



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Interim Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: May 9, 2017
To: Interested Person
From: Morgan Steele, Land Use Services
503-823-7731/Morgan.Steele@portlandoregon.gov

NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on May 30, 2017**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 17-156961 GW, in your letter. It also is helpful to address your letter to me, Morgan Steele. You can also e-mail your comments to me at my e-mail address identified above.

CASE FILE NUMBER: LU 17-156961 GW

Applicants: Equilon Enterprises, LLC
Po Box 4369
Houston, Tx 77210-4369

Carol Campagna | Equilon Enterprises, LLC
3800 NW Saint Helens Road
Portland, OR 97210
503/226-3571
Carol.campagna@shell.com

Representative: Noah Herlocker | Aecom
111 SW Columbia Suite 1500
Portland, OR 97201
503/475-7021
Noah.herlocker@aecom.com

Site Address: [3640 NW FRONT AVE](#)

Legal Description: TL 300 0.73 ACRES, SECTION 20 1N 1E
Tax Account No.: R941200090, R941200165
State ID No.: 1N1E20 00300
Quarter Section: 2525
Neighborhood: Northwest Industrial, contact John Savory at 503-241-1921.
Business District: Northwest Industrial, contact chair@nwindustrial.org
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Plan District: Guilds Lake Industrial Sanctuary
Other Designations: 100-year Floodplain

Zoning: *Base Zone:* Heavy Industrial (IH)
Overlay Zone: River Industrial (i)
Case Type: GW – Greenway Review
Procedure: Type II, an administrative decision with appeal to the Hearings Officer.

Proposal:

The applicant's proposal involves the systematic demolition of existing dock facilities, which include a timber approach trestle, main pier structure, two cranes, several buildings located along the main pier, pipeway along the south side of the pier, two mooring dolphins, and approximately 300 piles. Work will also include bank stabilization above the ordinary high water line (OHWL) of the Willamette River following removal of the approach trestle. No fill is proposed below the OHWL.

Work above the OHWL will begin with removal of the two cranes and any hazardous waste materials. Following this, the dock structure will be removed from the top of the structure to the base. All timber materials will be cut into lengths required for transport, segregated as necessary, and transported for proper disposal or salvage at an Oregon Department of Environmental Quality-approved upland disposal or salvage facility. Existing decommissioned fuel piping will be cut and capped at the dock bulkhead (piping was cleaned in 2009; no product remains in the lines). Containment structures will be constructed and used to prevent hazardous wastes and debris from entering the river. Demolition waste will be placed in lined trucks or similar containment and hauled off to an appropriate facility for disposal.

Once over-water structures have been cleared, all piles below the OHWL will be removed using vibratory extraction, unless the pile is too decayed or short for the clamp to grip. Broken, short, and/or decayed piles may be pulled using a clamshell or cut at the mudline and removed. Pilings will not be broken off intentionally by twisting, bending, or other deformation. This will help reduce the release of contaminants and wood debris to the water column and sediments.

Work will also include bank stabilization work above the OHWL of the river following removal of the approach trestle. Piles located above the OHWL will be manually cut to within two inches of the ground surface elevation. After piles are cut, debris (e.g., concrete, downed wood) present along the riverbank will be removed and concrete and asphalt material associated with the dock bulkhead will be removed in sections. A layer of clean bedding material will be placed along the riverbank along two transects, approximately 10 feet wide each. The bedding material will provide suitable substrate for planting. Structural fill, consisting of 12-inch, angular riprap, will be installed along each transect to reinforce the bank against wave and wake damage. The riprap will match existing bank conditions. Native landscaping will be installed to establish native cover on the bank. Approximately 1,100 square feet of riverbank will be planted with native live stakes.

The entirety of the site lies within the City's River General Greenway Overlay Zone. The Portland Zoning Code requires Greenway Review for changes to structures in the water within the Greenway Overlay zone (33.440.310(D)). In this case, the proposed dock demolition involves changes to structures in water; therefore, the work must be approved through a Greenway Review.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- **Section [33.440.350\(A\)](#) – For all greenway reviews. The Willamette Greenway design guidelines must be met for all greenway reviews.**
- **[Willamette Greenway Plan, Appendix C](#) – Willamette Greenway Design Guidelines**
- **Section [33.440.350\(F\)](#) – Development Riverward of the Greenway Setback**

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal or complete within 180 days. This application was submitted on April 19, 2017, and determined to be complete on May 3, 2017.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

APPEAL PROCESS

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Hearings Officer. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

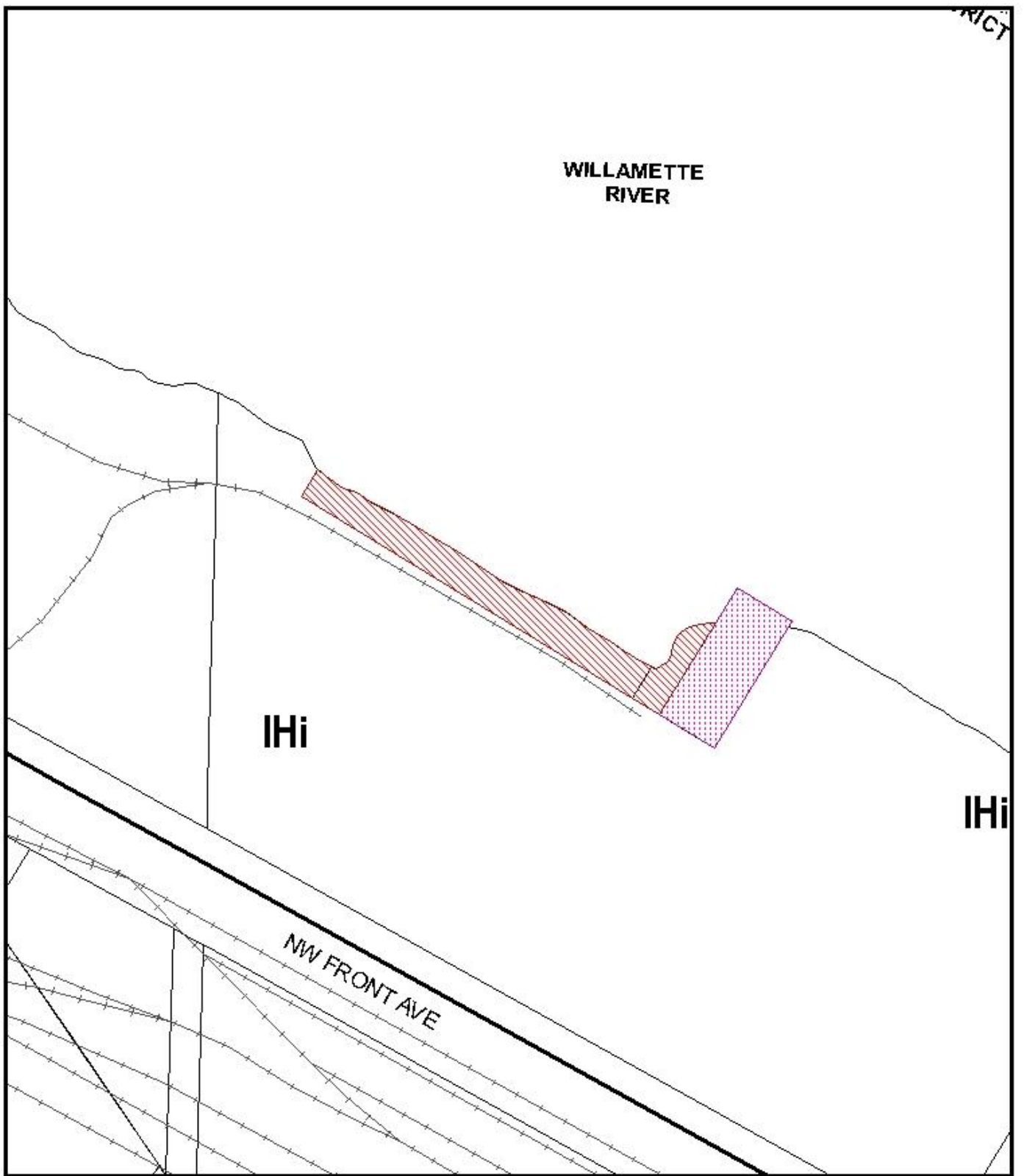
APPEAL OF THE FINAL CITY DECISION

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, which may also preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map
Site Plan



ZONING

-  Site
-  Also Owned Parcels

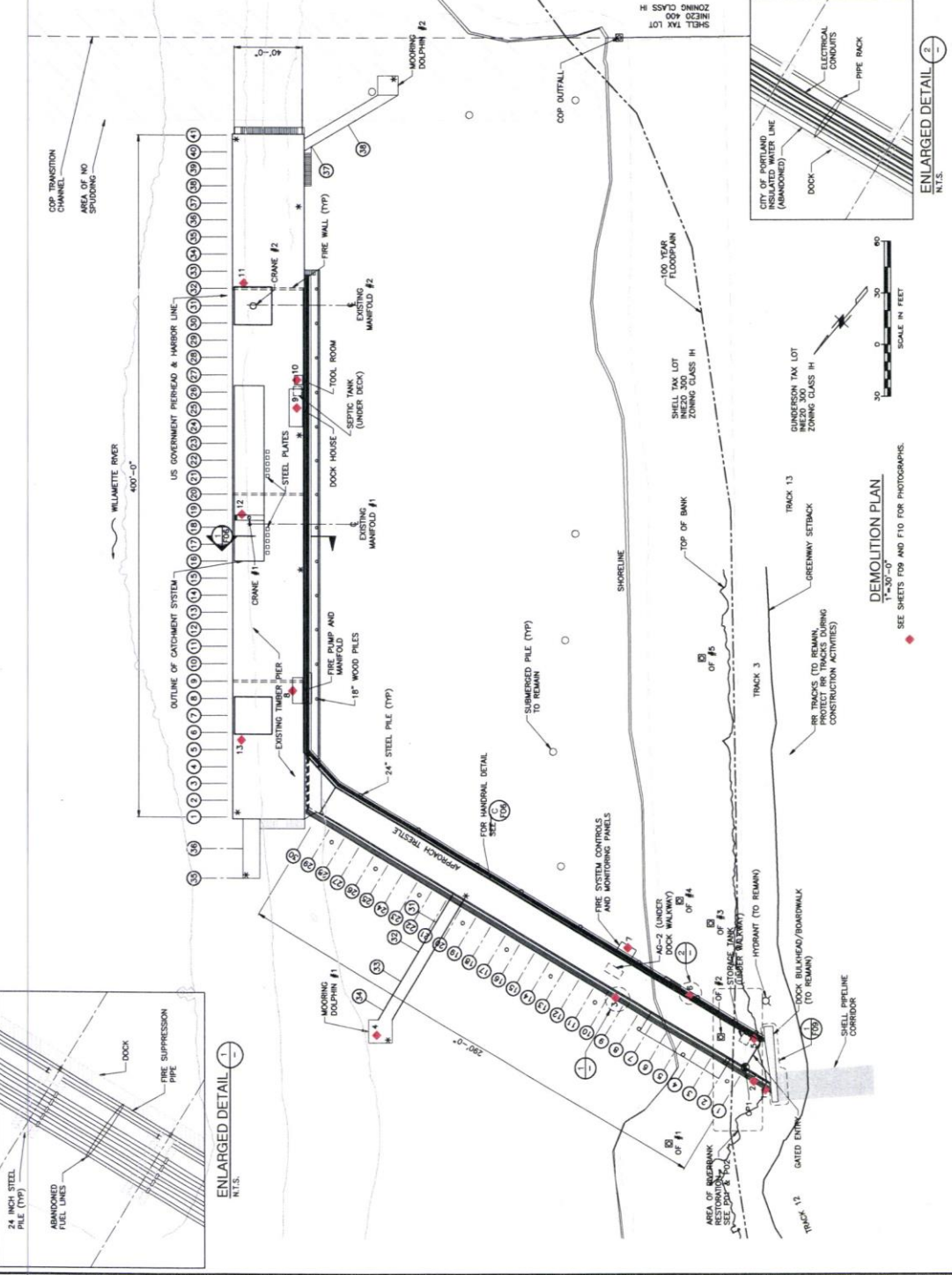


This site lies within the:
GUILD'S LAKE INDUSTRIAL SANCTUARY PLAN DISTRICT

File No.	LU 17-156961 GW
1/4 Section	2525
Scale	1 inch = 200 feet
State_Id	1N1E20 300
Exhibit	B (Apr 20, 2017)

- ENGINEERING CONTROLS, IDENTIFIED IN SHEET P1A, INCLUDING INSTALLING A FLOATING DEBRIS BOOM, COATING ALL UTILITIES, AND INSTALLING TEMPORARY SECURITY FENCING SHALL BE COMPLETED BEFORE DOCK REMOVAL ACTIVITIES BEGIN. BEST MANAGEMENT PRACTICES USED ON A DAILY BASIS AND REMOVE ANY DEBRIS FROM BEHIND THE BOOM BEFORE BEGINNING WORK OR REMOVING THE BOOM FROM THE WATER.
- THE CONTRACTOR SHALL CONDUCT A PRE- AND POST-CONSTRUCTION BATHYMETRIC SURVEY TO ESTABLISH WORKING CONDITIONS WITHIN THE PROJECT LIMITS. TOPOGRAPHIC AND BATHYMETRIC SURVEYING SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SURVEYING AND MAPPING AND EM-110-2-1003, RESPECTIVELY. BATHYMETRIC SURVEY SHALL BE CONDUCTED DURING A PERIOD OF HIGH-TIDE FOR THE BEST RESOLUTION AND COVERAGE.
- ALL ENGINEERING CONTROLS SHALL BE INSTALLED PRIOR TO COMPLETING ANY DEMOLITION RELATED ACTIVITIES.
- PRIOR TO THE DEMOLITION OF THE PRIMARY DOCK STRUCTURE, A THROUGH-SITE INVESTIGATION (TSI) SHALL BE CONDUCTED TO IDENTIFY AND CHARACTERIZE ALL POTENTIAL CONTAMINANTS, INCLUDING ASBESTOS, LEAD, CHROMIUM, AND CHROMIUM-BASED PAINT. EQUIPMENT AND MATERIALS SHALL BE STORED IN A SECURE AND SEPARATELY IDENTIFIED AND SEGREGATED DURING DEMOLITION, FOLLOWING INDUSTRY STANDARD PROTOCOL FOR HAZARDOUS MATERIAL REMOVAL.
- PIPE, WIRE, AND OTHER UTILITY APPOINTANCES WILL BE REMOVED FOR SALVAGE TO THE EXTENT PRACTICABLE.
- RESIDUES OF DOCK, BUILDING WALLS, OR OTHER ELEMENT WILL BE ALLOWED TO REMAIN STANDING WITHOUT SUFFICIENT SUPPORT (BRACING, SHORING, LATERAL, ETC.) TO PREVENT COLLAPSE OR UNCONTROLLED FAILURE.
- DOCK DEMOLITION WILL BE COMPLETED IN A TOP-DOWN MANNER, BY MECHANICAL MEANS, INCLUDING CUTTING AND NOT ALLOWED TO ENTER THE WATER TO THE MAXIMUM EXTENT PRACTICAL.
- THE DEMOLITION WASTE WILL BE PLACED IN LINED BINS/CONTAINERS OR A CONTAINMENT BARGE, AND TRANSFERRED TO A FLAT DECK OPERATIONS BARGE USING AN EXCAVATOR OR CRANE. THE MATERIALS SHALL BE SHIPPED INTO SMALLING OPERATIONS ARE PERFORMED FROM THE DOCK, AND OFF-HAULED TO A SHEEL APPROVED FACILITY FOR DISPOSAL. ALL DEMOLITION WASTE SHALL BE STOCKPILED IN A SECURE AND SEGREGATED MANNER AND AWAY FROM SHORING DECKS.
- SEE SHEETS P1A AND P107 FOR ADDITIONAL STRUCTURAL INFORMATION FOR THE DOCK REMOVAL.
- A CONTAINMENT SYSTEM, CATCHMENTS, OR ENCLOSURE, IS NEEDED TO PREVENT BOTH LEAD-BASED PAINT AND ASBESTOS DEBRIS, OR OTHER DEBRIS GENERATED FROM DEMOLITION ACTIVITIES, FROM ESCAPING THE DOCK. ENCLOSURES TO FACILITATE ITS GATHERING FOR DISPOSAL, ENCLOSURES SHALL BE MADE UP OF COMBINATIONS OF COVER PANELS, SOFTFOAMS, SUPPORTS, SCREENS, AND TAPPS. MATERIALS MUST BE PROPERLY STORED AND SECURED. ALL DEMOLITION WASTE-AREA TAPPS MAY BE SUFFICIENT WHILE FOR ASBESTOS CONTAINING MATERIALS. THE ENCLOSURE SHALL BE A DESIGNED STRUCTURE WITH A NEGATIVE PRESSURE MAINTAINED THROUGHOUT DEMOLITION ACTIVITIES. THE CONTRACTOR SHALL PLAN TO THE OWNER OUTLINING THEIR CONSTRUCTION OPERATIONS TO PROTECT THE RIVER AND TO CONTAIN THE DEMOLITION DEBRIS.
- THE CONTRACTOR SHALL DIRECT SHROUDS AROUND WORKING AREAS AND SHALL BE ANCHORED TO THE DOCK, AS NEEDED TO CATCH DEBRIS WHEN WINDY CONDITIONS EXIST.
- TAPPS SHALL BE ANCHORED TO BARGES OR FLOO-FLOATS BELOW AND ENCLOSED THE DOCK ABOVE TO CONTAIN DEBRIS AND BOOMS SHALL BE USED TO CAPTURE FUGITIVE MATERIALS WHERE DEBRIS NETTING AND TAPPS ARE NOT ADEQUATE.
- WIPES SHALL BE IDENTIFIED WITH TAGS CONTAINING NAME, LOCATION, AND DATE. THE CONTRACTOR SHALL CONTINUALLY EVALUATE AND/OR PERFORM FIELD CHECKS TO ENSURE THE EFFECTIVENESS OF ANY CONTAINMENT.
- THE CONTRACTOR SHALL TAKE CARE DURING REMOVAL OF THE PILES TO MINIMIZE SUSPENSION OF SEDIMENT AROUND THESE ITEMS.
- THE CONTRACTOR SHALL REMOVE PILES USING THE VIBRATORY EXTRACTION METHOD TO REMOVE PILES FROM THE DOCK. THE CONTRACTOR SHALL SUBMIT A MEASUREMENT AND PHOTOS WORK PLAN TO SHEEL FOR APPROVAL, BEFORE BEGINNING THE DEMOLITION ACTIVITIES.

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GENERAL DEMOLITION NOTES:

DOCK DEMOLITION ENGINEERING DESIGN
PROPOSED DEVELOPMENT ENGINE SITE PLAN

SHELL OIL PRODUCTS
 Portland, Oregon

AECOM
 111 SW Columbia, Suite 1500
 Portland, Oregon 97201-5814
 (tel) 503-222-7200
 (fax) 503-222-4292
 www.aecom.com

NO.	DATE	BY	REVISION
B	03/23/17	BAR	BASE PERMITS SET
A	03/09/17	BAR	SUB CONTRACT DESIGN

DESIGNED:	PROJ. ENGINEER:
HWN	HWN

DRAWN BY:	APPROVED BY:
BLR	DL

CHECKED BY:	DATE:
KJB	MARCH 2017

SCALE: AS NOTED

WARNING: THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION OR AS A BASIS FOR DESIGN. SEE OTHER SHEETS FOR ALL SIZES AND SCALES.

SEE SHEETS P1A AND P107 FOR PHOTOGRAPHS.

SCALE IN FEET

DEMOLITION PLAN

ENLARGED DETAIL 1
N.T.S.

ENLARGED DETAIL 2
N.T.S.

DOCK DEMOLITION ENGINEERING DESIGN
 PROPOSED DEVELOPMENT ENGINE SITE PLAN

DRAWING NUMBER: F05
 CAD FILE NUMBER:
 SHEET: 5 OF 12
 REV: B