



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner
Paul L. Scarlett, Director
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Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: March 9, 2017
To: Interested Person
From: David Besley, Land Use Services
503-823-7282/David.Besley@portlandoregon.gov

NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on March 30, 2017**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 17-122513 AD, in your letter. It also is helpful to address your letter to me, David Besley. You can also e-mail your comments to me at my e-mail address identified above.

CASE FILE NUMBER: LU 17-122513 AD

Applicant: Brenda Gunderson
Po Box 820008
Portland OR 97282

Site Address: 1103 SE SPOKANE ST

Legal Description: BLOCK 51 W 1/2 OF LOT 10&11, SELLWOOD
Tax Account No.: R752706040
State ID No.: 1S1E23CA 09000
Quarter Section: 3831

Neighborhood: Sellwood-Moreland, contact David Schoellhamer at d.dchoellhamer@comcast.net

Business District: Sellwood-Westmoreland, contact Emily Pinkstaff at emily.pinkstaff@newseasonsmarket.com

District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.

Zoning: R2.5ad (Single Dwelling Residential 2,500, with Alternative Design and Design overlay zone)

Case Type: AD (Adjustment Review)
Procedure: Type II, an administrative decision with appeal to the Adjustment Committee.

Proposal:

The applicant is proposing to go through a Lot Line Adjustment which would result in one lot becoming two lots - "Tract 1" to the south with an existing house, and "Tract 2" to the north

which is vacant. The existing parking space is located on what will be Tract 2. Due to site constraints, a parking space on Tract 1 with the existing house is not proposed. The Portland Zoning Code states that one parking space is required per residential unit (Section 33.266.110, Table 266-1, Table 266-2). An Adjustment is therefore necessary to reduce the required parking space from one space to zero spaces for Tract 1.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. Adjustment requests will be approved if the review body finds that the applicant has shown that approval criteria A. through F. of Section 33.805.040, Adjustment Approval Criteria, have been met.

33.805.040 Approval Criteria

- A.** Granting the adjustment will equally or better meet the purpose of the regulation to be modified;
- B.** If in a residential zone, the proposal will not significantly detract from the livability or appearance of the residential area, or if in an OS, C, E, or I zone, the proposal will be consistent with the classifications of the adjacent streets and the desired character of the area;
- C.** If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone; *(not applicable)*
- D.** City-designated scenic resources and historic resources are preserved; *(not applicable)*
- E.** Any impacts resulting from the adjustment are mitigated to the extent practical; and
- F.** If in an environmental zone, the proposal has as few significant detrimental environmental impacts on the resource and resource values as is practicable *(not applicable)*

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on February 16, 2017 and determined to be complete on March 6, 2017.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

APPEAL PROCESS

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Adjustment Committee. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and

information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

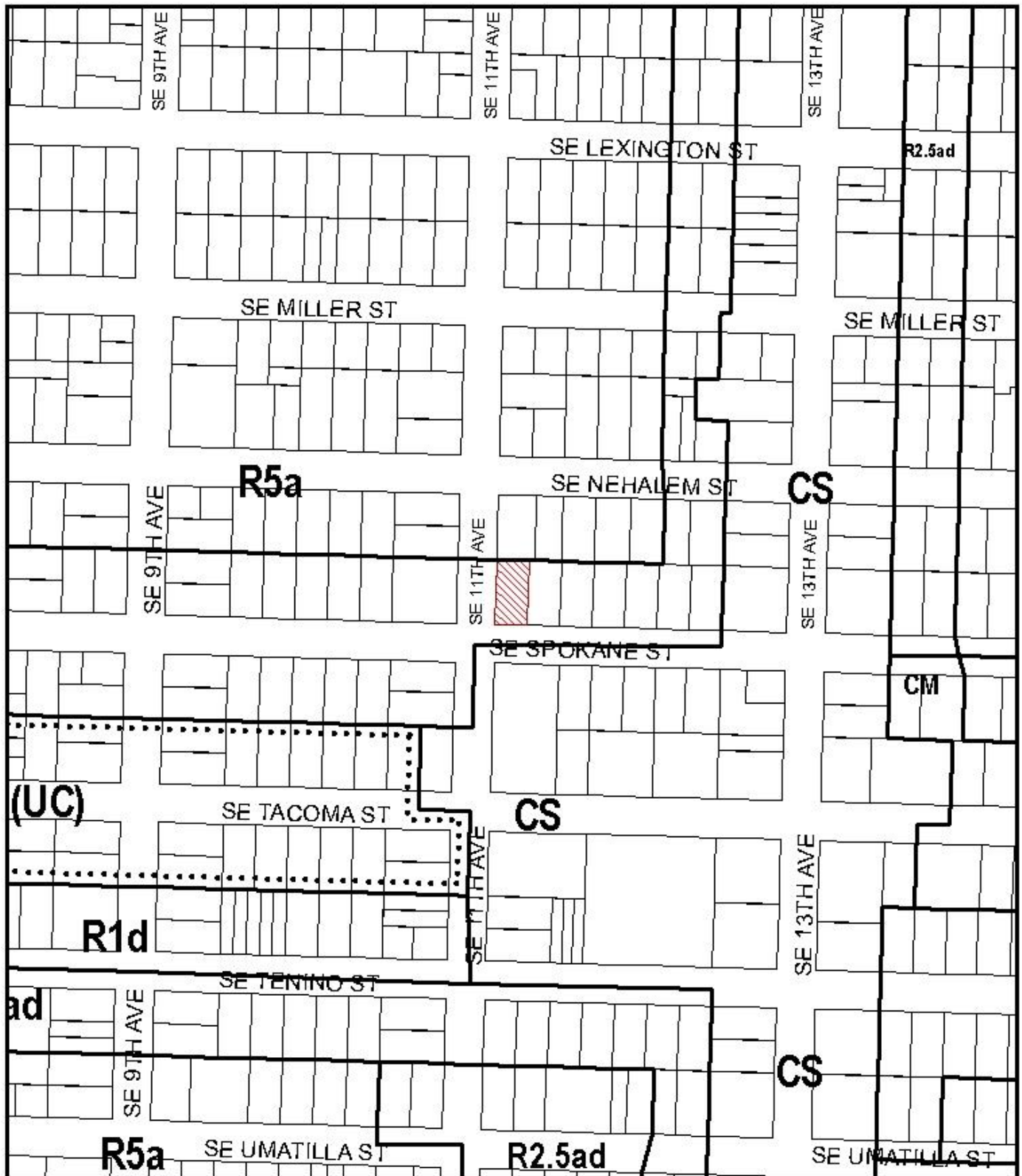
APPEAL OF THE FINAL CITY DECISION

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map
Site Plan



ZONING

 Site



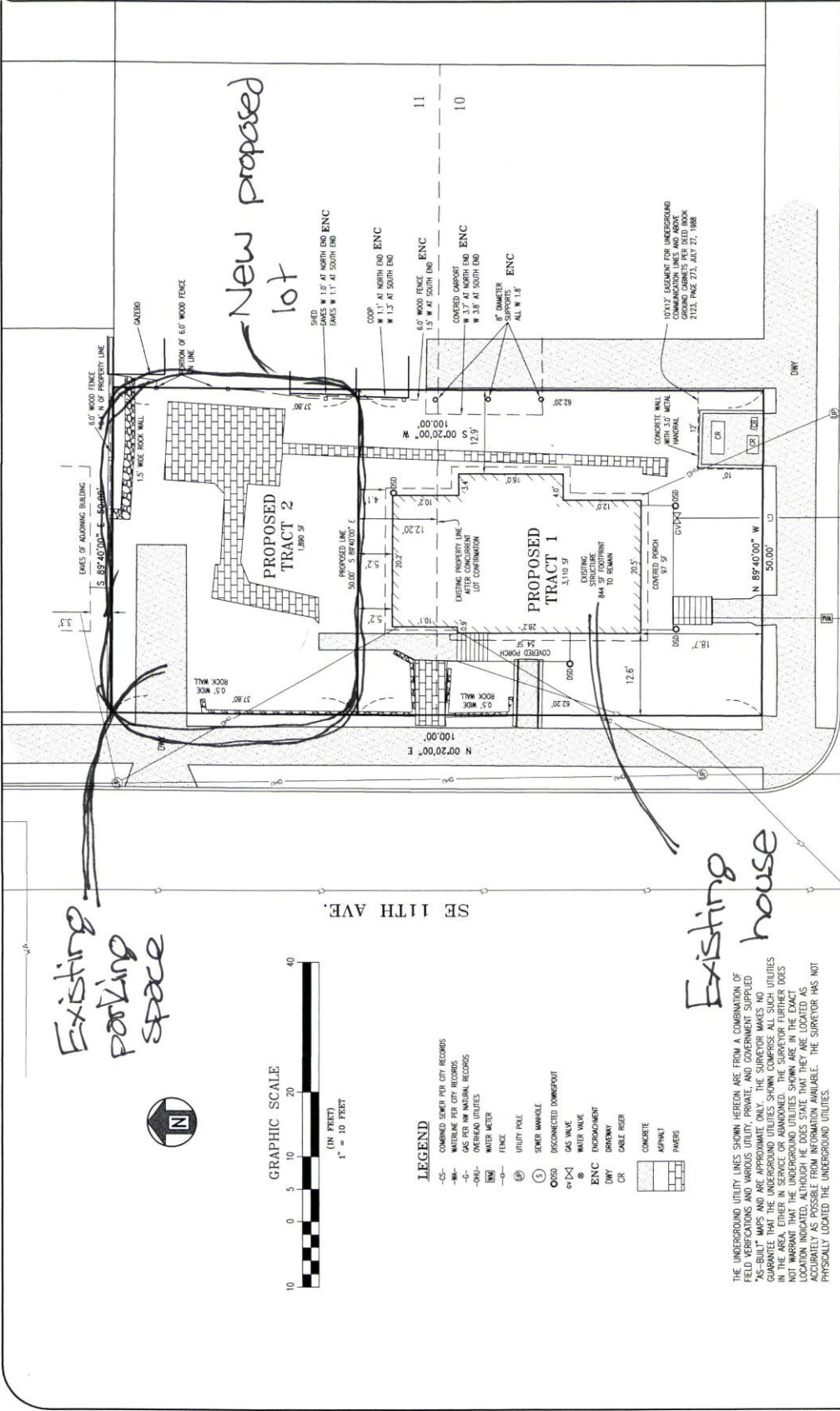
File No. LU 17-122513 AD
 1/4 Section 3831
 Scale 1 inch = 200 feet
 State_Id 1S1E23CA 9000
 Exhibit B (Feb 21, 2017)

REVISIONS:
 DRAWN BY: KAM
 CHECKED BY: BB
 DATE: 10/8/2016
 SCALE: 1"=10'
 JOB NO: 16-116
 FILE: P:\16-116\16-116SP.DWG

PRELIMINARY SITE PLAN
 FOR
BRENDA GUNDERSON
 WEST 1/2 OF LOTS 10 & 11, BLOCK 51 OF TOWN OF SEALWOOD LOCATED IN THE SE 1/4 OF SECTION 23, T15S, R12E, W4E, CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON

W.B. WELLS
 A.L.S. REGISTERED PROFESSIONAL LAND SURVEYOR
 6130 N.E. 78TH CT. STE. C-118
 PORTLAND, OREGON 97218
 PHONE: 503.281.8488
 E-MAIL: address@wbwells.com

SHEET 1 OF 1



Existing parking space

New proposed lot

Existing house

Adjustment requested to reduce required parking space from 1 space to 0 spaces for Tract 1.

SE SPOKANE ST.

LU17-122513AD

LEGEND

- CS- COMBINED SEWER PER CITY RECORDS
- WA- WATERLINE PER CITY RECORDS
- G- GAS PER NW NATIONAL RECORDS
- OU- OVERHEAD UTILITIES
- M- MISC. METEOR.
- F- FENCE
- U- UTILITY PALE
- S- SENSE MANHOLE
- D- DISCONNECTED DOWNSPOUT
- V- VALVE
- W- WATER VALVE
- E- ENCLOSURE
- DWY- DRAINAGE
- CR- CABLE REEL
- C- CONCRETE
- R- ASPHALT
- P- PAVES

THE UNDERGROUND UTILITY LINES SHOWN HEREON ARE FROM A COMBINATION OF FIELD VERIFICATIONS AND VARIOUS UTILITY, PRIVATE, AND GOVERNMENT SUPPLIED "AS-BUILT" MAPS AND ARE APPROXIMATE ONLY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES AND DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

10-18-2016
 REGISTERED PROFESSIONAL LAND SURVEYOR
 OREGON
 JANUARY 15, 2002
 BRETT REDDORF
 EXPIRES 12-31-17