



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner  
Paul L. Scarlett, Director  
Phone: (503) 823-7300  
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TTY: (503) 823-6868  
[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** April 5, 2017  
**To:** Interested Person  
**From:** Meriam Rahali, Land Use Services  
503-823-5363/Meriam.Rahali@portlandoregon.gov

## **NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD**

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on April 26, 2017**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 17-135875 DZ, in your letter. It also is helpful to address your letter to me, Meriam Rahali. You can also e-mail your comments to me at my e-mail address identified above.

## **CASE FILE NUMBER: LU 17-135875 DZ – NEW EXTERIOR DECK**

**Applicant:** Kent Pottebaum | GBD Architects Inc  
1120 NW Couch, Suite 300  
Portland, OR 97209

**Owner:** 12th & Northrup LLC  
1215 4th Avenue #600  
Seattle, WA 98161-1084

**Party of Interest:** Ty Barker | Unico Properties  
111 SW 5th Avenue #1250  
Portland, OR 97204

**Site Address:** **1233 NW 12<sup>th</sup> Avenue**

**Legal Description:** BLOCK 215 LOT 1-8, COUCHS ADD  
**Tax Account No.:** R180219630  
**State ID No.:** 1N1E33AA 01700  
**Quarter Section:** 2928  
**Neighborhood:** Pearl District, contact [planning@pearldistrict.org](mailto:planning@pearldistrict.org).  
**Business District:** Pearl District Business Association, contact Carolyn Ciolkosz at 503-227-8519.

**District Coalition:** Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.  
**Plan District:** Central City - River District  
**Zoning:** EXd – Central Employment with Design Overlay  
**Case Type:** DZ – Design Review  
**Procedure:** Type II, an administrative decision with appeal to the Design Commission.

**Proposal:**

The applicant is seeking Design Review approval for the addition of an insulated aluminum and glass sectional door; hollow metal man door and frame to match existing man door, frame size and color; and exterior deck to an inset at the north elevation of the building. The floor of the deck is proposed to align with the interior floor and is higher than the existing sidewalk grade.

Proposals for exterior alterations within a design overlay zone in Central City Plan District require Design Review per Section 33.420.041.B of Title 33, Portland Zoning Code.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- Central City Fundamental Design Guidelines
- River District Design Guidelines

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on March 15, 2017 and determined to be complete on April 3, 2017.

**DECISION MAKING PROCESS**

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**APPEAL PROCESS**

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Design Commission. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

**APPEAL OF THE FINAL CITY DECISION**

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

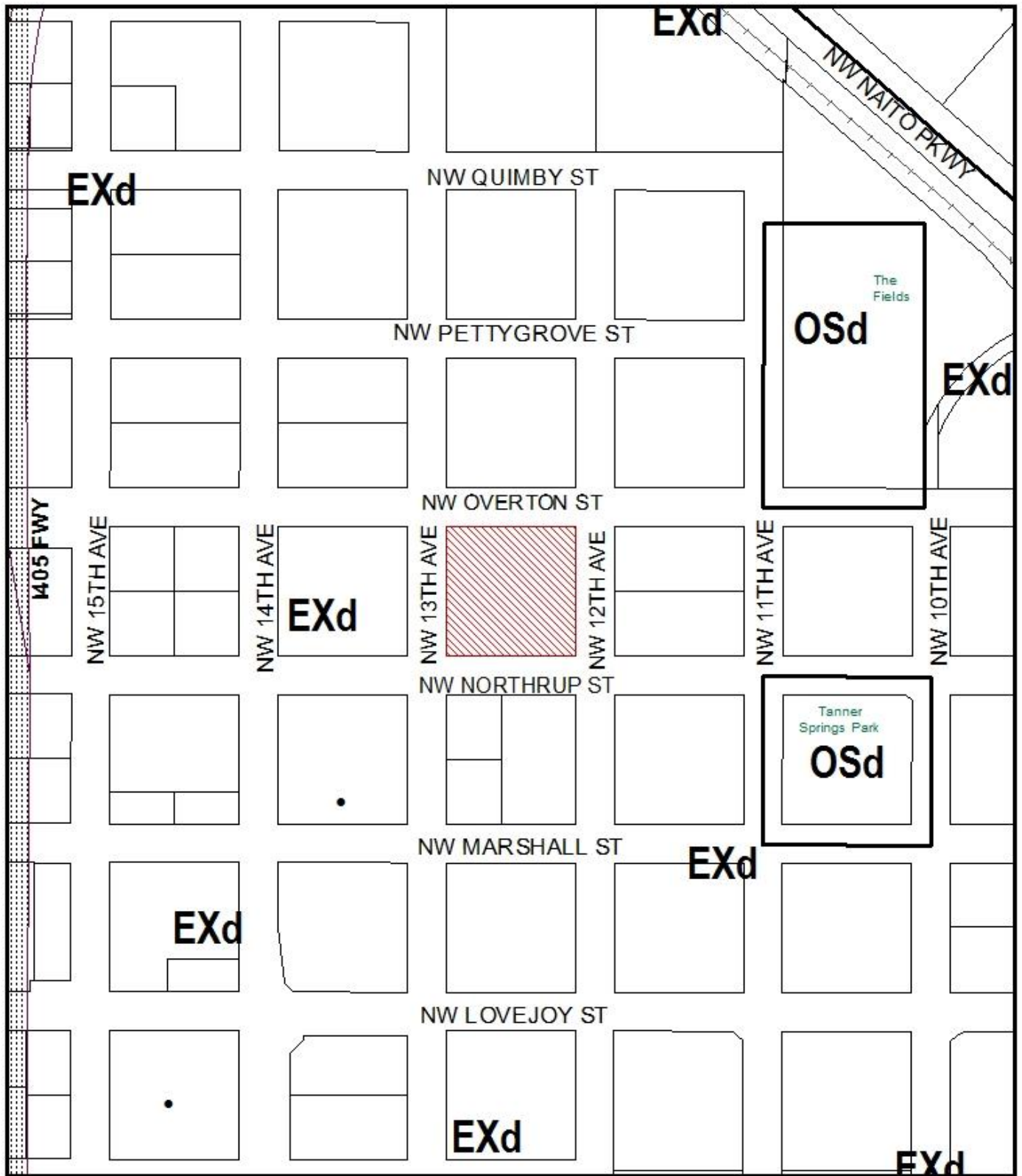
**Enclosures:**

Zoning Map

Site Plan

Partial Floor Plan - Proposed




North Elevation



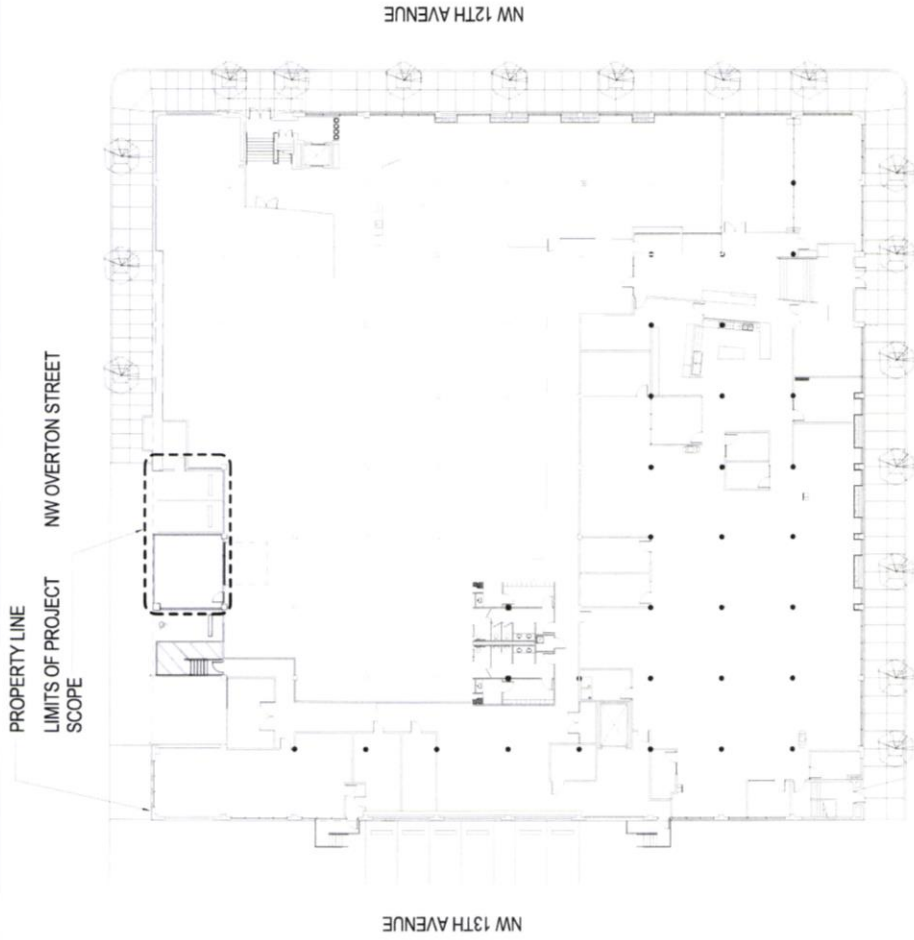
# ZONING



This site lies within the:  
 CENTRAL CITY PLAN DISTRICT  
 RIVER DISTRICT SUBDISTRICT  
 NORTH PEARL SUBAREA

-  Site
-  Recreational Trails
-  Historic Landmark

File No. LU 17-135875 DZ  
 1/4 Section 2928  
 Scale 1 inch = 200 feet  
 State\_Id 1N1E33AA 1700  
 Exhibit B (Mar 21, 2017)



PROPERTY LINE  
LIMITS OF PROJECT  
SCOPE

NW 12TH AVENUE

NW 13TH AVENUE

NW NORTHROP STREET

1 SITE PLAN  
1000-100



Client  
UNICO PROPERTIES

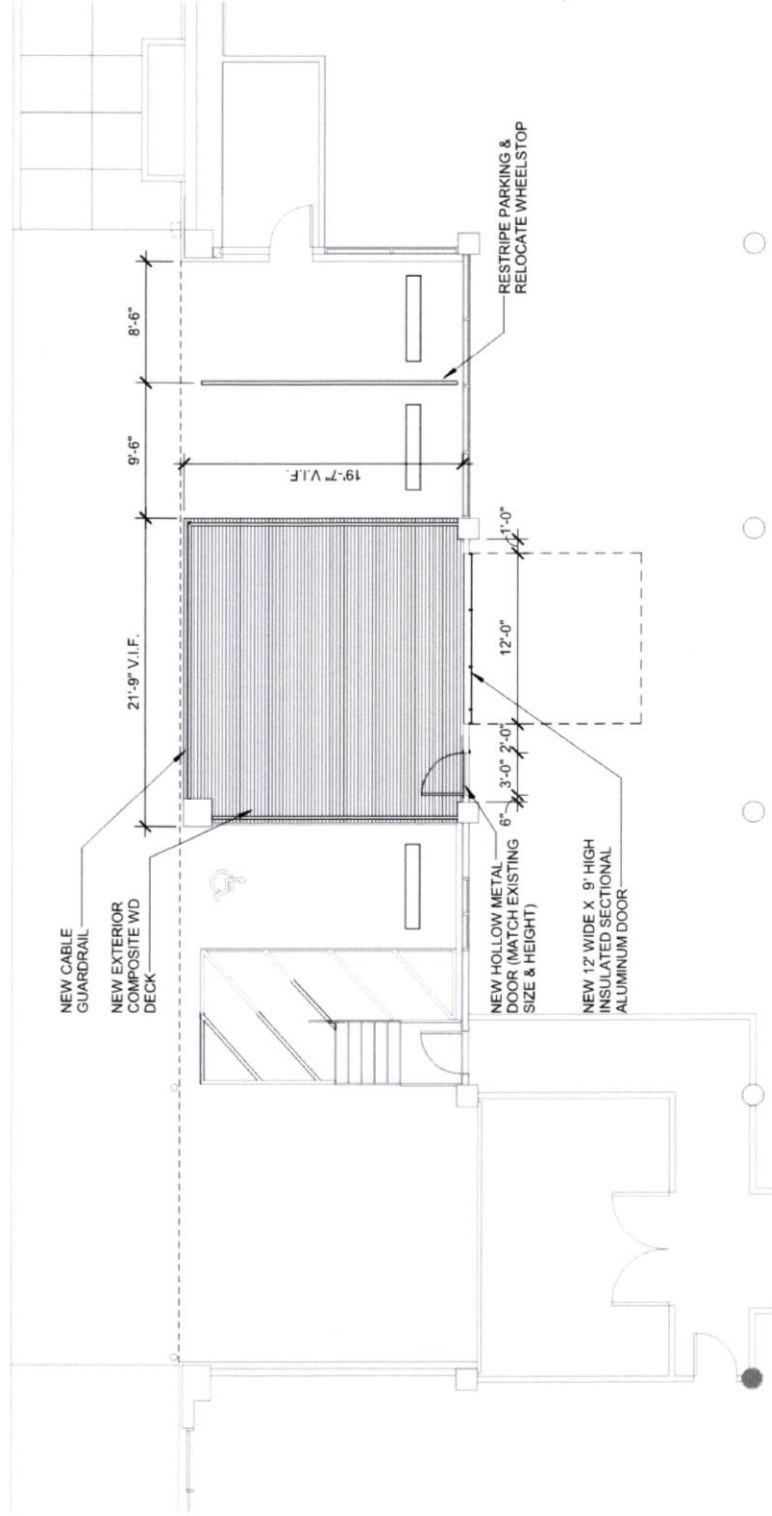
Date  
10 MARCH 2017

Project  
EXTERIOR NORTH DECK

# SITE PLAN

GBD

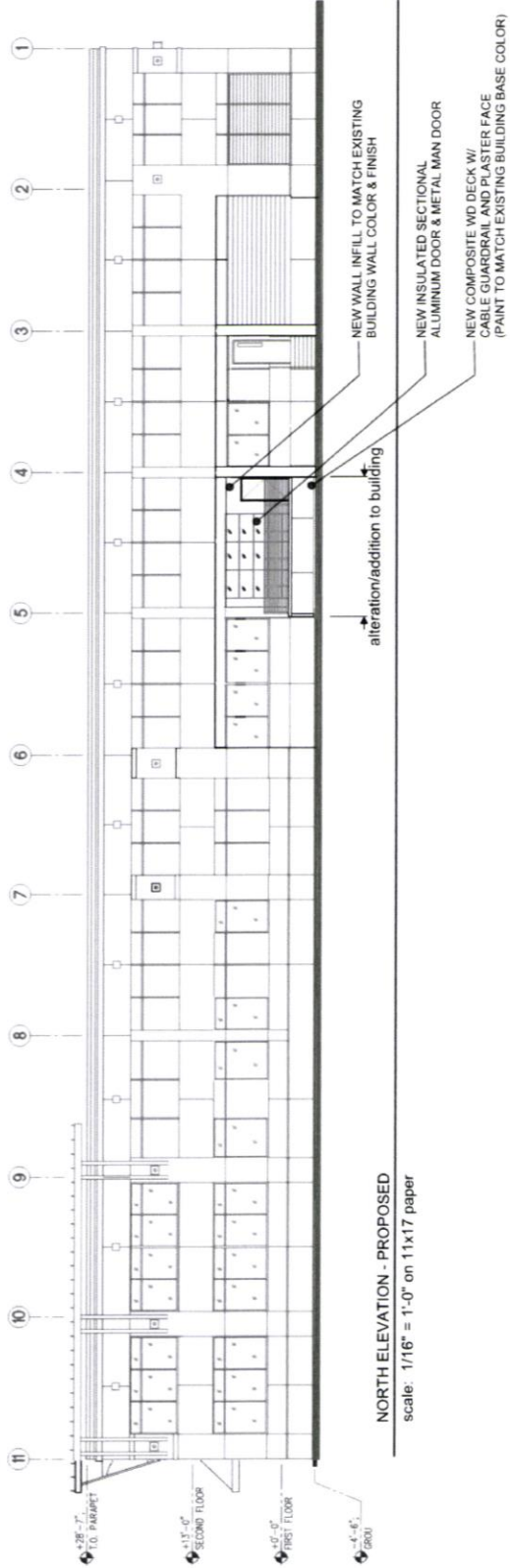
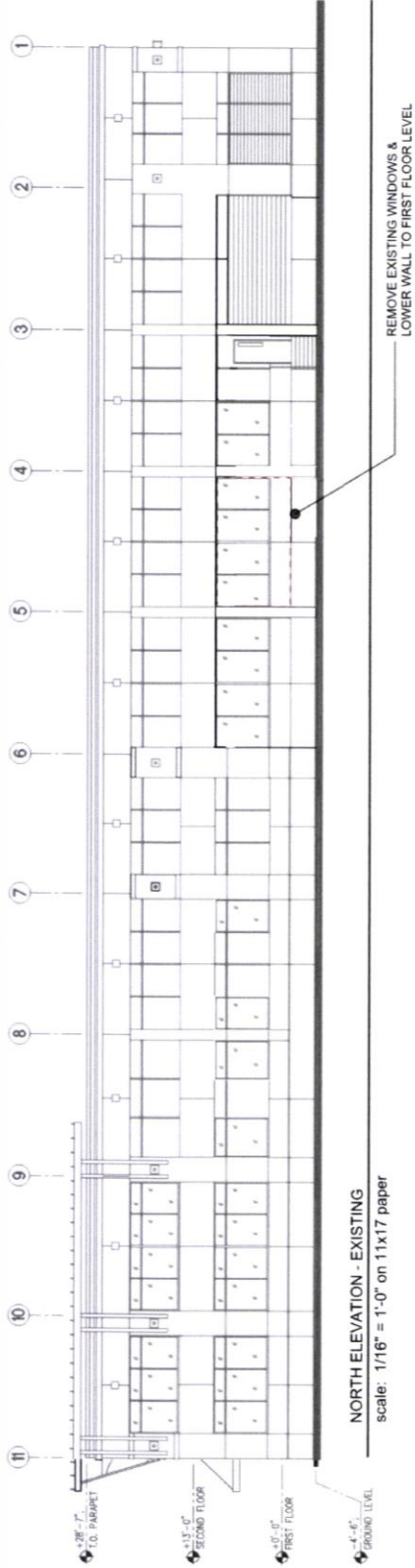
LA 17 - 135 875 DZ



PARTIAL FLOOR PLAN - PROPOSED  
scale: 1/16" = 1'-0" on 11x17 paper



WM 17-135875 DZ



LU 17 - 135 875 DZ