



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
**FROM CONCEPT TO CONSTRUCTION**

Chloe Eudaly, Commissioner  
Paul L. Scarlett, Director  
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Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** April 5, 2017  
**To:** Interested Person  
**From:** Meriam Rahali, Land Use Services  
503-823-5363/Meriam.Rahali@portlandoregon.gov

## **NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD**

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on April 26, 2017**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 17-117895 DZ, in your letter.

It also is helpful to address your letter to me, Meriam Rahali. You can also e-mail your comments to me at my e-mail address identified above.

## **CASE FILE NUMBER: LU 17-117895 DZ – SOLAR ARRAY**

**Applicant:** Dan Janosec | Elemental Energy  
3123 SE Belmont Street  
Portland, OR 97214

**Representative:** Rob Timmons | International School  
025 SW Sherman Street  
Portland, OR 97201

**Owner:** The International School  
025 SW Sherman Street  
Portland, OR 97201-5120

**Site Address:** **051 SW Caruthers Street**

**Legal Description:** BLOCK C LOT 3-5 TL 2000, CARUTHERS ADD  
**Tax Account No.:** R140908220  
**State ID No.:** 1S1E03CD 02000  
**Quarter Section:** 3229

**Neighborhood:** Portland Downtown, contact Rani Boyle at 503-725-9979.  
**Business District:** None  
**District Coalition:** Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.  
**Plan District:** Central City - Downtown  
**Zoning:** CXd – Central Commercial with Design Overlay  
**Case Type:** DZ – Design Review  
**Procedure:** Type II, an administrative decision with appeal to the Design Commission.

**Proposal:**

The applicant is seeking Design Review approval for alterations to the south facing flat roof plane of The International School's *Learner Hall*. The proposal includes the installation of a tilt-up 6.36kW solar PV system that will be partially visible from SW Caruthers.

Proposals for exterior alterations within a design overlay zone in Central City Plan District require Design Review per Section 33.420.041 of Title 33, Portland Zoning Code.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- Central City Fundamental Design Guidelines

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on February 8, 2017 and determined to be complete on March 29, 2017.

**DECISION MAKING PROCESS**

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**APPEAL PROCESS**

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Design Commission. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

**APPEAL OF THE FINAL CITY DECISION**

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

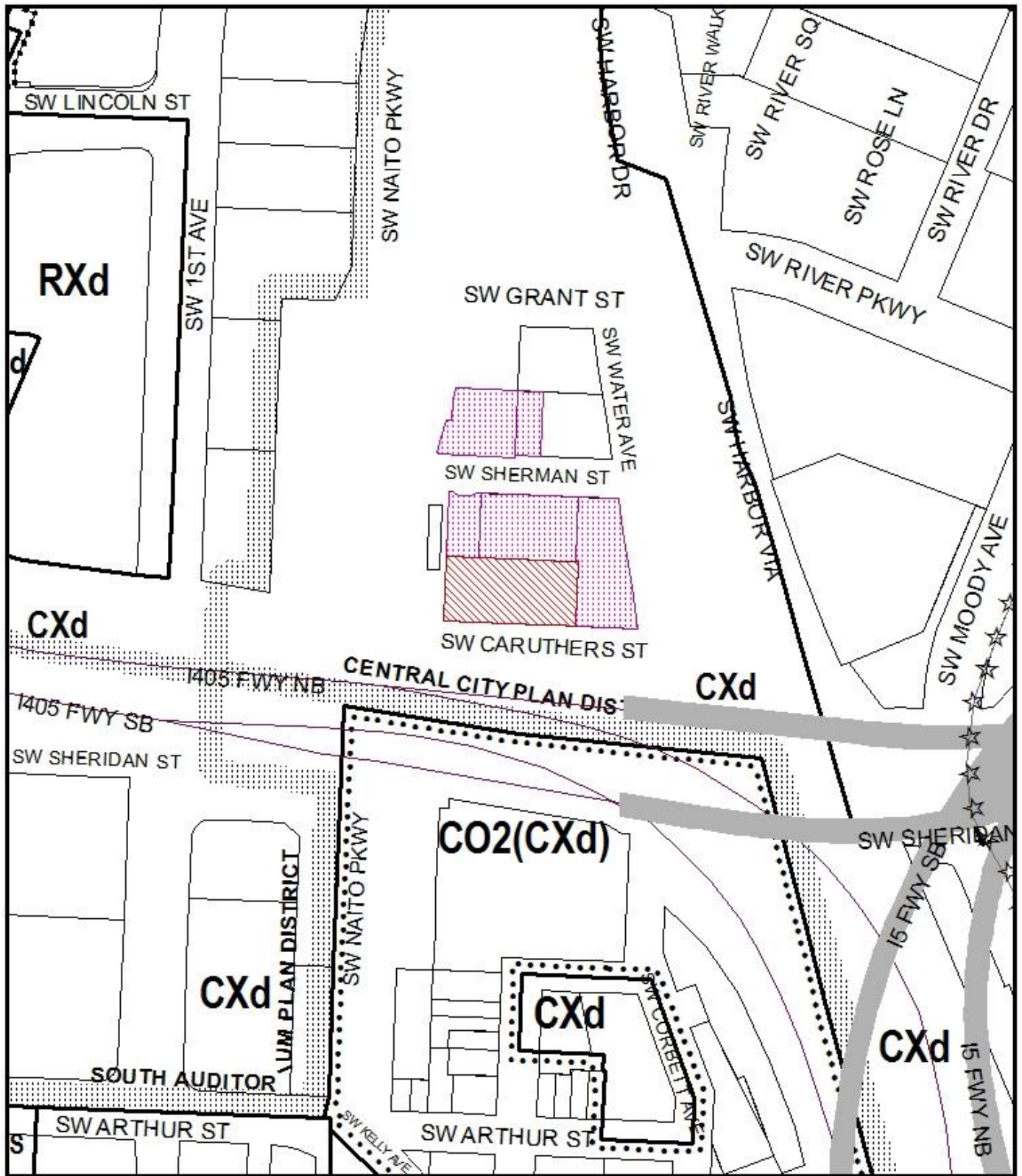
**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

**Enclosures:**

Zoning Map

Site Plan




West & South Elevations



# ZONING



This site lies within the:  
CENTRAL CITY PLAN DISTRICT  
DOWNTOWN SUBDISTRICT

-  Site
-  Also Owned Parcels
-  Recreational Trails

File No.	LU 17-117895 DZ
1/4 Section	3229
Scale	1 inch = 200 feet
State_Id	1S1E03CD 1600
Exhibit	B (Feb 27, 2017)

TABLE OF CONTENTS	
PAGE #	DESCRIPTION
PV-01	SITE PLAN
PV-02	ELEVATIONS
PV-03	RACKING DETAIL
PV-04	SINGLE LINE DIAGRAM

SYSTEM INFORMATION			
ARRAY	PITCH	MAGNETIC ORIENTATION	TRUE ORIENTATION
AR-01	15°	195°	180°

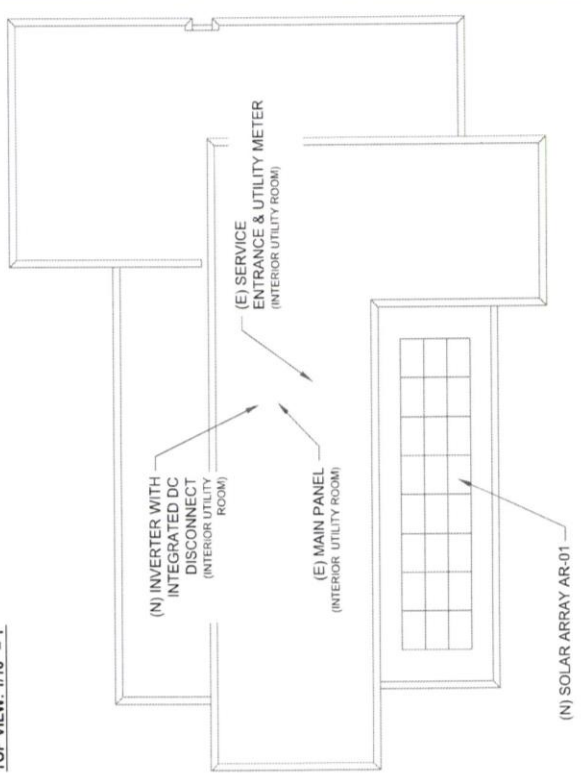
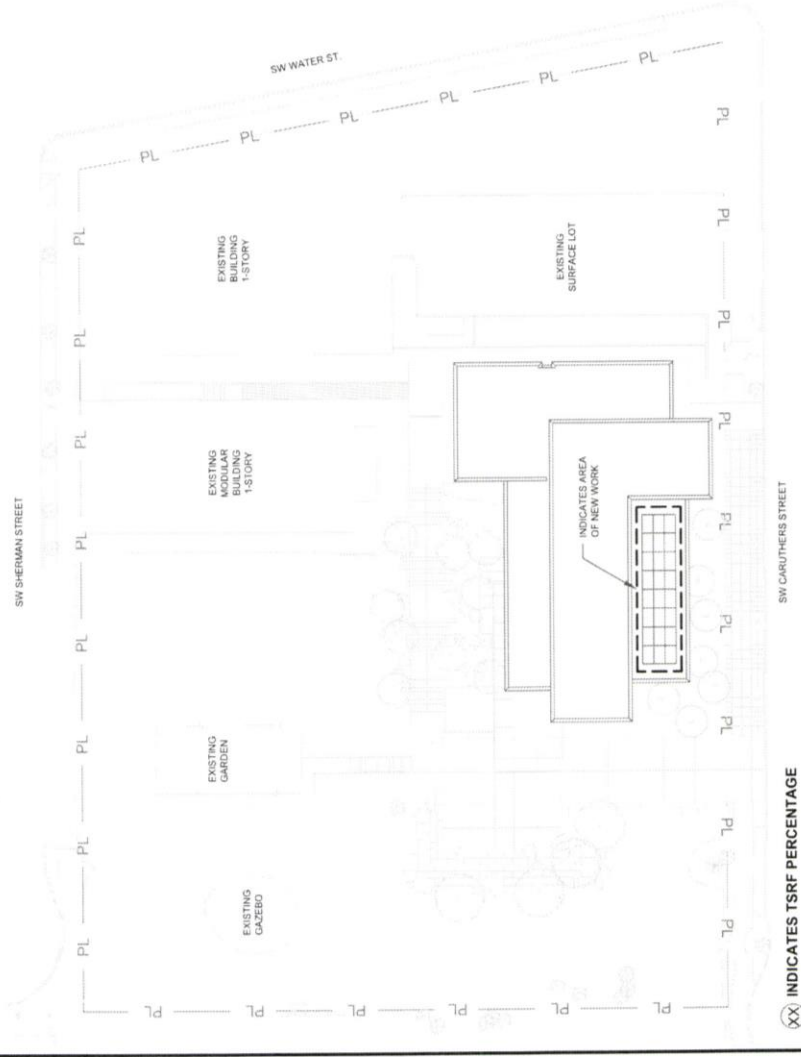
PROJECT NOTES:	
1.	6.240 KW DC, 6.0 KW AC SOLAR PHOTOVOLTAIC SYSTEM
2.	3 STORY MEMBRANE ROOF AT 0° PITCH, 15° ARRAY PITCH.
3.	CONSTRUCTION FOREMAN TO CONFIRM FINAL CONDUIT RUN PLACEMENT
4.	CONTACT: JOHN GRIESER
5.	DESIGN CRITERIA:
5.1.	SYSTEM WEIGHT: 3LBS/SQFT.
5.2.	EFFECTIVE WIND SPEED: 85 MPH 3-SEC GUST.
5.3.	WIND EXPOSURE CATEGORY: B
5.4.	SEISMIC EXPOSURE CATEGORY: II
5.5.	OCCUPANCY CATEGORY: II

# OSSC 3111

TOTAL PV ARRAY AREA: 430 FT<sup>2</sup>  
 ARRAY TILT: 15°  
 ROOF AREA MEASURED IN PLAN VIEW: 5753 FT<sup>2</sup>  
 PV ARRAY/ROOF AREA: 6.37 %

TOP VIEW: 1/16" = 1'

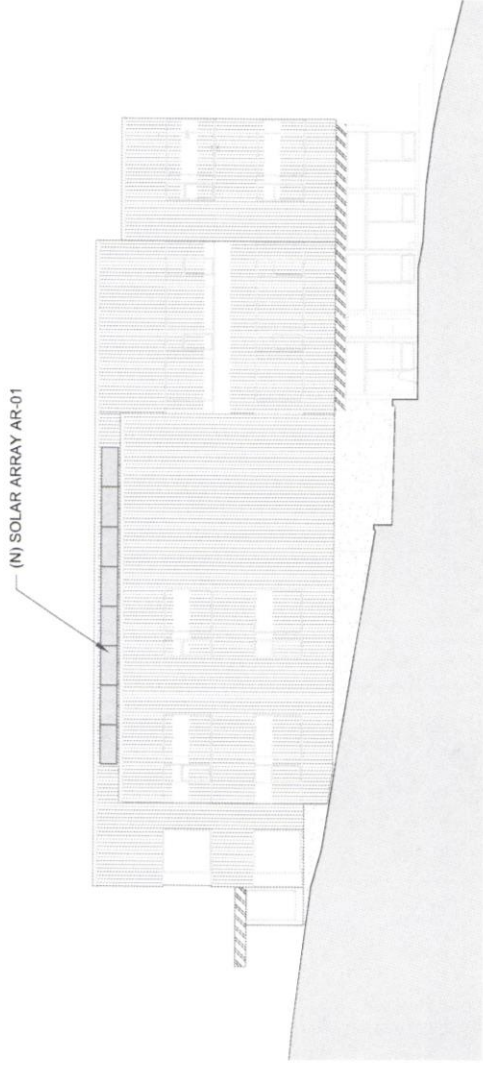
SITE PLAN - SCALE = 1:400



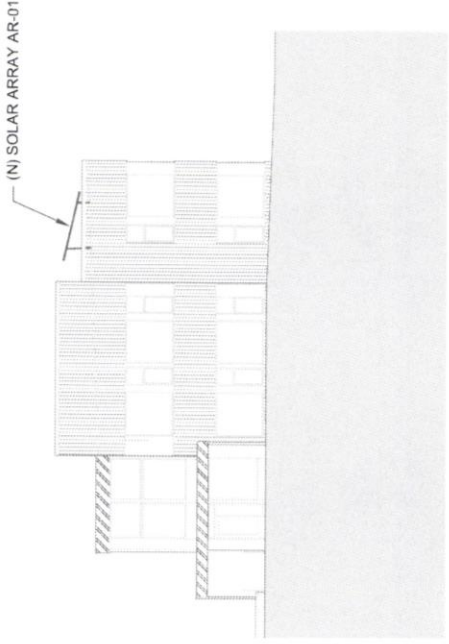
 <b>ELEMENTAL ENERGY</b>	ENGINEER: J. FUSCALDO DRAFTER: D. JANOSEC	THE INTERNATIONAL SCHOOL 025 SW SHERMAN ST., PORTLAND, OR 97201	SITE PLAN & MECHANICAL	PV-01	REV: A 2/2/2017
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LU 17-117895 DZ

ELEVATIONS: SCALE 1/16" = 1'



SOUTH ELEVATION

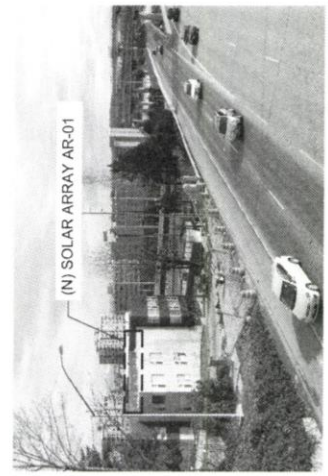


WEST ELEVATION



(N) SOLAR ARRAY AR-01  
\* NOT VISIBLE FROM THIS ANGLE

VIEW OF SE CORNER OF BUILDING FROM SW WATER AVE



VIEW OF SW CORNER OF BUILDING FROM NEARBY NAITO PARKWAY OVERPASS

	ENGINEER: J. FUSCALDO DRAFTER: D. JANOSEC	ELEMENTAL ENERGY OR CCB#: 195141	THE INTERNATIONAL SCHOOL 025 SW SHERMAN ST., PORTLAND, OR 97201	RACKING LAYOUT	PV-02	REV: A 2/2/2017
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LU 17-117895 DZ