



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner
Paul L. Scarlett, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: March 9, 2017
To: Interested Person
From: David Besley, Land Use Services
503-823-7282 / David.Besley@portlandoregon.gov

NOTICE OF A TYPE Ix PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 45 days, **we need to receive your written comments by 5 p.m. on April 8, 2017**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 17-105681 HR, in your letter. It also is helpful to address your letter to me, David Besley. You can also e-mail your comments to me at my e-mail address identified above.

CASE FILE NUMBER: LU 17-105681 HR

Applicant: Seth Moran
Michael Flowers Architect
107 SE Washington St #227
Portland, OR 97214

Owner: John Miller
Mahonia Inc
4985 Battle Creek Rd SE
Salem, OR 97302

Site Address: 535 NW 16TH AVE

Legal Description: BLOCK 154 LOT 3&5-8 HISTORIC PROPERTY 15 YR 2005 POTENTIAL
ADDITIONAL TAX, COUCHS ADD

Tax Account No.: R180213440
State ID No.: 1N1E33AC 02300
Quarter Section: 3028

Neighborhood: Northwest District, contact John Bradley at 503-313-7574
Business District: Nob Hill, contact Nob Hill at nobhillportland@gmail.com. / Pearl District
Business Association, contact Carolyn Ciolkosz at 503-227-8519
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212

Plan District: Northwest

Zoning: EXd, Central Employment Zone with a Design Overlay Zone
Case Type: HR, Historic Resource
Procedure: Type Ix, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal:

The applicant seeks Historic Resource approval to remove three large existing rooftop mechanical units and add up to eighteen new small rooftop mechanical units. These units are proposed to be clustered together just south of an existing, elevated light monitor. The mechanical units are identical in manufacturer and model and each will be 3.5 feet in height and placed a minimum of 15 feet from the east, south, and west edges of the roof and 18 feet from the north edge of the roof.

The new mechanical units are proposed to be located on the roof of the non-contributing 1958 annex, a 5,000 square foot building located to the southwest of the 20,000 square foot landmarked structure (the 1946 Sweeney, Straub & Dimm Printing Plant). For this site and building, new rooftop mechanical equipment, an exterior alteration, requires Historic Resource review. A proposed roof plan and mechanical unit detail drawings are attached to this notice. Note that the building covers the site and has a 3.5-foot-tall parapet.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33 Portland Zoning Code. The relevant approval criteria are:

- NW 13th Avenue Historic District Design Guidelines
- Central City Fundamental Design Guidelines

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on January 13, 2017 and determined to be complete on February 28, 2017.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and either:

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

We will mail you a copy of our decision only if you comment in writing to us at the City of Portland Bureau of Development Services, 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201. There will be no public hearing.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. You may also find

additional information about the City of Portland and City Bureaus, as well as a digital copy of the Portland Zoning Code, by visiting the City's homepage on the Internet at www.portlandonline.com.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

APPEAL PROCESS

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem OR 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues which may provide the basis for an appeal to LUBA must be raised in writing before the deadline for comments, or you may not be able to raise that issue in an appeal. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

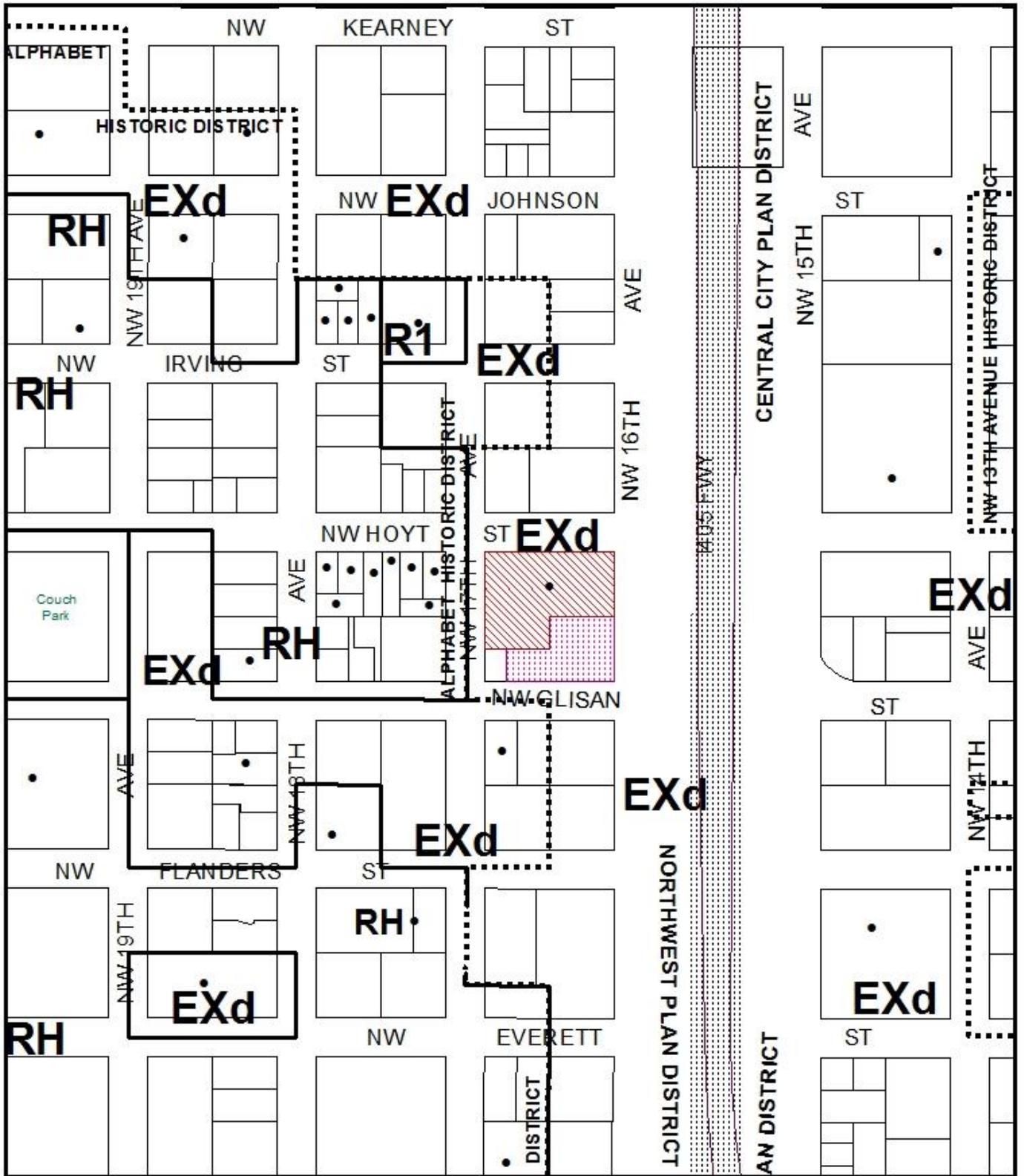
The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map

Site Plan and project description

Roof Plan and mechanical unit detail drawings



**GLISAN CENTER ANNEX
635 NW 16TH AVE PORTLAND, OR**

**HISTORIC RESOURCE REVIEW - TYPE 1x
REV 02/22/17**

PHOTO AT RIGHT:
TWO-STORY 1968 ANNEX BUILDING
AS VIEWED FROM NW 17TH AVE



PORTLAND ZONING CODE SUMMARY

33.420.045 Exempt From Design Review

The following items are exempt from design review:

- A. If the site is a Historic Landmark, it is instead subject to the regulations for historic resource review as set out in Chapter 33.445, Historic Resource Overlay Zone.

33.445.140 Alterations to a Historic Landmark

A. When historic resource review for a Historic Landmark is required, unless exempted by Subsection B, below, the following proposals are subject to historic resource review:

- B. Exempt from historic resource review:
 - 7. Rooftop mechanical equipment added to an existing building if the following are met:
 - a. The area where the equipment will be installed must have a pitch of 1/12 or less;
 - CRITERIA IS MET. SEE ROOF PLAN.
 - b. No more than 8 mechanical units are allowed, including both proposed and existing units.
 - CRITERIA IS NOT MET FOR THE ENTIRETY OF THE TAX LOT. THE LARGER HISTORIC BUILDING ON THE LOT (ACE HARDWARE) CURRENTLY HAS MORE THAN 8 ROOFTOP MECHANICAL UNITS. THIS IS THE TRIGGER FOR THE TYPE 1x HISTORIC RESOURCE REVIEW.
 - c. The proposed mechanical equipment must be set back at least 4 feet from the edge of the roof for every 1 foot of height of the equipment above the roof surface or top of parapet, and
 - CRITERIA IS MET. SEE ROOF PLAN AND SECTION.
- NOTE: NEW EQUIPMENT IS SHORTER THAN EQUIPMENT TO BE REMOVED.
- NOTE: NEW EQUIPMENT IS FURTHER FROM THE ROOF EDGE THAN EQUIPMENT TO BE REMOVED.
- d. The proposed equipment must have a matte finish or be painted to match the roof.
 - CRITERIA IS MET. SEE EQUIPMENT BASIS-OF-DESIGN.

Table 845-1. Procedure Types for proposals affecting Historic Landmarks

Mechanical Equipment is a Type 1x Procedure. There is no valuation threshold.

Quarter Section 298:

Property is not within the Central City Plan District. Property is not within the Alphabet Historic District. Property is in the Northwest Plan District.

33.662 Northwest Plan District

- 33.662.280 Mechanical Equipment in the EX Zone
 - C. Screen mechanical equipment from the sidewalk.
 - 2. If mechanical equipment is more than nine feet above the grade of the adjacent sidewalk, the equipment must be completely screened from the sidewalk by walls, fences, or landscaping.
 - CRITERIA IS MET. SEE ROOF PLAN AND SECTION.

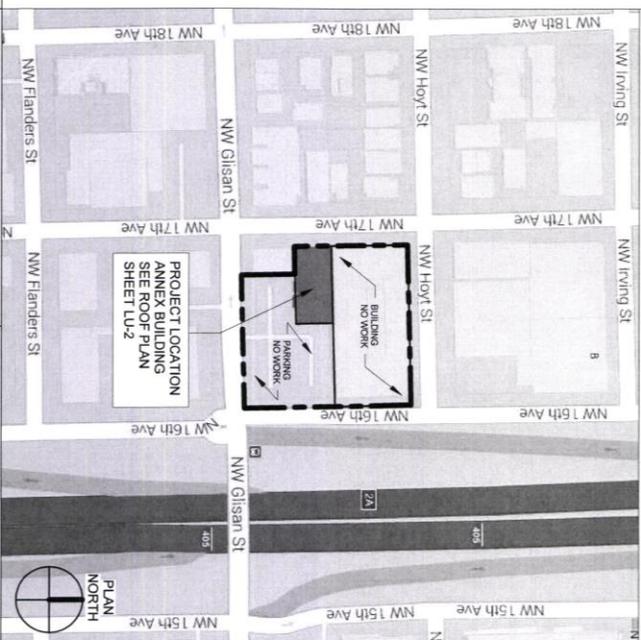
PROJECT INFORMATION

ADDRESS 635 NW 16TH AVE, PORTLAND OR 97209
 PROPERTY ID R140793
 COUNTY MULTNOMAH
 STATE ID 1N1E33AC
 AREA 25,000 SF
 ZONE EX4
 OVERLAY d - DESIGN ZONE
 PLAN DISTRICT NP-NORTHWEST
 ZONING MAP 2928

PROJECT DESCRIPTION

- REMOVAL OF THREE (3) LARGE EXISTING ROOFTOP MECHANICAL UNITS.
 - ADDITION OF UP TO EIGHTEEN (18) NEW SMALL ROOFTOP MECHANICAL UNITS.
 ALL PROPOSED WORK OCCURS THE 1968 ANNEX. NO WORK IS PROPOSED FOR THE LARGER ORIGINAL STRUCTURE CURRENTLY OCCUPIED BY ACE HARDWARE.
 NO EXTERIOR SITE WORK. NO EXTERIOR ALTERATIONS. NO CHANGE OF USE.
 NO BUILDING PERMIT IS REQUIRED FOR PROPOSED WORK.
 PROPOSED WORK WILL REQUIRE A MECHANICAL TRADE PERMIT.
 A PORTION OF THE BUILDING IS UN-OCCUPIED, UNDETERMINED LAYOUT FOR FUTURE TENANTS WILL DICTATE THE TOTAL NUMBER OF REQUIRED UNITS.
 THE EXISTING BUILDING IS A HISTORIC LANDMARK.
 LAND USE PROCEDURE: HISTORIC RESOURCE REVIEW, TYPE 1x
 VALUATION IS LESS THAN \$39,375. THEREFORE THE MINIMUM FEE APPLIES

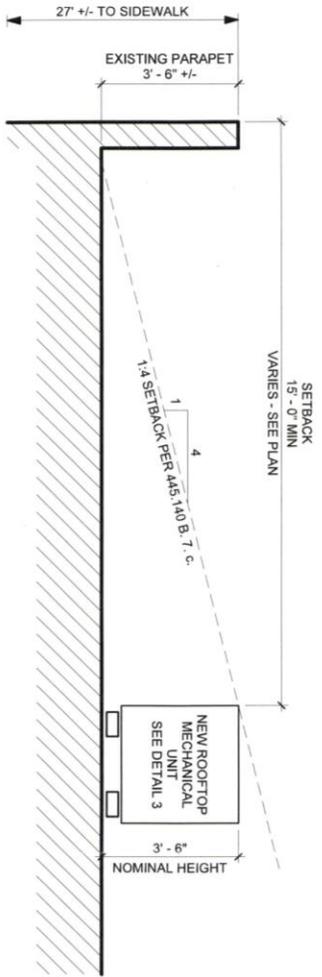
VICINITY MAP / SITE PLAN



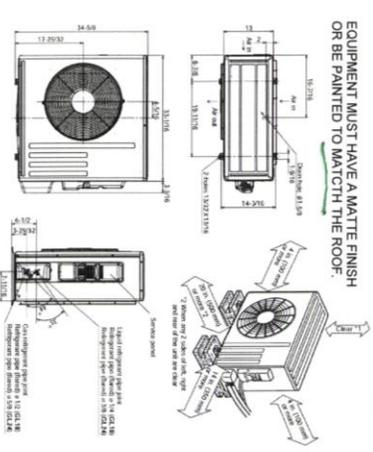
MICHAEL FLOWERS ARCHITECT
 107 SE WASHINGTON, SUITE 227
 PORTLAND, OR 97214
 503-756-6506

MAHONIA, INC.
 GLISAN CENTER ANNEX
 635 NW 16TH AVE PORTLAND, OR

MARK DATE DESCRIPTION
ISSUE DATE: REV 02/22/17
ISSUE: HISTORIC RESOURCE REVIEW - TYPE 1x
PROJECT: 16003
DRAWN BY:
CHECKED BY:
COVER SHEET AND ZONING SUMMARY
LU-1



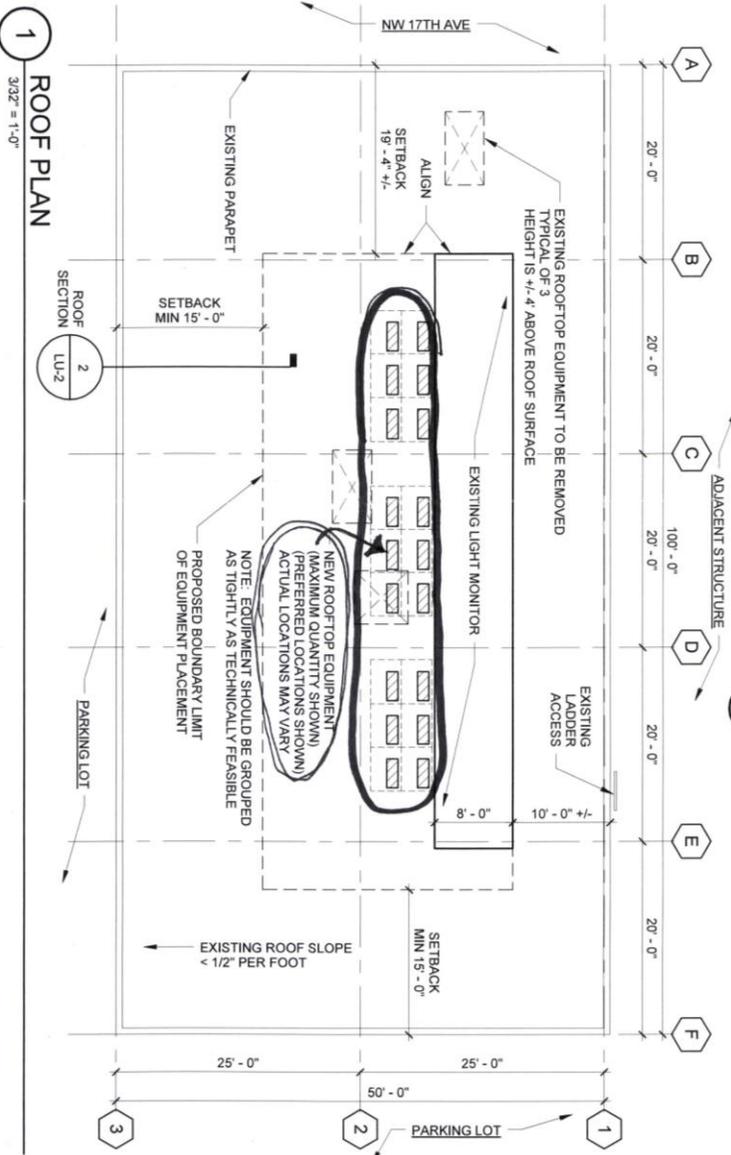
2 ROOF SECTION
3/8" = 1'-0"



3 EQUIPMENT BASIS-OF-DESIGN
1/2" = 1'-0"

LEGEND
 NEW ROOFTOP EQUIPMENT (UP TO 18 UNITS) UNIT SIZE IS +/- 36" X 36" X 14" CLEARANCES SHOWN DASHED
 EXISTING ROOFTOP EQUIPMENT TO BE REMOVED

NOTES
 1) NEW UNIT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS TO BE DETERMINED AT TIME OF MECHANICAL TRADE PERMIT(S).
 2) TOTAL NUMBER OF REQUIRED UNITS IS DEPENDENT ON FUTURE TENANTS UP TO 18 UNITS ARE PROPOSED.



1 ROOF PLAN
3/32" = 1'-0"

MAHONIA, INC.
GLISAN CENTER ANNEX
555 NW 18TH AVE PORTLAND, OR

MFL
MICHAEL FLOWERS ARCHITECT
107 SE WASHINGTON, SUITE 227
PORTLAND, OR 97214
503-756-6596

PROJECT:	16003
DRAWN BY:	
CHECKED BY:	
MARK DATE DESCRIPTION	
ISSUE DATE:	REV 02/22/17
ISSUE:	HISTORIC RESOURCE REVIEW - TYPE 1X

ROOF PLAN AND SECTION

LU-2