



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner
Paul L. Scarlett, Director
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TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: April 17, 2017
To: Interested Person
From: Cassandra Ballew, Land Use Services
503-823-7252 / Cassandra.Ballew@portlandoregon.gov

NOTICE OF A TYPE I PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 21 days, **we need to receive your written comments by 5 p.m. on May 1, 2017.** Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 16-291166 HR, in your letter. It also is helpful to address your letter to me, Cassandra Ballew. You can also e-mail your comments to me at my e-mail address identified above.

CASE FILE NUMBER: LU 16-291166 HR – WINDOW REPLACEMENT

Applicant: Neil C Anderson
3035 NE Weidler St
Portland, OR 97232

Owner: Irina Gelman | Piper Menke
2005 NE 17th Avenue #1
Portland, OR 97212

Party of Interest: Val Thorpe | Hasson Company Realtors
2173 NE Broadway
Portland, OR 97232

Site Address: 2005 NE 17th Avenue
Legal Description: LOT 1, CAYTON CONDOMINIUMS
Tax Account No.: R143800050
State ID No.: 1N1E26DC 70001
Quarter Section: 2832
Neighborhood: Irvington, contact Dean Gisvold at 503-284-3885.
Business District: North-Northeast Business Assoc, contact at chair@nnebaportland.org
District Coalition: Northeast Coalition of Neighborhoods, contact Zena Rockowitz at 503-388-5070.

Plan District: Albina Community
Other Designations: Contributing Resource in the Irvington Historic District
Zoning: **R1a**, Residential 1,000 with Alternative Design Density Overlay
Case Type: **HR**, Historic Resource Review

Procedure: **Type I**, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal:

The applicant seeks Historic Resource Review approval to remove a vinyl window and replace it with two double hung windows on the south facade of the F.E. Bowman Flats Apartment Building. Built in 1911, in the Colonial Revival Style, the building is a contributing resource in the Irvington Historic District. The original window in this opening, which is on the western corner of the south facade, was a wood casement window. Due to rot in the frame, sash and sill, the window was removed and replaced with a vinyl casement window. The current review is to remove this vinyl casement window and replace it with two double hung windows, each measuring 36”x 57.75”. Two material options are proposed for these windows, aluminum clad and fiber clad, and further detail on this will be available in the final decision. The windows will be arranged horizontally within the existing opening. This style of window has been chosen to match the existing double hung windows on the south facade.

Historic Resource Review is required because proposals for a alteration to the exterior of a structure in a Historic District require a Type I Historic Resource Review, per Section 33.846.060, Table 846-3.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria specified in the Portland Zoning Code. The relevant approval criteria are:

- Criteria in Section 33.846.060.G of the Portland Zoning Code

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on December 27, 2016 and determined to be complete on April 12, 2017.

Decision Making Process

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and either:

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

We will mail you a copy of our decision only if you comment in writing to us at the City of Portland Bureau of Development Services, 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201. There will be no public hearing.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. You may also find additional information about the City of Portland and City Bureaus, as well as a digital copy of the Portland Zoning Code, by visiting the City’s homepage on the Internet at www.portlandonline.com.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

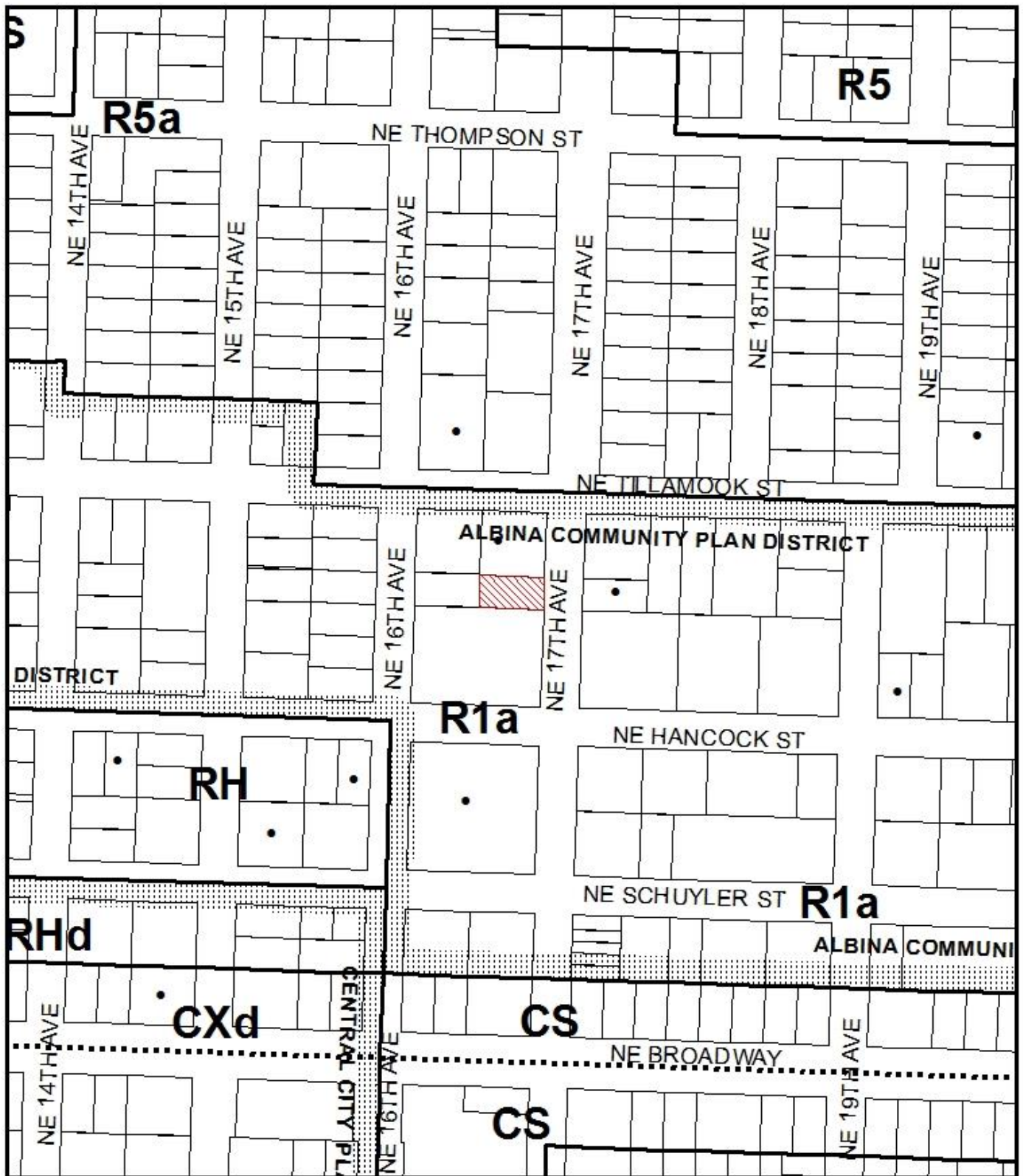
Appeal Process

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem OR 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues which may provide the basis for an appeal to LUBA must be raised in writing before the deadline for comments, or you may not be able to raise that issue in an appeal. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map
South Elevation
Fiber Clad Window Details
Aluminum Clad Window Details



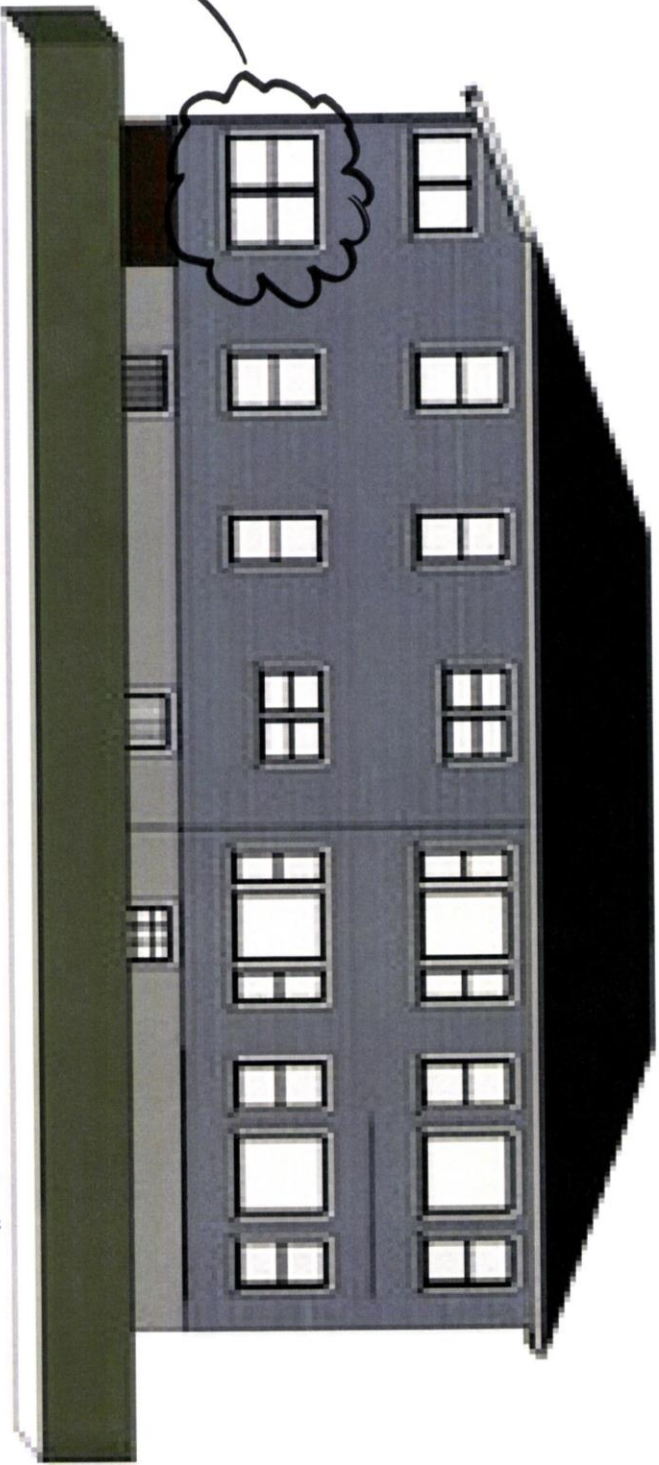
ZONING

-  Site
-  Historic Landmark



This site lies within the:
ALBINA COMMUNITY PLAN DISTRICT
IRVINGTON HISTORIC DISTRICT

| | |
|-------------|--------------------------|
| File No. | <u>LU 16-291166 HR</u> |
| 1/4 Section | <u>2832</u> |
| Scale | <u>1 inch = 200 feet</u> |
| State_Id | <u>1N1E26DC 70001</u> |
| Exhibit | <u>B (Dec 29, 2016)</u> |



Proposed South Elevation

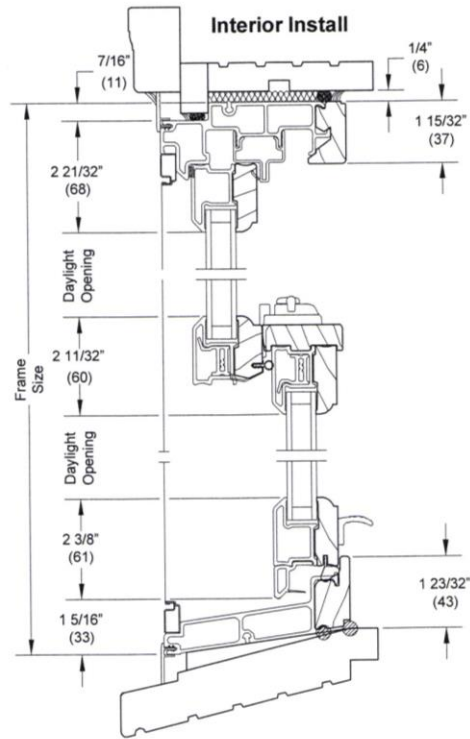
SCALE = 1/8" = 1'-0"

Window to be replaced.

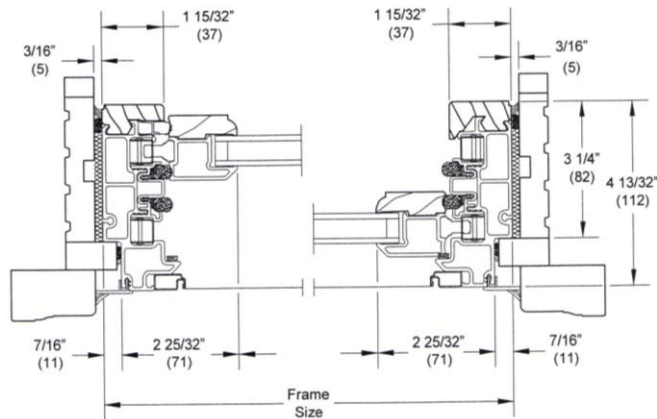


WOOD-ULTREX INSERT DOUBLE HUNG

SECTION DETAILS: OPERATING SCALE: 3" = 1'0"



Head Jamb and Sill
8 Degree Bevel Sill
Installed in Existing Frame



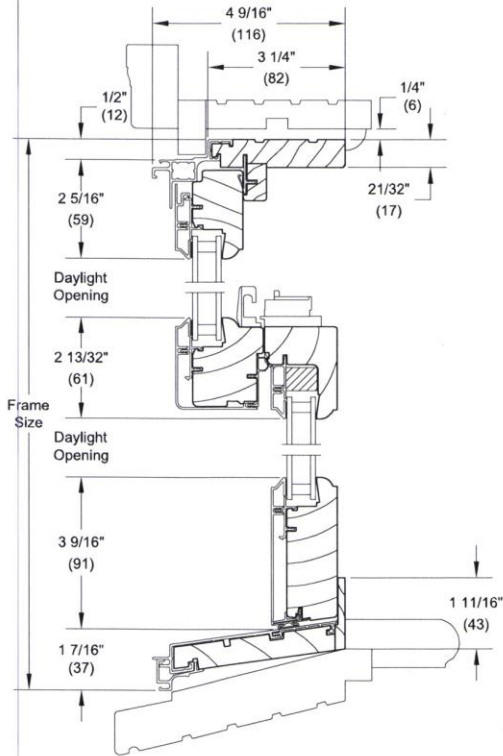
Jamb
Installed in Existing Frame

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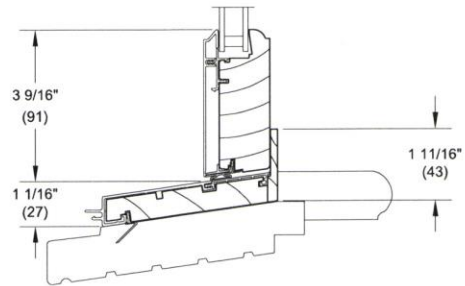
Clad Insert Double Hung

Section Details: Operating

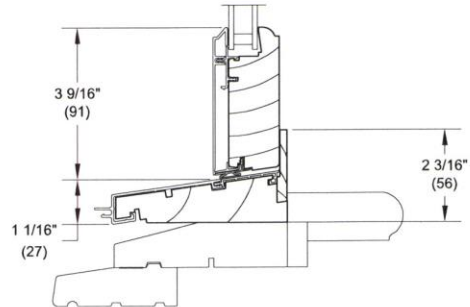
Scale: 3" = 1' 0"



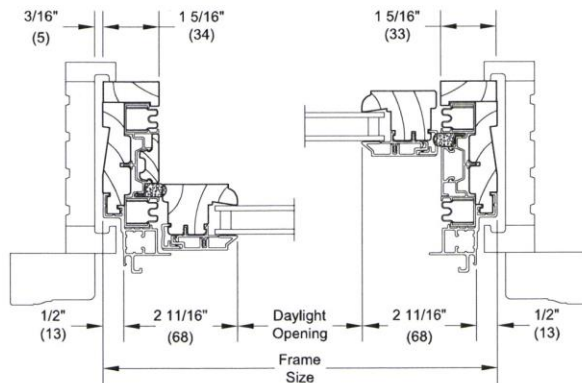
**14 Degree Bevel Sill Option
Installed in existing frame**



**8 Degree Bevel Sill Option
Installed in existing frame**



**Flat Frame Sill Option
Installed in existing frame**



**Jamb
in existing frame**