



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Interim Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: May 23, 2017
To: Interested Person
From: Emily Hays, Land Use Services
503-823-5676 / Emily.Hays@portlandoregon.gov

NOTICE OF A TYPE I DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 17-152312 HR - WINDOW REPLACEMENT & SKYLIGHT

GENERAL INFORMATION

Applicant: Sean W Barnett
1555 SE Holly Street
Portland, OR 97214

Owners: Sean W Barnett & Christine M Barnett
1555 SE Holly Street
Portland, OR 97214

Site Address: **1555 SE Holly Street**

Legal Description: BLOCK 14 LOT 21, LADDS ADD
Tax Account No.: R463303370
State ID No.: 1S1E02DB 13100
Quarter Section: 3232

Neighborhood: Hosford-Abernethy, contact chair@handpdx.org.
Business District: Hawthorne Blvd. Bus. Assoc., contact Greg Moon at gmoon@westernseminary.edu

District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.
Plan District: None
Other Designations: Non-contributing Resource in the Irvington Historic District

Zoning: R5 – Residential 5,000
Case Type: HR – Historic Resource Review
Procedure: Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal:

The applicant is requesting Historic Resource Review approval to replace a single-hung white vinyl window with two double-hung metal clad wood windows on the street-facing (south) façade of a non-contributing resource in Ladd's Addition. The new windows will be paired within the front gable and trimmed by a traditional painted wood trim. The applicant also proposes to install a skylight, measuring 46" by 44", on the roof above the east façade.

Historic resource review is required because the proposal is for non-exempt exterior alterations in the Ladd's Addition Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- *Ladd's Addition Conservation District Guidelines*

ANALYSIS

Site and Vicinity: The site is a 5,120 square feet parcel in the north end of Ladd's Addition, near the intersection of SE 16th Avenue and Holly Street. Ladd's Addition, established in 1988, is Portland's oldest planned community and one of the oldest in the Western United States. Ladd's radial street plan marked a dramatic break in Portland's typical grid street pattern. The street plan is arranged in a hierarchy of street types that range from broad central boulevards to narrow minor streets and service alleys. The alley system encourages residential development of garages that are accessible from the rear lot line, thereby preserving the streetscape of the main boulevards in Ladd's Addition.

The site is developed with an existing two-and-one half story house with a steeply-pitched gabled roof, featuring gabled dormers on the side elevations. The house is now sided with 8"x16" asbestos shingles that have altered the window trim and significantly affected the building's historic character. Only the original lead glass windows remain, restored by the current owner. All windows above the first level have been replaced at some point with vinyl windows.

The house is oriented with a walkway and entry porch facing SE Holly Street to the south; an alley serving SE Holly Street and Hawthorne Boulevard provides access to the garage on the north side of the lot. The surrounding area is residential, although one block to the north is the east-west Hawthorne Boulevard commercial corridor. SE Holly Street is a *Local Service Bikeway, Minor Emergency Response Street, and Local Service Walkway*.

Zoning: The Residential 5,000 (R5) single-dwelling zone is intended to preserve land for housing and to provide housing opportunities for individual households. The zone implements the comprehensive plan policies and designations for single-dwelling housing. Minimum lot size is 3,000 square feet, with minimum width and depth dimensions of 36 and 50 feet, respectively. Minimum densities are based on lot size and street configuration. Maximum densities are 1 lot per 5,000 square feet of site area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

Ladd's Addition is Portland's oldest planned residential community (1891) and one of the oldest in the western United States. Ladd's radial street plan marked a dramatic break in Portland's typical grid street pattern. With a formal symmetry echoing Renaissance cities

and gardens, the radial streets converge at five formal gardens, which are the showpieces of the community. Parking strips are lines with mature street trees, green archways of elms and maples. The architectural character of Ladd's Addition was established in the three decades following the turn of the century. Although the individual structures represent a variety of styles, including Bungalow, Mission, Tudor and Colonial Revival, they have a continuity of materials, scale, detailing, orientation and setback which creates a sense of architectural uniformity.

Land Use History: City records indicate that prior land use reviews include the following:

- LU 01-007986 HR – Historic Design Review approval for the addition of new windows to the front, east, and rear of the existing main gable and east side dormer.

Agency Review: A Notice of Proposal in your Neighborhood was mailed on **April 28, 2017**. No responses have been received.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on **April 28, 2017**. No written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846.060 - Historic Resource Review

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Ladd's Addition Historic District and the proposal is for a non-exempt treatment not requiring a new foundation. Therefore, Historic Resource Review approval is required. The approval criteria are the *Ladd's Addition Conservation District Design Guidelines – Exterior Rehabilitation*.

Staff has considered all guidelines and addressed only those applicable to this proposal.

Ladd's Addition Conservation District Guidelines – Exterior Rehabilitation

- 1. Façades Oriented to a Street.** In rehabilitating existing buildings, the architectural integrity of street-oriented façades should be maintained. Additions and structural alterations should be limited to the rear and side yard façades and be minimally visible from the street.
- 4. Front Façade Detailing.** Original entrances to buildings, front porches and projecting features, such as balconies, bays, and dormer windows should be retained or restored.
- 5. Windows and Doors.** Original windows and doors, including trim, should be retained or restored. If repair is not feasible, new windows or windows on additions should match or be compatible with original windows in form, materials, type, pattern and placement of openings. On residences, the removal of original wood sash windows and replacement with aluminum sash is especially discouraged. Restoration of commercial storefront windows with large fixed glass panes below and smaller glass panes above is especially encouraged.

Findings for 1, 4 & 5: The existing building is designated a non-contributing resource. Nearly all of the existing windows on this building have been previously replaced and are non-original. The new windows will be located 25'-30' above grade and factory painted to prevent the need for frequent maintenance. Prior to 2001, when vinyl windows were installed without approval, there were no windows within the front facing gable. The proposed installation of aluminum clad wood windows will

be more consistent with the profile of historic windows in the district than the vinyl windows currently installed in the same location. The proportion of the new windows is appropriate for the size of the front-facing gable. The windows will be trimmed with a painted wood in a manner consistent with historic construction. The wood head casing and sill with extended nose will protrude roughly 1 ½" from the exterior cladding to create additional depth. The distance above grade and non-original location on a non-contributing structure, make the aluminum clad window an appropriate and approvable option.

These guidelines have been met.

2. Exterior Siding Material. Restoration and maintenance of original siding materials is encouraged. Materials used on additions should match or be compatible with the predominant materials used on the original structure. Most single family residences and duplexes in Ladd's Addition feature stucco, horizontal wood siding, wood shingles, brick or a combination of these materials. Most commercial and multi-family structures feature stucco or brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.

Findings: The house's original siding has been replaced with 8"x16" asbestos siding, severely affecting the resource's historic character. All existing siding will remain, as noted in the window elevation and section drawings. Any siding damaged during installation will be replaced in-kind.

This guideline has been met.

3. Roof Form. Repair and alteration of roofs should retain:

- a. The original roof shape and pitch;
- b. Original structural and decorative features such as gables, dormers, chimneys, cornices, parapets, pediments, frieze boards, exposed rafters and other ornamental details; and,
- c. Whenever possible the original type, size, color, and pattern of roofing materials. New roof features including roof additions and new dormers should be compatible in size, scale, materials, and color with the original building. Skylights, solar, mechanical and service equipment, and new roof features should be inconspicuous from the street.

Findings: The proposed skylight will be deck-mounted to provide a lower profile than the alternative curb-mounted product. The medium gray color will closely match the color of the asphalt shingle roof and feature a glass with the lowest exterior visible reflectance available for the skylight proposed (8%).

The skylight measures 46" by 44" and respects the rectangular shape of the roof. At over 40', measured north to south, the roof dwarfs the visual impact of the skylight. The orientation of the opening respects the shape of the roof in proportion and orientation. The frame of the skylight is set back roughly 5' and 7' from the south and east edges of the main gable respectively. The house's distance from the street further minimizes the view from the pedestrian right of way, with a typical mid-block front setback of nearly 25'. While visible from the right-of-way along SE Holly Street, the applicant has demonstrated that the skylight's conspicuousness is minimized through design; the choice of color, minimally reflected glass, and a low profile above the roof surface mitigate the alteration.

This guideline has been met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

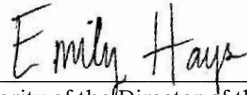
The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval to replace a single-hung white vinyl window with two double-hung metal clad wood windows on the street-facing (south) façade and install a low-profile skylight, per the approved site plans, Exhibits C-1 through C-6, signed and dated 5/19/17, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the four required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE- Case File LU 17-152312 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

Staff Planner: Emily Hays

Decision rendered by:  **on May 19, 2017.**

By authority of the Director of the Bureau of Development Services

Decision mailed May 23, 2017

Procedural Information. The application for this land use review was submitted on April 13, 2017, and was determined to be complete on April 25, 2017.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on April 13, 2017.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: August 13, 2017.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

This decision, and any conditions associated with it, is final. It may be appealed to the Oregon Land Use Board of Appeals (LUBA), within 21 days of the date the decision is mailed, as specified in the Oregon Revised Statute (ORS) 197.830. Among other things, ORS 197.830 requires that a petitioner at LUBA must have submitted written testimony during the comment period for this land use review. Contact LUBA at 775 Summer St NE Suite 330, Salem, OR 97301-1283 or phone 1-503-373-1265 for further information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Recording the final decision.

If this Land Use Review is approved, the final decision must be recorded with the Multnomah County Recorder. A building or zoning permit will be issued only after the final decision is recorded. The final decision may be recorded on or after **May 24, 2017**. The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder’s office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-7617.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

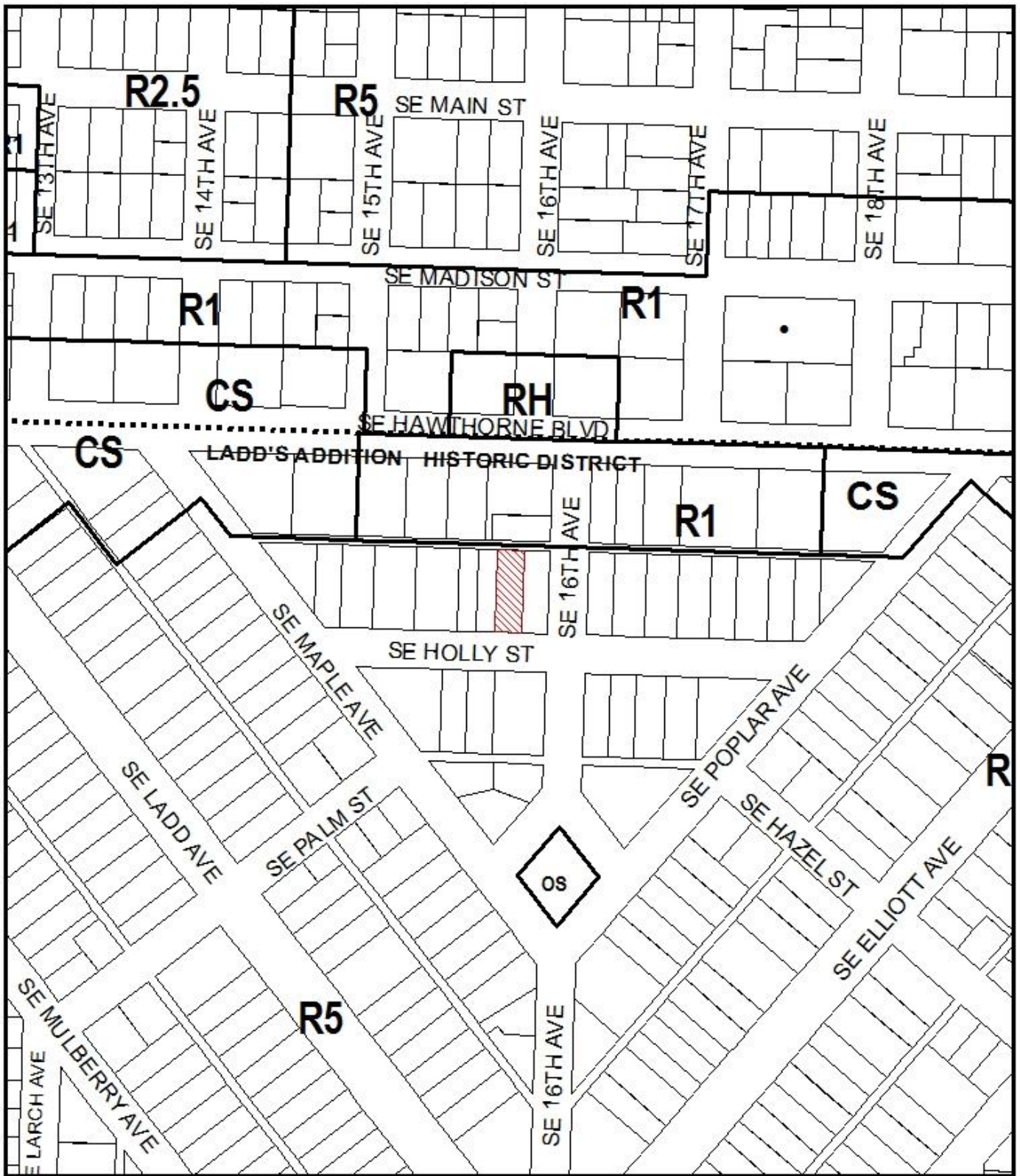
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code for the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Submittal
 - 1. Response to Approval Criteria
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Existing Elevations
 - 3. Proposed Elevations
 - 4. Window Section & Elevation
 - 5. Window Details
 - 6. Skylight Details
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses: None.
- F. Correspondence: None.
- G. Other:
 - 1. Original LU Application
 - 2. National Register of Historic Places Continuation Sheet

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING

-  Site
-  Historic Landmark



This site lies within the:
LADD'S ADDITION HISTORIC DISTRICT

File No.	LU 17-152312 HR
1/4 Section	3232
Scale	1 inch = 200 feet
State_Id	1S1E02DB 13100
Exhibit	B (Apr 17, 2017)



1555 SE Holly St
Portland, Oregon 97214
503.593.0954

**BARNETT MASTER
BATH**

1555 SE Holly St
Portland, Oregon 97214

Project #
1508

Date:
13 April 2017

Sheet Title:
Site Plan 8.5x11

Scale:
1/16" = 1'-0"

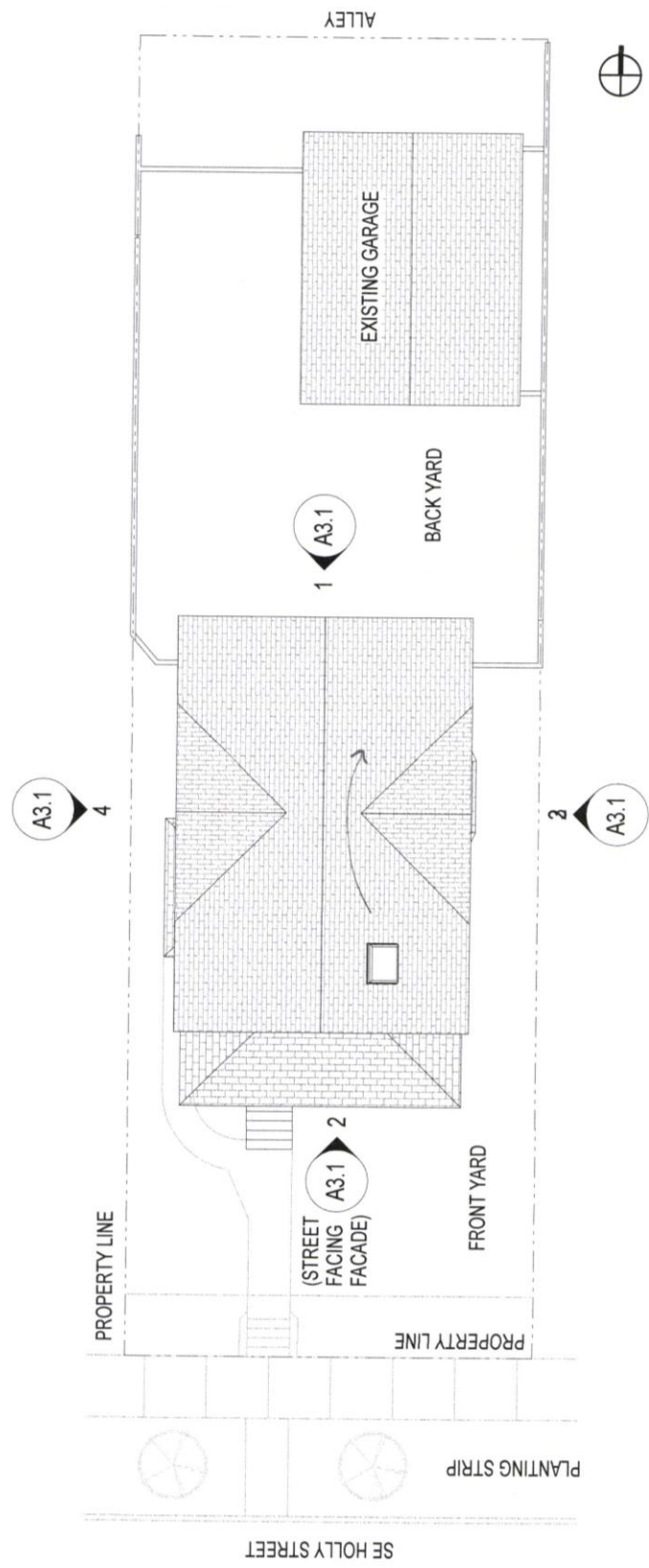
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Architecture, LLC

Approved
City of Portland - Bureau of Development Services

Planner Emily Hayes Date 5/14/17

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



NO MODIFICATIONS ARE PROPOSED TO ANY OF THE FOLLOWING:

- BUILDING FOOTPRINT
- IMPERVIOUS AREA
- UTILITIES
- LANDSCAPING
- FENCING
- GUTTERS / DOWNSPOUTS

LU 17-15-2312 HZ
EXHIBIT C1