



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner  
Paul L. Scarlett, Director  
Phone: (503) 823-7300  
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[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** April 17, 2017  
**To:** Interested Person  
**From:** Rodney Jennings, Land Use Services  
503-823-5088 / [Rodney.Jennings@portlandoregon.gov](mailto:Rodney.Jennings@portlandoregon.gov)

## **NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

### **CASE FILE NUMBER: LU 17-109400 AD**

#### **GENERAL INFORMATION**

**Applicant:** Jeff Stern,  
In Situ Architecture  
811 E Burnside St #224  
Portland OR 97214

**Property Owners:** Christopher Long and Jonathan Hart  
1411 SE 36th Ave  
Portland, OR 97214

**Site Address:** 1411 SE 36TH AVE

**Legal Description:** BLOCK 55 LOT 19, SUNNYSIDE & PLAT 2 & 3  
**Tax Account No.:** R810413050  
**State ID No.:** 1S1E01AC 11400  
**Quarter Section:** 3134

**Neighborhood:** Sunnyside, contact Neil Heller at [board@sunnysideneighborhood.com](mailto:board@sunnysideneighborhood.com)  
**Business District:** Hawthorne Blvd. Bus. Assoc., contact Greg Moon at [gmoon@westernseminary.edu](mailto:gmoon@westernseminary.edu)  
**District Coalition:** Southeast Uplift, contact Leah Fisher at 503-232-0010.

**Plan District:** None

**Zoning:** R2.5 (Residential 2500)

**Case Type:** AD (Adjustment Review)  
**Procedure:** Type II, an administrative decision with appeal to the Adjustment Committee.

**Proposal:**

The applicant intends to demolish the existing house and construct a new 2-story single family house with attached garage. The south wall of the new house is proposed to be 3 feet 6 inches from the south side lot line and a roof over the front porch of the new house is proposed to be 6 feet 6 inches from the front lot line. The Portland Zoning Code requires that buildings be set back a minimum of 5 feet from side lot lines and a minimum of 10 feet from front lot lines in this zone; therefore, Adjustments are required to reduce the side setback from 5 feet to 3 feet 6 inches for the south wall of the house and to reduce the front setback from 10 feet to 6 feet 6 inches for the front porch roof.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- A. Granting the adjustment will equally or better meet the purpose of the regulation to be modified; and
- B. If in a residential zone, the proposal will not significantly detract from the livability or appearance of the residential area, or if in an OS, C, E, or I zone, the proposal will be consistent with the classifications of the adjacent streets and the desired character of the area; and
- C. If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone; and
- D. City-designated scenic resources and historic resources are preserved; and *(not applicable)*
- E. Any impacts resulting from the adjustment are mitigated to the extent practical; and
- F. If in an environmental zone, the proposal has as few significant detrimental environmental impacts on the resource and resource values as is practicable. *(not applicable)*

**ANALYSIS**

**Site and Vicinity:** The site is a 33.33 foot by 100 foot lot that is developed with an existing one story single family home built within the front and south side setbacks. The applicant intends to demolish the existing house. There is also an existing studio building towards the rear of the lot that is attached to a garage on the neighboring property to the north. A portion of this attached garage encroaches onto the applicant's property. The applicant intends to retain the studio and the encroaching garage. The neighborhood to the north, west, and east across SE 36<sup>th</sup> Avenue shares the R2.5 zoning of the subject lot. Development in this area is characterized by a mix of one and two story buildings, many built within the required front and rear setbacks of the R2.5 zone. Development type includes mostly single family dwellings, but also duplexes and multi-dwelling structures of 3 or more units. To the south, the site abuts a parking lot that is associated with a commercial structure oriented towards the business district on SE Hawthorne Boulevard. Immediately across SE 36<sup>th</sup> Avenue from the site are three single family homes on narrow lots that are similar to the existing house on the subject property. Further south, at the corner of SE 36<sup>th</sup> and Hawthorne is a small retail development that faces SE 36<sup>th</sup>.

**Zoning:** R2.5 Residential 2500 - The R2.5 zone is intended to foster single-dwelling residences. The minimum density for new lots in this zone is 1 unit per 5,000 square feet and the maximum density is 1 unit per 2,500 square feet. Both detached and attached single-dwellings are allowed. Minimum lot size for both types of development is 1,600 square feet with a minimum lot width of 36 feet, minimum front lot line of 30 feet and minimum depth of 40 feet.

There is no required minimum lot width or front lot line for lots that are developed with structures that meet certain additional development standards related to design.

**Land Use History:** City records indicate there are no prior land use reviews for this site.

**Agency Review:** A “Notice of Proposal in Your Neighborhood” was mailed **March 17, 2017**. The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services (Exhibit E.1)
- Portland Bureau of Transportation (Exhibit E.2)
- Site Development Section of Bureau of Development Service (Exhibit E.3)
- Life Safety Division of Bureau of Development Services (Exhibit E.4); and
- Fire Bureau (Exhibit E.5)

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on March 17, 2017. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

## ZONING CODE APPROVAL CRITERIA

Adjustment requests will be approved if the review body finds that the applicant has shown that approval criteria A. through F. below have been met.

- A.** Granting the adjustment will equally or better meet the purpose of the regulation to be modified; and

**Findings:** The purposes for the setback regulations are found in Zoning Code Section 33.110.220.

Purpose: The building setback regulations serve several purposes:

- They maintain light, air, separation for fire protection, and access for fire fighting;
- They reflect the general building scale and placement of houses in the City’s neighborhoods;
- They promote a reasonable physical relationship between residences;
- They promote options for privacy for neighboring properties;
- They require larger front setbacks than side and rear setbacks to promote open, visually pleasing front yards;
- They provide adequate flexibility to site a building so that it may be compatible with the neighborhood, fit the topography of the site, allow for required outdoor areas, and allow for architectural diversity; and
- They provide room for a car to park in front of a garage door without overhanging the street or sidewalk, and they enhance driver visibility when backing onto the street.

Staff has considered all purpose statements and has addressed only those considered applicable to this project.

- *They maintain light, air, separation for fire protection, and access for fire fighting;*

#### South Side Setback

The south wall of the new house that will extend into the side setback is 1-story in height and therefore will not block light and air for the commercial development to the south of the site. Access for firefighting is considered to be maintained due to the Fire Bureau's response of "no concerns". Separation for fire protection will be addressed through Building Code requirements that apply at time of building permit.

#### Front Setback

The front porch roof is a flat canopy design that is 3 feet wide by 4 feet deep and will extend 3 feet 6 inches into the front setback. The porch will be open to the air below the canopy. The small dimensions of the canopy will block light only below the porch and in a limited area of the front yard of the home and have no impact on light falling on adjacent properties. Access for firefighting is considered to be maintained due to the Fire Bureau's response of "no concerns". Separation for fire protection will be addressed through Building Code requirements that apply at time of building permit.

- *They reflect the general building scale and placement of houses in the City's neighborhoods;*
- *They promote a reasonable physical relationship between residences;*

#### South Side Setback

The south side of this lot is adjacent to a commercial zone. Because of this, this site functions as an edge to the residential neighborhood where the pattern of building scale and placement of houses ends. At 1 story, the portion of the house that is proposed to extend 1½ feet within the 5-foot required south side setback is not out of character with the surrounding neighborhood, where nearby 1 and 2 story structures extend into the required setbacks. Its placement closer to the south lot line is also not out of character, given that it does not abut against other residences. While residential uses are allowed in commercial zones, there is no expectation that a residence will locate south of this lot and thus the purpose of providing a reasonable physical relationship between residences is not applicable in this context.

#### Front Setback

The proposed scale and placement of the new house are similar to the scale and placement typical in the City's neighborhoods. Reflective of the general building scale, the bulk of the house meets the front setback, height and building coverage standards in the zoning code. The front porch canopy, with a width of 3 feet along the front of the house, a depth of 4 feet from the façade, and a thickness from top to bottom of less than 1 foot, adds no appreciable increase to the scale of the building and no significantly perceptible change to its physical relationship to other residences.

- *They promote options for privacy for neighboring properties;*

#### South Side Setback

The property south of the site is zoned commercial and is developed with a parking lot. A perimeter landscape buffer on the adjacent site separates the parking area from the subject lot. Four windows are located on the single story south facing wall proposed within the side setback. To the extent that protection of privacy is necessary for the adjacent parking lot, it will be provided by the existing perimeter landscape buffer.

#### Front Setback

The front porch canopy will provide a cover over the main entrance to the house and will have no discernible impacts on options for privacy.

- *They require larger front setbacks than side and rear setbacks to promote open, visually pleasing front yards;*

#### Front Setback

The front porch canopy will cover the 3-foot wide by 4 foot deep open area in front of the main entrance to the new home. The remainder of the front yard will be dedicated as planting area and accessible open area along the front of the house. Because it is open, the area under the canopy will appear as part of the accessible open area along the front of the house.

- *They provide adequate flexibility to site a building so that it may be compatible with the neighborhood, fit the topography of the site, allow for required outdoor areas, and allow for architectural diversity; and*

#### South Side Setback

This lot is 33.33 feet wide, which is relatively narrow, but not atypical in the surrounding neighborhood, where lots this width or narrower are common. It is also not uncommon for houses and other buildings in this neighborhood to extend into the required side setbacks on these narrow lots. Nor is it uncommon in this neighborhood for residential development to be located in the side setback when it is adjacent to commercial development oriented towards Hawthorne Boulevard or the side streets immediately off Hawthorne. The residence on the adjacent lot to the north of this site is situated about 2 feet from the lot line that abuts the subject lot. The proposed new house is sited on the subject lot to maintain the required 5-foot setback along the north lot line. The lot south of the subject lot, where the side setback adjustment is requested, is zoned commercially and is developed with a parking lot. Approval of the south side setback Adjustment will allow the house to be sited closer to adjacent commercial property, similar to and compatible with other residential buildings in the area. The Adjustment also allows for architectural diversity by providing space to extend the first level of the home out from the second level to create more interesting front and south facing facades.

#### Front Setback

The bulk of the house will be located outside of the required front setback. The front porch canopy roof will have a visual impact that is equal or less than compatible architectural features that would be allowed by right in the setback. Comparatively, for example, a 3-foot wide canopy extending 3½ feet into the setback would have an impact equal or less than eaves that could extend by right for two feet into the setback along the full length of the house.

For the reasons described above, the Adjustments to the south side setback and front setback both equally or better meet the purpose of the setback regulations. This criterion is met.

- B.** If in a residential zone, the proposal will not significantly detract from the livability or appearance of the residential area, or if in an OS, C, E, or I zone, the proposal will be consistent with the classifications of the adjacent streets and the desired character of the area; and

**Findings:** Structures within the front and side setbacks are not uncommon in the surrounding neighborhood. It is also not uncommon in this neighborhood for residential development to be located in the side setback when adjacent to the commercial development oriented towards Hawthorne Boulevard or the side streets immediately off Hawthorne. The south side of the lot where the setback adjustment is requested abuts the parking lot of a commercial development on a commercially zoned lot. The single story wall of the new home that will extend into the side setback will face this parking lot and be partially screened by the established perimeter landscaping for the parking lot. The porch roof that will extend into the front setback will provide an overhang over the front door and will add interest to the otherwise flat façade of the new house. The porch roof will also enhance the presence from the street of the front doorway by helping to visually define it as the main entrance to the house. For these reasons, and those described in detail above under findings for Criterion A, the proposal does not significantly detract from the livability or appearance of the residential area. This criterion is met.

- C.** If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone; and

**Findings:** Two Adjustments have been requested. The overall purpose of the single-dwelling zones is to preserve land for housing and to provide housing opportunities for individual households. The proposal to reduce the required front and south side setbacks does not prevent the site or structure from providing housing opportunities. The requested Adjustments maintain consistency with the purpose of the single-dwelling development standards which is to preserve the character of neighborhoods. This criterion is met.

- D.** City-designated scenic resources and historic resources are preserved; and

**Findings:** City designated resources are shown on the zoning map by the ‘s’ overlay; historic resources are designated by a large dot, and by historic and conservation districts. There are no such resources present on the site. Therefore, this criterion is not applicable.

- E.** Any impacts resulting from the adjustment are mitigated to the extent practical; and

**Findings:** There are no discernible impacts that would result from granting the requested adjustment. This criterion is met.

- F.** If in an environmental zone, the proposal has as few significant detrimental environmental impacts on the resource and resource values as is practicable;

**Findings:** Environmental overlay zones are designated on the Official Zoning Maps with either a lowercase “p” (Environmental Protection overlay zone) or a “c” (Environmental Conservation overlay zone). As the site is not within an environmental zone, this criterion is not applicable.

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of

Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

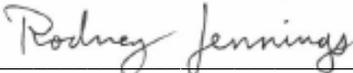
The applicant proposes a new house, with a design that integrates well with the surrounding neighborhood patterns. The one story wall on the south side of the house extends towards the commercial area south of the property where the impact on the residential neighborhood is minimized. The proposed front porch roof canopy helps define the main entrance to the house while maintaining the open feeling of the front yard of the house. As proposed, the request is able to meet the relevant criteria and should be approved.

## ADMINISTRATIVE DECISION

**Approval of Adjustments** to reduce the south side setback for a new house from 5'-0" to 3'-6" and the front setback for a front porch roof from 10'-0" to 6'-6" (33.110.220.B/Table 110-3), as shown on the approved plans and drawings, Exhibits C.1 through C.3, all signed and dated April 13, 2017, and subject to the following condition:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.3. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 17-109400 AD . No field changes allowed."

**Staff Planner: Rodney Jennings**

**Decision rendered by:**  **on April 13, 2017.**

By authority of the Director of the Bureau of Development Services

**Decision mailed: April 17, 2017**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on January 23, 2017, and was determined to be complete on March 13, 2017.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on January 23, 2017.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: July 11, 2017.**

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Adjustment Committee, which will hold a public hearing. Appeals must be filed **by 4:30 PM on May 1, 2017** at 1900 SW Fourth Ave. Appeals can be filed at the 5<sup>th</sup> floor reception desk of 1900 SW 4<sup>th</sup> Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Adjustment Committee is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Adjustment Committee an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **May 2, 2017**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034. For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

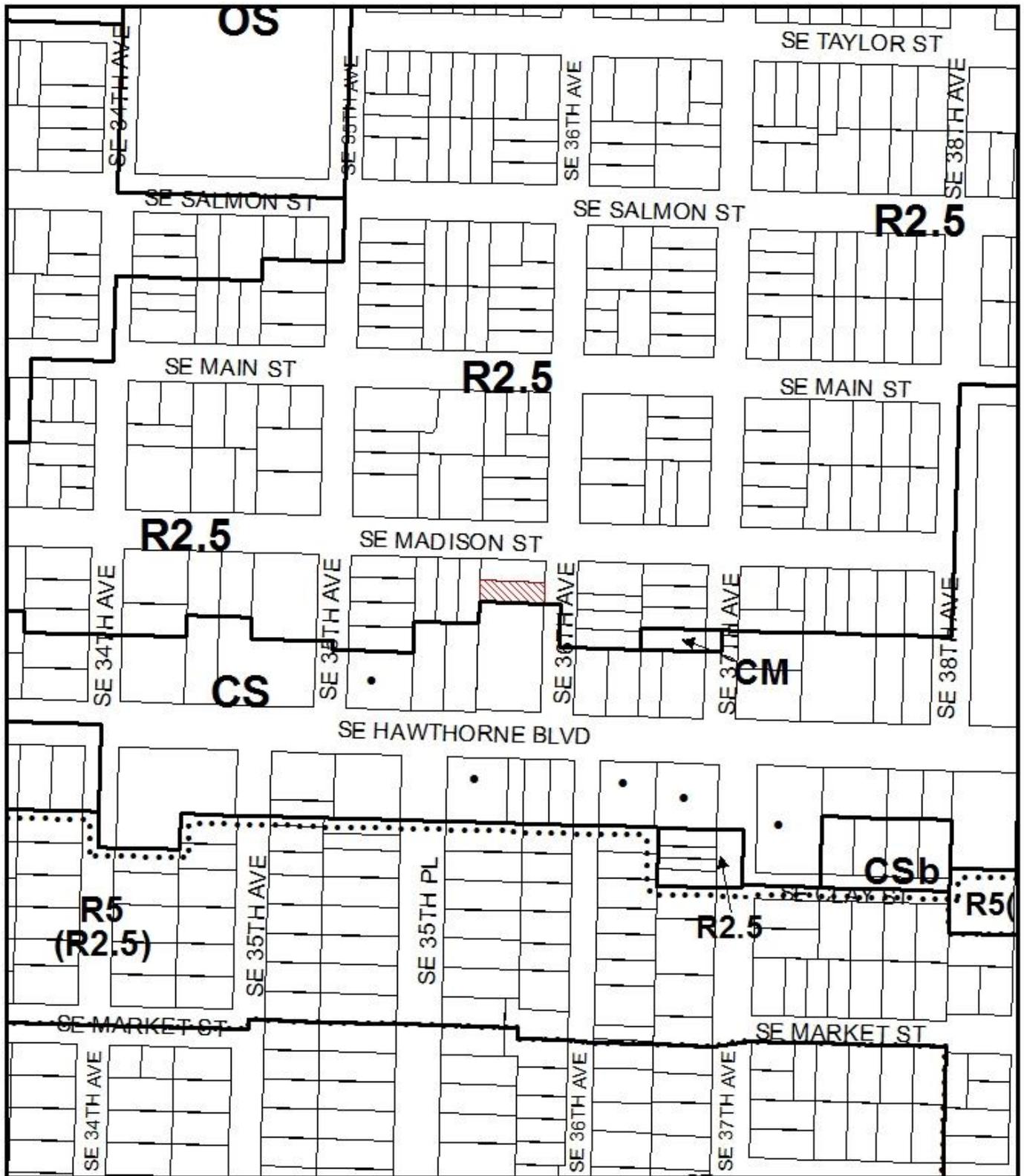
#### **EXHIBITS**

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statements
  1. Original narrative and plans, received 1/23/17
  2. First revised narrative and plans, received 2/23/17
  3. Second revised narrative, received 3/13/17
- B. Zoning Map (attached)
- C. Plans/Drawings:
  1. Site Plan/Main Floor Plan (attached)

2. Upper Floor Plan (attached)
  3. Exterior Elevations (attached)
  4. Large, scalable site/main floor plan
  5. Large, scalable elevations
- D. Notification information:
1. Mailing list
  2. Mailed notice
- E. Agency Responses:
1. Bureau of Environmental Services
  2. Portland Bureau of Transportation
  3. Site Development
  4. Life Safety
  5. Fire Bureau
- G. Other:
1. Application form and receipt
  2. Incomplete letter, sent 2/8/17
  3. Permit records-various

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**



# ZONING

-  Site
-  Historic Landmark



File No.	LU 17-109400 AD
1/4 Section	3134
Scale	1 inch = 200 feet
State_Id	1S1E01AC 11400
Exhibit	B (Jan 27, 2017)

LU 17-109400 AD  
Exhibit C.1

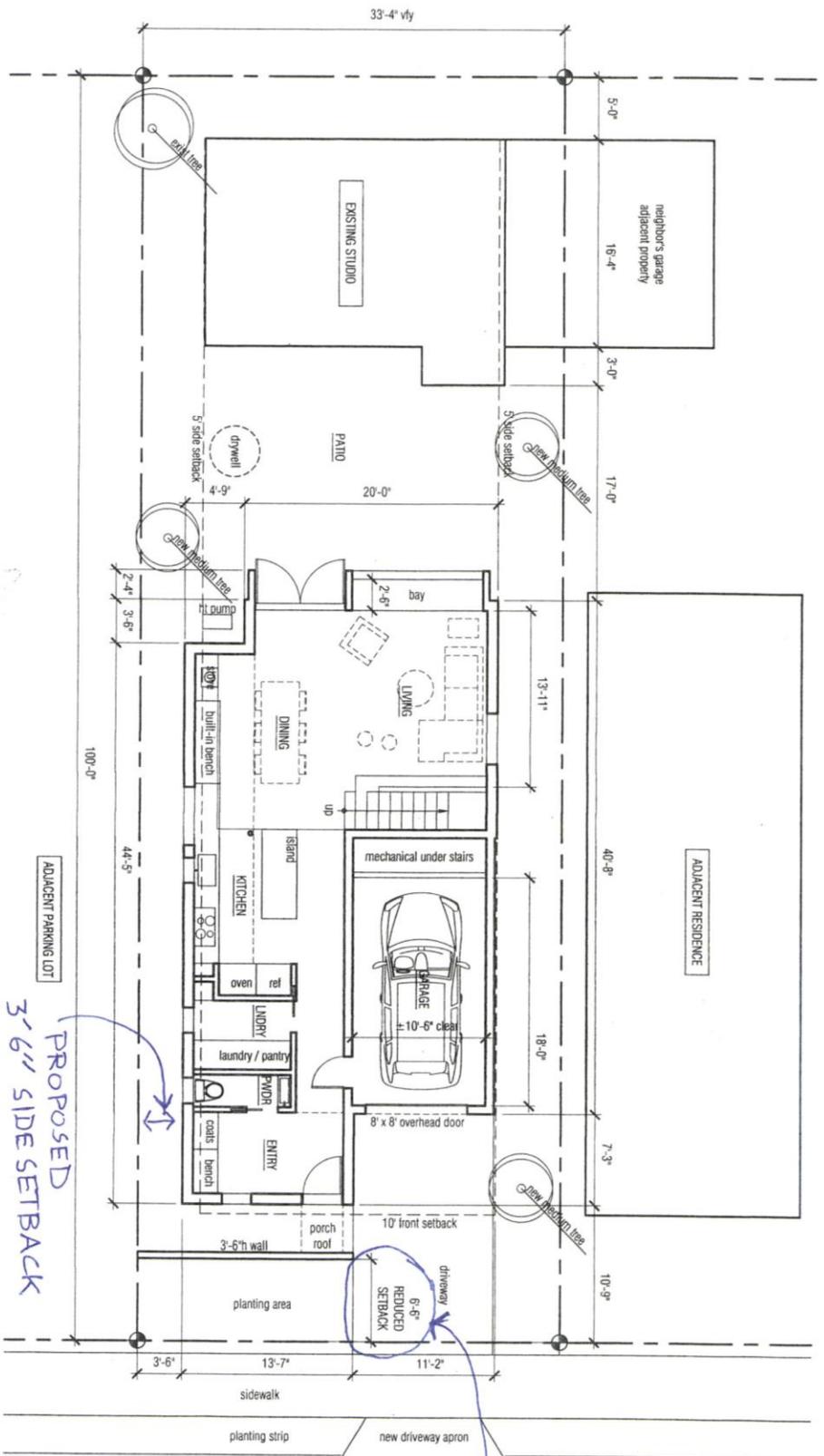
1411 SE 36

LAND USE REVIEW / ADJUSTMENT: REVISED MAR 13, 2017

**\*Approved\***  
 City of Portland - Bureau of Development Services  
 Planner Rosary Jennings Date 4/13/2017  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

IN SITU ARCHITECTURE

A1



PROPOSED  
3'-6" SIDE SETBACK

PROPOSED 6'6" FRONT PORCH SETBACK

**BUILDING COVERAGE SUMMARY**  
 3300 sf site area  
 1625 sf allowable coverage  
 1623 sf proposed coverage  
 (1143 sf new residence footprint + 482 sf existing studio / garage footprint)

**BUILDING AREA SUMMARY**  
 865 sf main floor  
 813 sf upper floor  
 1078 sf total (two garage)  
 247 sf garage

**STORMWATER**  
 STORMWATER WILL BE MANAGED 100% ON-SITE THROUGH THE USE OF DOWNSPOUTS PIPED TO A DRYWELL. FINAL SIZING AND LOCATION TO BE DETERMINED PRIOR TO PERMIT SUBMITTAL.

**UTILITIES**  
 SEWER CONNECTION TO BE DETERMINED. ELECTRICAL SERVICE LOCATION TO BE DETERMINED BY PGE. EXISTING WATER METER SIZE TO BE CONFIRMED. NEW PIPING TO BE PROVIDED FROM METER TO HOUSE - FINAL ROUTING TO BE DETERMINED.

**TREES (PER 11.50.050)**  
 REQUIRED TREE AREA = 40% OF 3300 SF = 1320 SF  
 PROPOSE 3 MEDIUM TREES X 500 SF = 1500 SF

**SITE PLAN / MAIN FLOOR PLAN**

CASE NO. LU 17-109400AD  
EXHIBIT C.1

SE 36TH AVE

LU 17-109400 AD  
Exhibit C-2

1411 SE 36

LAND USE REVIEW / ADJUSTMENT: REVISED MAR 13, 2017

**\*Approved\***  
**City of Portland - Bureau of Development Services**

Planner Rodney Jennings Date 4/13/17

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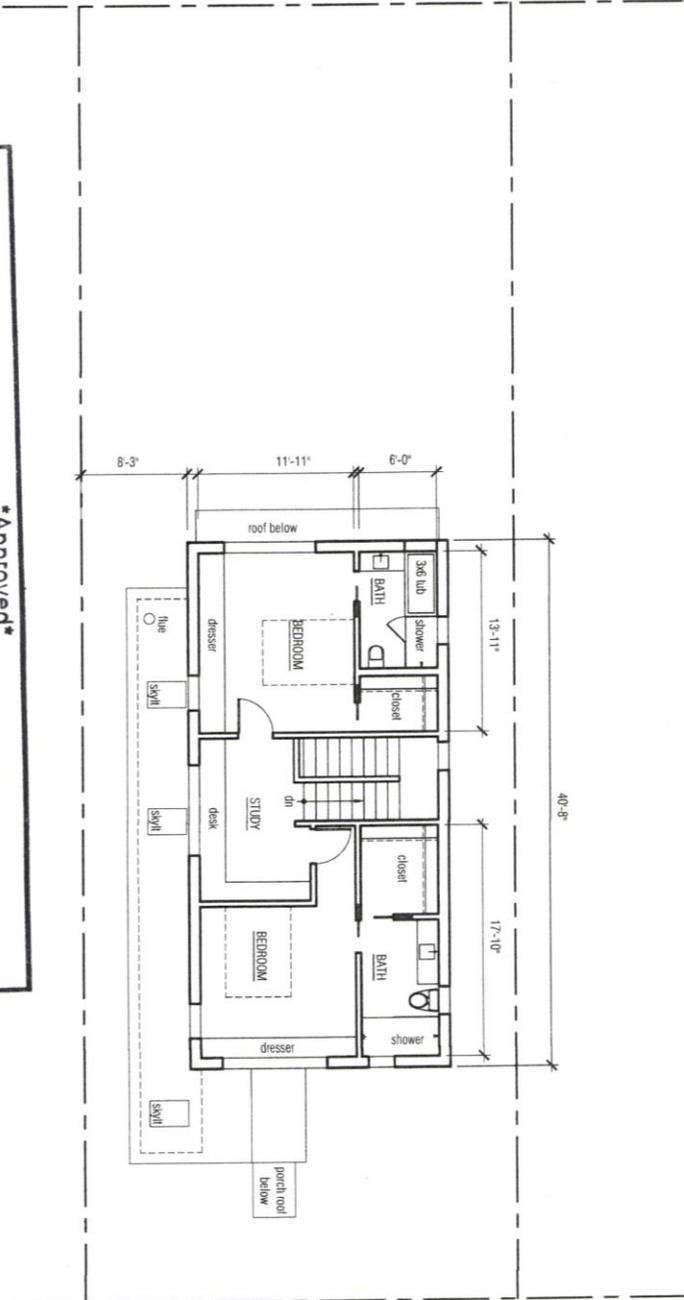
UPPER FLOOR PLAN



A2

IN SITU ARCHITECTURE

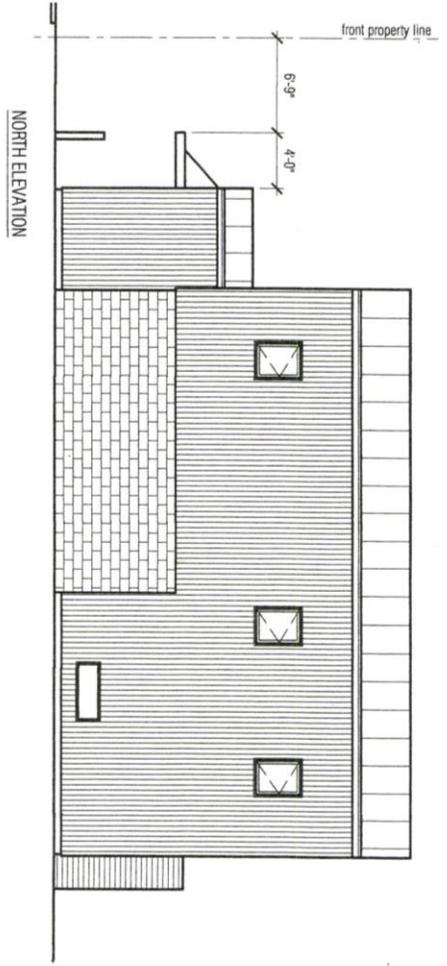
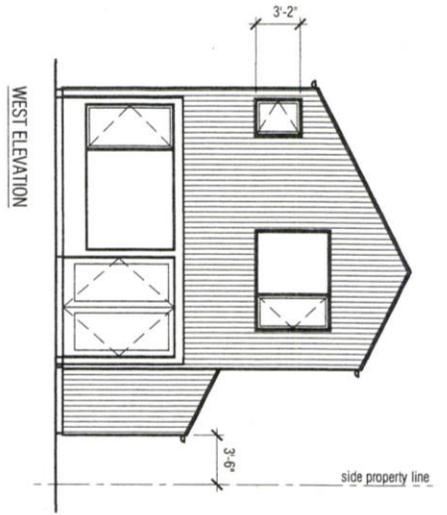
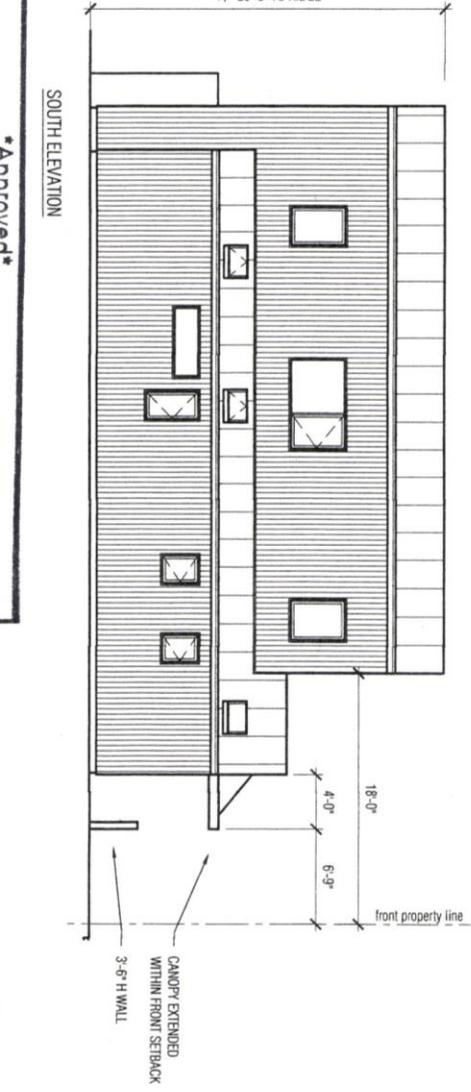
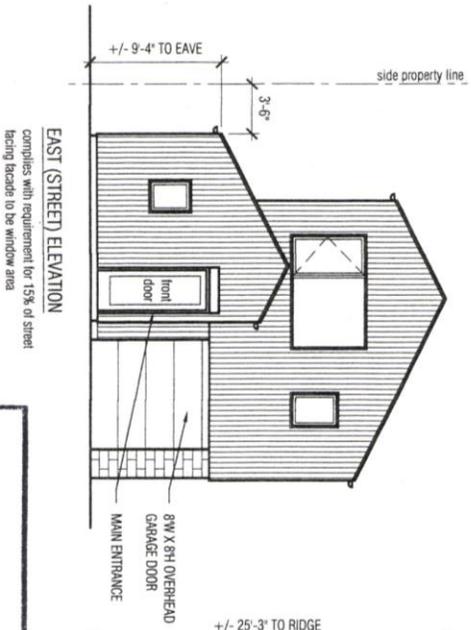
CASE NO. LU 17-109400 AD  
EXHIBIT C-2



W 17-109400 AD  
 Exhibit C.3

1411 SE 36

LAND USE REVIEW / ADJUSTMENT: REVISED MAR 13, 2017



**Approved\***  
 City of Portland - Bureau of Development Services  
 Planner Robyn Jennings Date 4/13/17  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

EXTERIOR ELEVATIONS  
 Scale 1/8" per foot (1x17)

A3

IN SITU ARCHITECTURE

CASE NO. W 17-109400 AD  
 EXHIBIT C.3