



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Interim Director
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www.portlandoregon.gov/bds

Date: May 10, 2017
To: Interested Person
From: Emily Hays, Land Use Services
503-823-5676 / Emily.Hays@portlandoregon.gov

NOTICE OF A TYPE I PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 21 days, **we need to receive your written comments by 5 p.m. on May 24, 2017**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 17-142289 HR, in your letter. It also is helpful to address your letter to me, Emily Hays. You can also e-mail your comments to me at my e-mail address identified above.

CASE FILE NUMBER: LU 17-142289 HR – NEW PICTURE WINDOW

Applicant: Samuel Morgan-Cleveland
2626 NE 12th Avenue
Portland, OR 97212

Site Address: **2626 NE 12th Avenue**

Legal Description: BLOCK 80 LOT 18 HISTORIC PROPERTY POTENTIAL ADDITIONAL TAX, IRVINGTON

Tax Account No.: R420416770

State ID No.: 1N1E26BD 18400

Quarter Section: 2731

Neighborhood: Irvington, contact Dean Gisvold at 503-284-3885.

Business District: North-Northeast Business Assoc, contact at chair@nnebaportland.org

District Coalition: Northeast Coalition of Neighborhoods, contact Jessica Rojas at 503-388-5030.

Plan District: None

Other Designations: Contributing Resource in the Irvington Historic District

Zoning: R5 – Residential 5,000

Case Type: HR – Historic Resource Review

Procedure: Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal:

The applicant is seeking Historic Resource Review approval to remove a glass door and full height glass planes on the front (west) façade of a contributing resource in the Irvington Historic district. The proposal includes the installation of a wood picture window, flanked by wood double hung windows to fill the width of the existing opening. The current windows and glass door were poorly installed without permits prior to the designation of the historic district, allowing water to enter and cause interior damage. The new windows will be installed below an existing lintel to retain the current alignment. The area below the new windows will be filled with clapboard siding to match existing.

Historic resource review is required because the proposal is for non-exempt exterior alterations on a resource in the Irvington Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria specified in the Portland Zoning Code. The relevant approval criteria are:

- Section 33.846.060.G - *Other Approval Criteria*

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on March 28, 2017 and determined to be complete on May 5, 2017.

Decision Making Process

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and either:

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

We will mail you a copy of our decision only if you comment in writing to us at the City of Portland Bureau of Development Services, 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201. There will be no public hearing.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. You may also find additional information about the City of Portland and City Bureaus, as well as a digital copy of the Portland Zoning Code, by visiting the City's homepage on the Internet at www.portlandonline.com.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

Appeal Process

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem OR 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues

which may provide the basis for an appeal to LUBA must be raised in writing before the deadline for comments, or you may not be able to raise that issue in an appeal. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

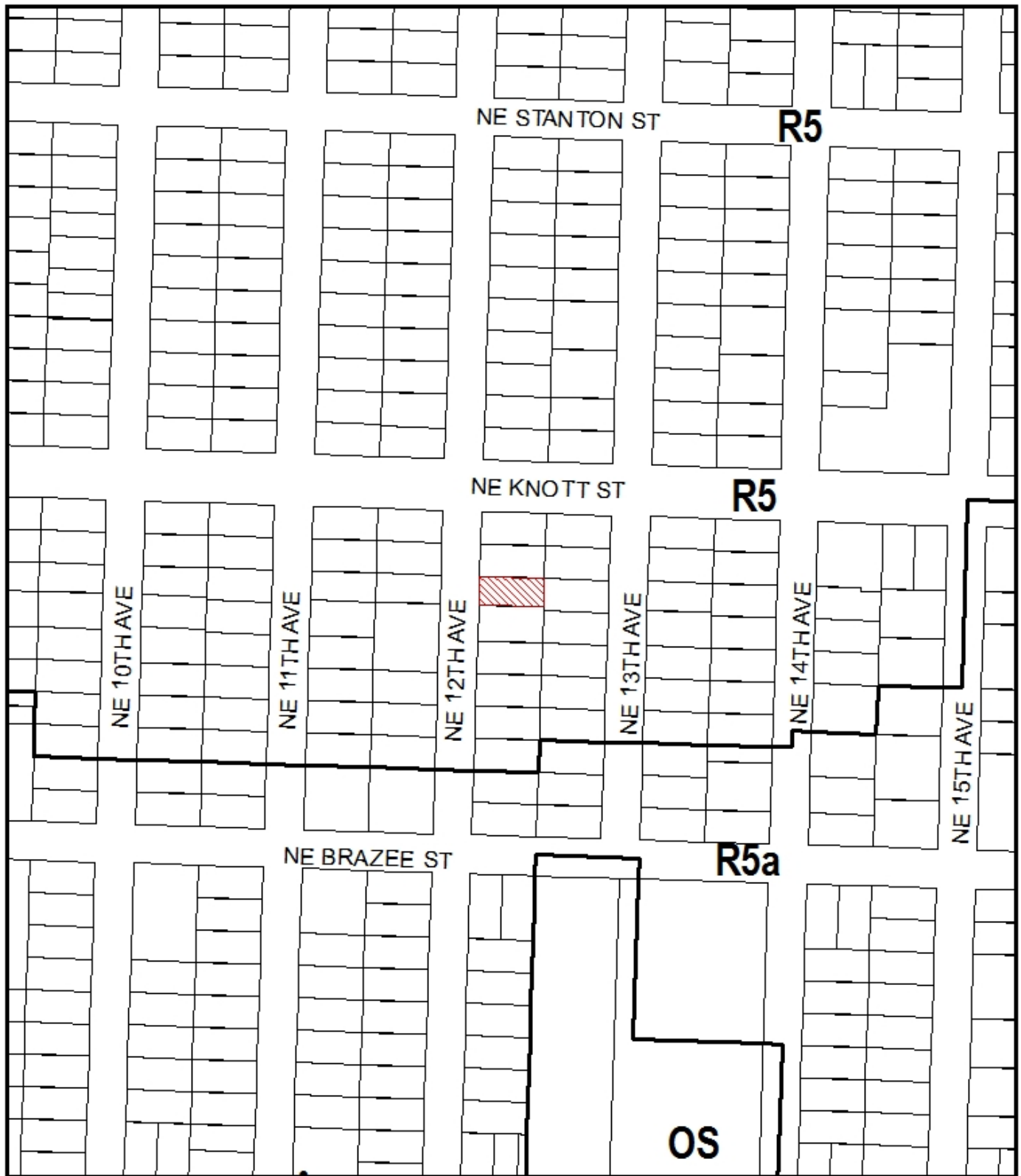
Enclosures:

Zoning Map

Site Plan

Existing West Elevation

Proposed West Elevation



ZONING



This site lies within the:
IRVINGTON HISTORIC DISTRICT

-  Site
-  Historic Landmark

File No. LU 17-142289 HR
 1/4 Section 2731
 Scale 1 inch = 200 feet
 State_Id 1N1E26BD 18400
 Exhibit B (Apr 03, 2017)

IMPERVIOUS AREA

DRIVEWAY _____
PATIO _____
SIDEWALK _____
ROOF AREA
(INCLUDING OVERHANG) _____

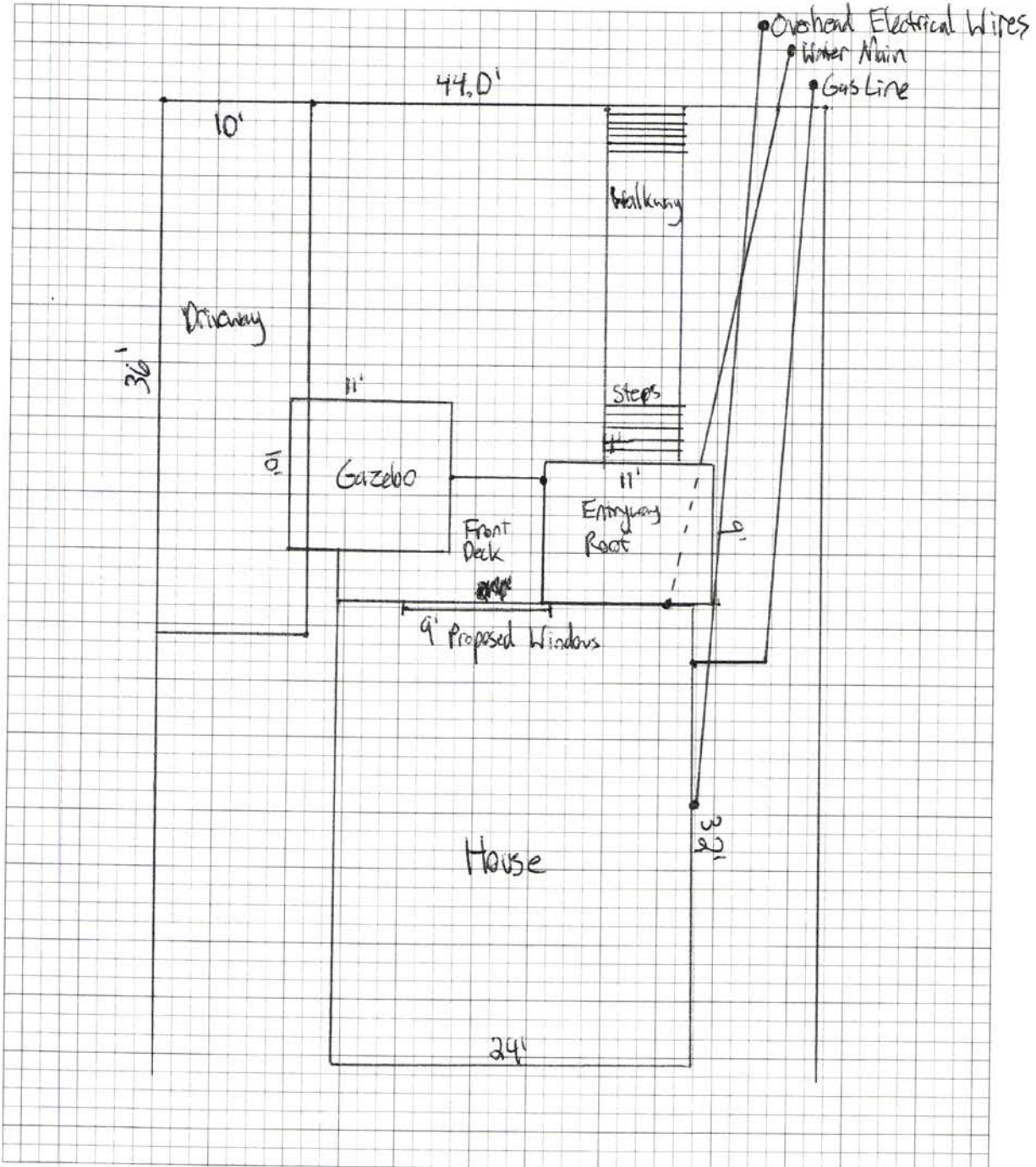
TOTAL _____

BUILDING COVERAGE

BUILDING FOOTPRINT _____

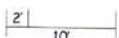
LOT AREA

LOT AREA 4400 sq. Ft.



SITE PLAN

SCALE: 1" = 10'



PROJECT LEGAL

PROJECT ADDRESS

2626 Ne 12th Ave

17-142289



NORTH

IMPERVIOUS AREA

DRIVEWAY _____
PATIO _____
SIDEWALK _____
ROOF AREA
(INCLUDING OVERHANG) _____

TOTAL _____

BUILDING COVERAGE

BUILDING FOOTPRINT _____

LOT AREA

LOT AREA _____

Current Windows and door



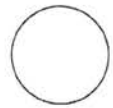
SITE PLAN

Scale: 1" = 4'

PROJECT LEGAL

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2626 NE 12th Ave



NORTH

IMPERVIOUS AREA

DRIVEWAY _____
PATIO _____
SIDEWALK _____
ROOF AREA
(INCLUDING OVERHANG) _____
TOTAL _____

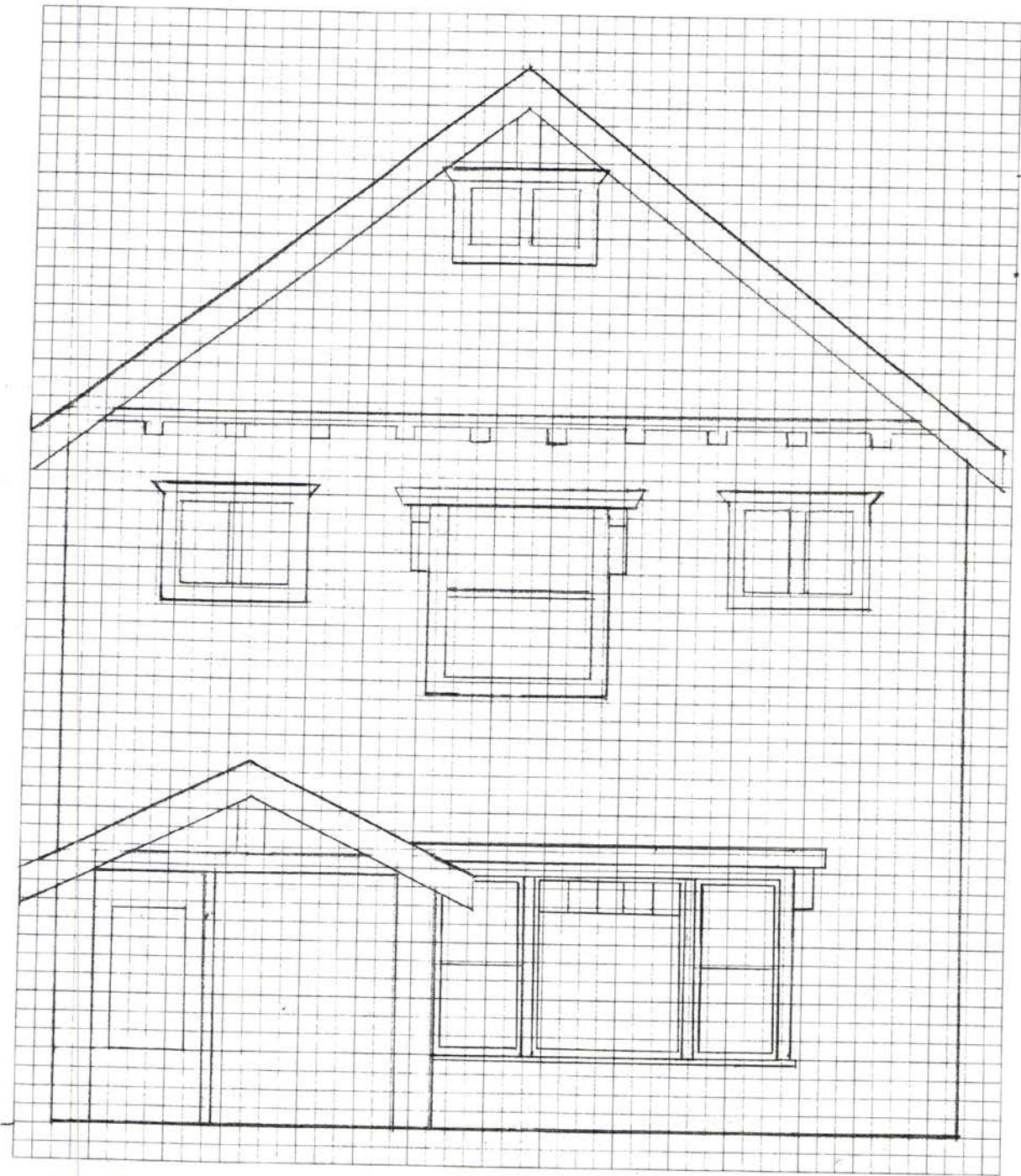
BUILDING COVERAGE

BUILDING FOOTPRINT _____

LOT AREA

LOT AREA _____

Proposed new Window



SITE PLAN

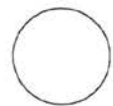
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Scale: 1"=4'

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NORTH