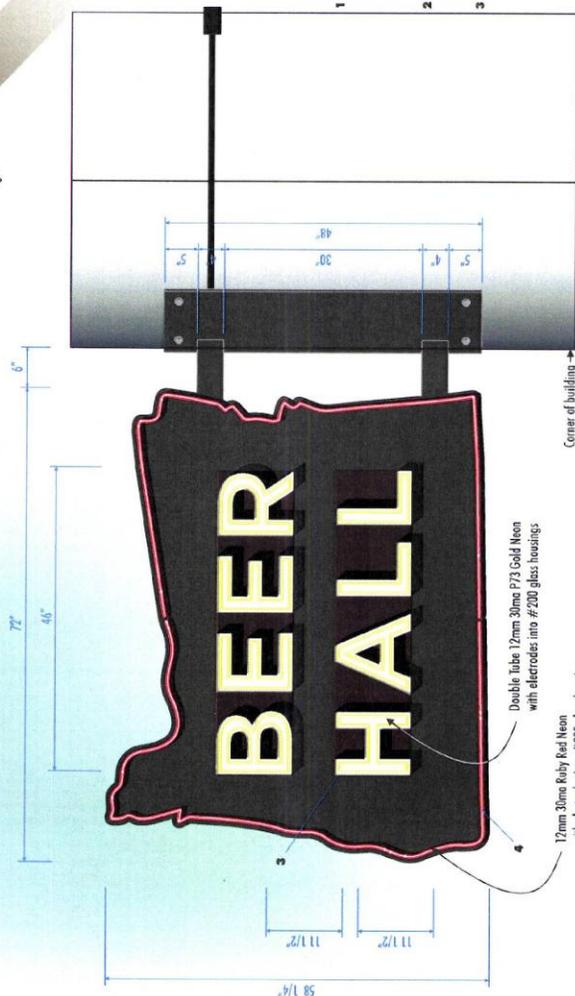
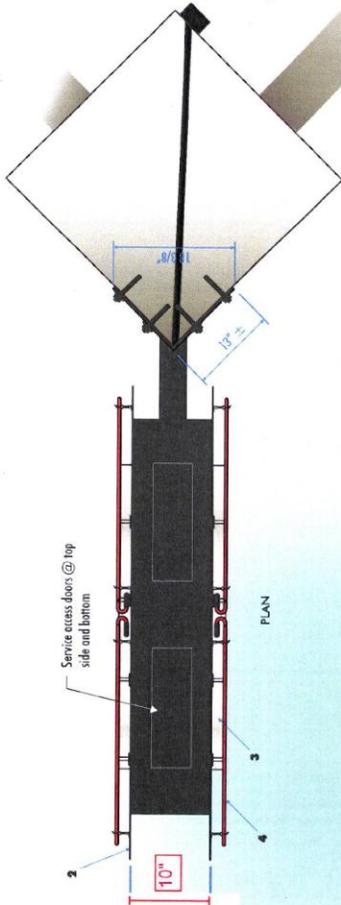


HEIGHT OF SIGN:
SEE OPTION B
IN DESIGN



Furnish and install one (1) double face blade sign with exposed neon - corner mount

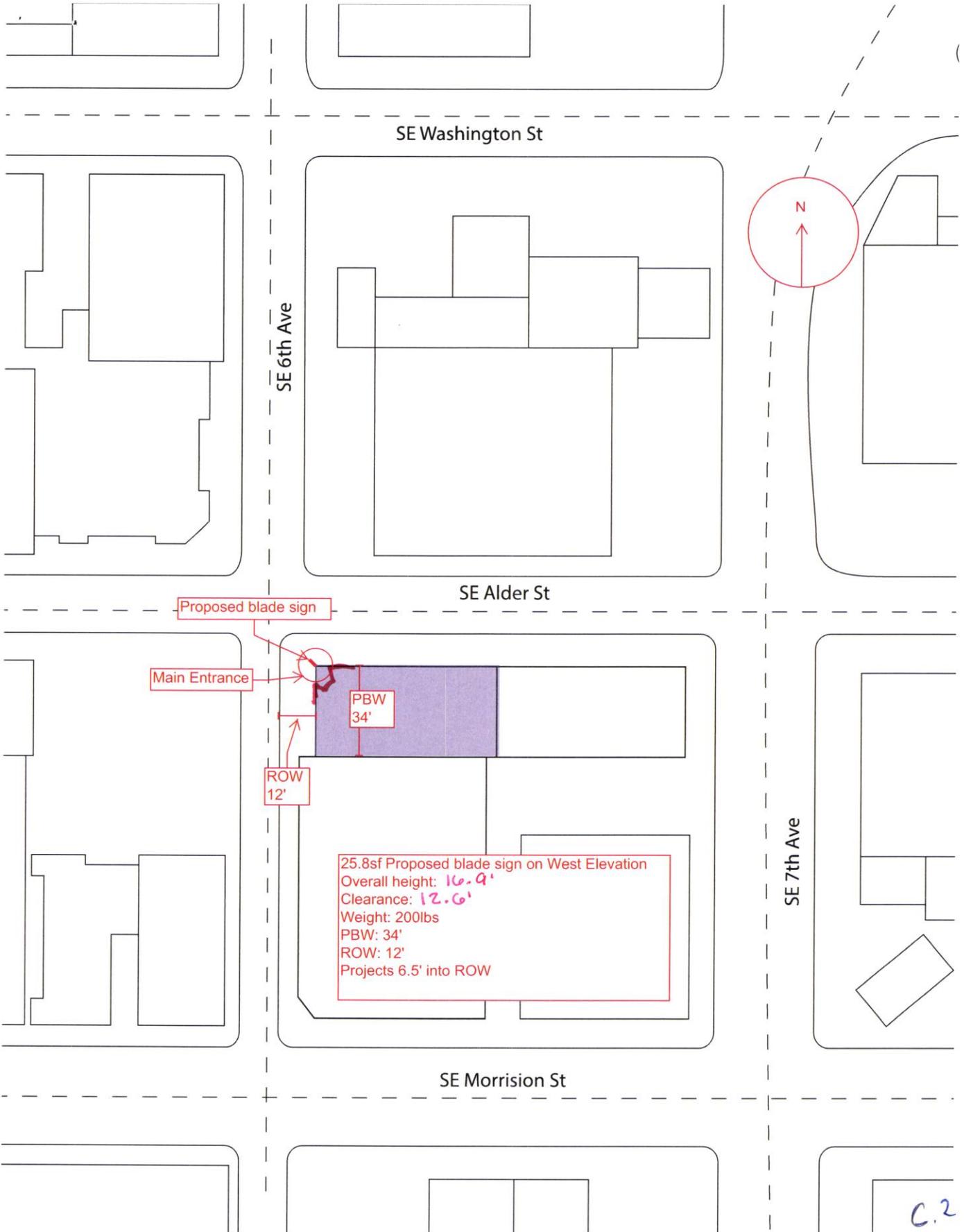
- 1 2" aluminum square tube frame and saddle to accept 4" steel square tube supports with 1/2" steel plate painted satin Black
- 2 1/8" aluminum oversized (Oregon) faces painted satin Black
- 3 "BEER HALL" letter to be fabricated 3" deep open pen channel construction painted satin White. Double tube 12mm 30line P73 Gold Neon (pen d organ) with electrodes into #200 glass housings
- 4 Border neon to be 12mm 30line Ruby Red Neon (pen d organ) with double back/eletrodes



(B) Double Face Blade Sign
Scale: 3/4" = 1'-0"
Total of 30 square feet

<p>Name Oregon Beer Hall 1124 Rd cdr Design 15-1617 Date 11/24/15 ISS Rep Ron Robinson</p>	<p>Location Portland Oregon Designer GM/DZ Rev Date 6/2/16 Rev no 4</p>	<p>Initial upon agreement Date Client Landlord</p>	<p>Oregon Beer Hall 710 SE 6th Avenue Portland Oregon 97214</p>	<p>2020 NE Hudson Road Suite 50 Vancouver Washington 98661 P 360-693-4773 F 360-693-2747 ESL 1923</p>	<p>Nancouver Sign Group</p>	<p>This original design is property of Nancouver Sign Group and is protected under the Federal Copyright laws. This design may not be drawn or copied outside your organization. All rights reserved. The design shown on this drawing is a preliminary survey is conducted. The colors represented herein are the closest match to the actual material colors. Representation of this design concept without written authorization by NSG is subject to a minimum penalty fee of one thousand dollars.</p>	<p>Affiliations: MEMBER: SIGN COUNCIL WASA UL</p>	<p>PAGE 1</p>
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C.1



C.2