



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
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Date: May 23, 2017
To: Interested Person
From: Tanya Paglia, Land Use Services
503-823-4989 / Tanya.Paglia@portlandoregon.gov

Notice of a Type I Decision on a Proposal in Your Neighborhood

The Bureau of Development Services has **approved** a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 16-292740 HR – EXTERIOR EGRESS STAIR REPLACEMENT

GENERAL INFORMATION

Applicant: Robert Saladoff | Robert Saladoff, Architect
3435 NE 45th Avenue, Suite B
Portland, OR 97213

Owner: Virgil Turner
Full Gospel World Evangelistic Mission - Miracle Revival Church
7946 NE 14th Avenue
Portland, OR 97211

Representative: Taka Nakagawa | The Sakura Group
1020 SE 7th Avenue, Suite 15235
Portland, OR 97214

Site Address: **2859 NE Rodney Avenue**

Legal Description: BLOCK 29 N 7.56' OF LOT 15 EXC PT IN ST E 70' OF LOT 16 EXC PT IN ST, ALBINA

Tax Account No.: R009611150

State ID No.: 1N1E27AD 06600

Quarter Section: 2730

Neighborhood: Eliot, contact Mike Warwick at 503-284-7010.

Business District: North-Northeast Business Assoc, contact at chair@nnebaportland.org

District Coalition: Northeast Coalition of Neighborhoods, contact Zena Rockowitz at 503-388-5070.

Plan District: Albina Community

Other Designations: Eliot Conservation District

Zoning: R2a, Residential 2,000 with Alternative Design Density Overlay
Case Type: HRM, Historic Resource Review with Modifications
Procedure: Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal:

The applicant is requesting historic resource review approval for exterior alterations to the Miracle Revival Church. The proposal is to construct a new exterior stair on the west side of the church to provide egress from second floor assembly areas. The existing stairs were built without a permit and will be removed. These non-compliant stairs had replaced an older egress stair removed at an unknown date.

The new stairs proposed will be enclosed at the sides with wood lap siding painted to match the church. The lap siding will be of a smooth texture with a 4" exposure to match existing siding. The new stair will be offset from the building façade to allow air and light to the lower level and to not block the existing lower level windows. A full-height fire rated door matching the existing second floor exit door will be located at the lower level of the stairs on the north elevation to provide access to the under stairs area. The Church's west facade (location of the proposal) features two stained glass windows on the second floor with segmental arches which will remain visible when the new stair is built.

Note: A building code appeal was granted on 3/8/2017 to disregard the requirement of building the stairs side walls to a height of 7'-0".

Historic Resource Review is required because the proposal is for exterior alterations in a conservation district.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- Community Design Guidelines

ANALYSIS

Site and Vicinity: The Miracle Revival Church is located at the intersection of NE Rodney and NE Stanton Streets, occupying the southwest corner. Built in 1909 as the German Methodist Episcopal Church, the building is a contributing resource in the Eliot Conservation District and sits within the Albina Community Plan District. The Eliot District is bounded by Prescott St to the North, 7th Ave to the east, Broadway to the south, and the Willamette River to the west. The 3,940 square foot corner lot is located in a primarily residential area with another church located diagonally across from the subject building in the northeast corner of the intersection.

When originally constructed, the church served the German immigrant population in the community. It is one of the many corner churches in the Albina area that reflect the different immigrant groups who settled in the area at the turn-of-the-century and built houses of worship there. The church became St. Paul Church of God in Christ in 1961 led by Bishop JC Foster and serving an African American congregation. It is a wood frame structure with wood lap siding, wide corner boards, and a rough cast stone foundation with smooth quoins. It has a cross-gable roof and its original stained glass windows are still intact on all four sides of the building. A tower on the building's northeast corner has a steep hipped roof with decorative gables, wide verge boards, boxed eaves with paired brackets, large louvered opening on all four sides and is topped by a metal cross. The tower's mid-section is shingle clad with stained glass windows. Each of these windows is topped with a segmental arch, and crown molding on all four sides. The tower is flared at the bottom of its shingled portion.

Each of the church's identical north and east facades has: a large, louvered oculus with keystone trim located in gable ends; large stained glass windows with segmental arches and 11 lights flanked by smaller windows with 9 lights; wide verge board with decorative ties; beveled rafter ends; and eave returns with triangular trim. Small entry porches are located

on the north and east facades. They feature gabled roofs, square, battered supports resting on manufactured stone half walls, heavy cross braces, wide eave boards, fanlight-shaped stained glass windows over double entry doors. The west facade (location of the proposal) features two stained glass windows with segmental arches. The south facade features one stained glass window, and a large louvered oculus in the gable end. This facade is located extremely close to its neighboring building to the south and is largely obscured from view from the vantage point of the right of way.

NE Stanton and NE Rodney are fairly busy two-way streets. Both are classified as local service walkways and bikeways. The site is in the Eliot Pedestrian District. NE Martin Luther King Blvd, a major north-south commercial corridor which is also classified as a transit priority street, is a block to the east. Dawson Park and N Williams Ave are located one block to the west. Williams Ave is characterized primarily by new multi-story residential mixed-use development, and light industrial and commercial buildings that are interspersed with older single-family homes. N Williams is designated as a Community Corridor, Transit Access Street, Neighborhood Collector Street, City Bikeway, and City Walkway in the Portland Transportation System Plan, and is also a major bicycle commuter route. Traffic runs northbound on N Williams and southbound on N Vancouver, creating a couplet in this area.

Zoning: The Residential 2,000 (R2) zone is a low density multi-dwelling zone. It allows approximately 21.8 dwelling units per acre. Density may be as high as 32 units per acre if amenity bonus provisions are used. Allowed housing is characterized by one to three story buildings, but at a slightly larger amount of building coverage than the R3 zone. The major types of new development will be duplexes, townhouses, rowhouses and garden apartments. These housing types are intended to be compatible with adjacent houses. Generally, R2 zoning will be applied near Major City Traffic Streets, Neighborhood Collector and District Collector streets, and local streets adjacent to commercial areas and transit streets. Newly created lots in the R2 zone must be at least 4,000 square feet in area for multi-dwelling development, 1,600 square feet for development with attached or detached houses, and 2,000 square feet for development with duplexes. Minimum lot width and depth standards may apply.

The Alternative Design Density “a” overlay is in place to focus development on vacant sites, preserve existing housing and encourage new development that is compatible with and supportive of the positive qualities of residential neighborhoods. The concept for the zone is to allow increased density for development that meets additional design compatibility requirements.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region’s heritage. The regulations implement Portland’s Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region’s citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city’s economic health, and helps to preserve and enhance the value of historic properties.

The Albina Community Plan District implements the Albina Community Plan. The plan district’s provisions are intended to ensure that new higher density commercial and industrial developments do not overwhelm nearby residential areas. Infill housing compatibility and affordability is encouraged by eliminating off-street parking requirements for small multi-dwelling projects. The plan district’s provisions also encourage the development of new housing along Martin Luther King Jr. Boulevard by allowing new housing projects to include ground level commercial uses that orient to King Boulevard.

The Eliot Conservation District denotes an area with common historic values significant to the neighborhood and seeks to contribute to the preservation of significant features of Portland’s development history. New development and exterior modifications to existing

development must meet the Community Design Standards (Chapter 33.218) or are subject to historic design review.

Land Use History: City records indicate there are no prior land use reviews for this site.

Agency Review: A Notice of Proposal in your Neighborhood was mailed on **March 21, 2017**. No agency review was provided given the scope of work.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on **March 21, 2017**. No written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Community Design Guidelines.

Community Design Guidelines

The Community Design Guidelines consist of a set of guidelines for design and historic design cases in community planning areas outside of the Central City. These guidelines address the unique and special characteristics of the community plan area and the historic and conservation districts. The Community Design Guidelines focus on three general categories: **(P) Portland Personality**, which establishes Portland's urban design framework; **(E) Pedestrian Emphasis**, which states that Portland is a city for people as well as cars and other movement systems; and **(D) Project Design**, which assures that each development is sensitive to both Portland's urban design framework and the users of the city.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

P1. Plan Area Character. Enhance the sense of place and identity by incorporating site and building design features that respond to the area's desired characteristics and traditions.

P2. Historic and Conservation Districts. Enhance the identity of historic and conservation districts by incorporating site and building design features that reinforce the area's historic significance. Near historic and conservation districts, use such features to reinforce and complement the historic areas.

D6. Architectural Integrity. Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

D7. Blending into the Neighborhood. Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

D8. Interest, Quality, and Composition. All parts of a building should be interesting to view, of long lasting quality, and designed to form a cohesive composition.

Findings for P1, P2, D6, D7, and D8: The proposal respects the original character and design of the existing church, and thus helps protect Albina's heritage, of which the historic subject church is an important part. The Miracle Revival Church, built in 1909 and known originally as the German Methodist Episcopal Church, is a contributing historic resource. Its historic significance will remain unchanged with the addition of the new required egress stair and the building will retain the character of the historic period in which it was built. The proposed stair will be consistent and sympathetic to the parent building – similar in scale and volume and using matching high quality materials – creating a cohesive composition.

The new stair is designed to be as minimal as possible so as not to distract from the primary structure's architectural significance. The proposed stair will be clad with painted horizontal wood clapboard siding and trim to match the existing church exterior and maintain continuity with the church's design. All existing architectural elements including siding and trim, windows and doors, roofs and entry stairs will remain intact and unchanged. The scale and integrity of the building as well as its architectural and historic significance will be maintained.

These guidelines are met.

E3. The Sidewalk Level of Buildings. Create a sense of enclosure and visual interest to buildings along sidewalks and pedestrian areas by incorporating small scale building design features, creating effective gathering places, and differentiating street level facades.

E4. Corners that Build Active Intersections. Create intersections that are active, unified, and have a clear identity through careful scaling detail and location of buildings, outdoor areas, and entrances.

D2. Main Entrances. Make the main entrances to houses and buildings prominent, interesting, pedestrian accessible, and transit-oriented.

D3. Landscape Features. Enhance site and building design through appropriate placement, scale, and variety of landscape features.

D5. Crime Prevention. Use site design and building orientation to reduce the likelihood of crime through the design and placement of windows, entries, active ground level uses, and outdoor areas.

Findings for E3, E4, D2, D3, and D5: The proposed stair, connecting the second floor assembly areas with the ground plane, will be located in the west side yard which connects to Stanton Street. Its design and use of materials will be consistent with the existing church building, maintaining the building's high level of visual interest for pedestrians. The new stairs will be a discrete addition, maintaining views of the historic church's ornate elevations while providing needed secondary egress. The stair orientation keeps the most active part of the stair visible to the street. While it will be visible from NE Stanton St through the west yard, it is a compatible, relatively small-scale addition that is required to maintain the building's use. With a 143 SF footprint, the stair will disrupt the minimum amount of landscape possible. Given its size and placement, it will not be visible from the church's main entrance along Rodney Street which will maintain its prominence and will also not be visible from the intersection of Rodney with Stanton.

These guidelines are met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposed egress stair will use high quality materials and is designed to be well integrated with the building as well as the historic neighborhood. It will not detract from the pedestrian environment or the greater sense of identity in the conservation district. The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of a new exterior stair on west side of the church to provide egress from second floor assembly areas, per the approved site plans, Exhibits C-1 through C-3, signed and dated 5/16/2017, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the four required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE- Case File LU 16-292740 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

Staff Planner: Tanya Paglia



Decision rendered by: _____ **on 5/16/2017.**

By authority of the Director of the Bureau of Development Services

Decision mailed 5/23/2017.

Procedural Information. The application for this land use review was submitted on December 29, 2016, and was determined to be complete on March 10, 2017.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on December 29, 2016.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria.

This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

This decision, and any conditions associated with it, is final. It may be appealed to the Oregon Land Use Board of Appeals (LUBA), within 21 days of the date the decision is mailed, as specified in the Oregon Revised Statute (ORS) 197.830. Among other things, ORS 197.830 requires that a petitioner at LUBA must have submitted written testimony during the comment period for this land use review. Contact LUBA at 775 Summer St NE Suite 330, Salem, OR 97301-1283 or phone 1-503-373-1265 for further information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Recording the final decision.

If this Land Use Review is approved, the final decision must be recorded with the Multnomah County Recorder. A building or zoning permit will be issued only after the final decision is recorded. The final decision may be recorded on or after **5/24/2017**.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder’s office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034. For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-7617.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

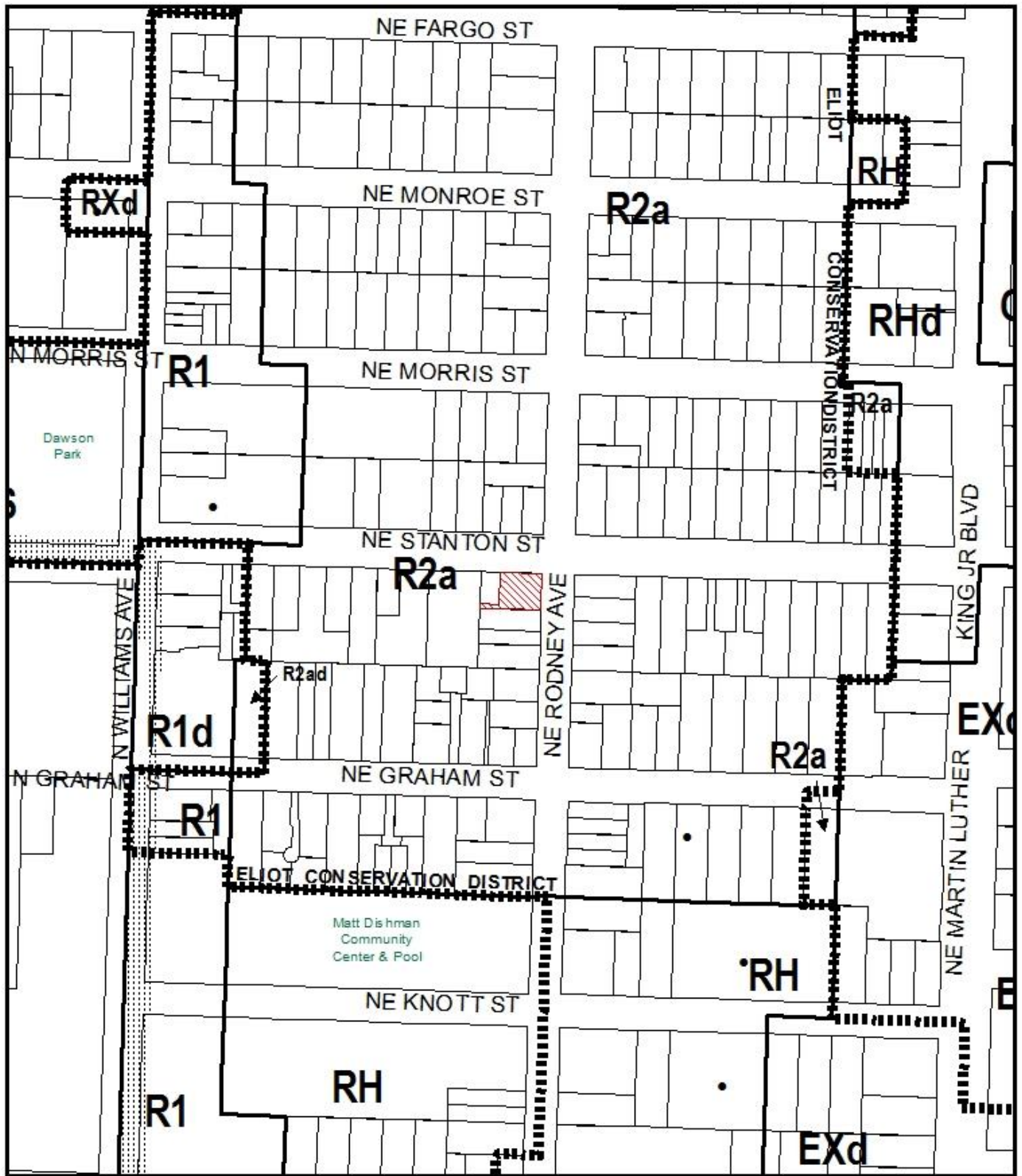
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code for the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Submittal
 - 1. Applicant's Project Narrative and Response to Approval Criteria 12/27/2016
 - 2. Original plan set – NOT APPROVED/reference only 12/27/2016
 - 3. Images of the church derived from Google Maps
 - 4. Map of conservation district
 - 5. Code compliance case information (case #: 16-107524 CC)
 - 6. Fire door cutsheet
 - 7. Depth and exposure information for original wood lap siding on building
 - 8. Alternative stair design with 7'-0" walls (would have been required if building code appeal not granted) – NOT APPROVED/reference only 2/27/2017
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan/Floor Plans (attached)
 - 2. Stair West & North Elevations/Stair Section/Stair Plan/Stair Framing Plan (attached)
 - 3. Stair Details
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses: None received
- F. Correspondence: None received
- G. Other:
 - 1. Original LU Application
 - 2. Incomplete Letter
 - 3. Oregon Historic Site Record
 - 4. Oregon Inventory of Historic Properties Historic Resource Survey Form

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING

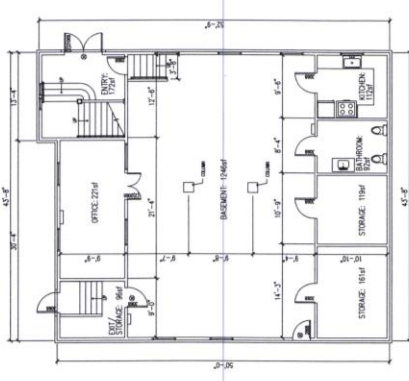
-  Site
-  Historic Landmark



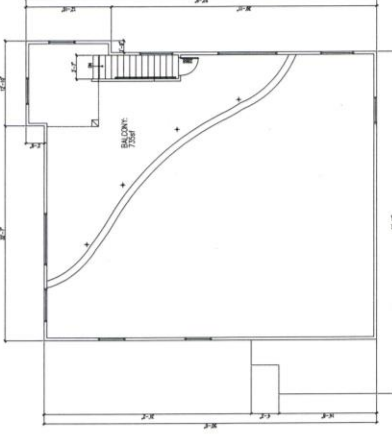
This site lies within the:
ALBINA COMMUNITY PLAN DISTRICT
ELIOT CONSERVATION DISTRICT

File No.	LU 16-292740 HR
1/4 Section	2730
Scale	1 inch = 200 feet
State_Id	1N1E27AD 6600
Exhibit	B (Mar 17, 2017)

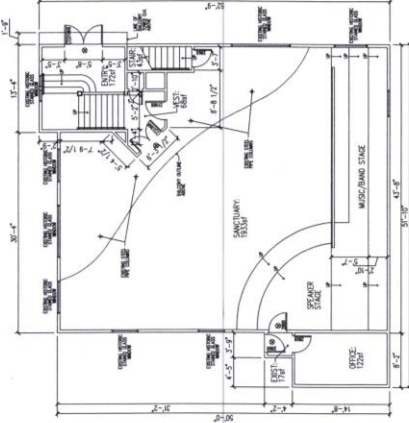
Approved*
 City of Portland - Bureau of Development Services
 Planner: *[Signature]*
 Date: 5/16/2012
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements and its apply.



1 EXISTING BASEMENT FLOOR PLAN
 SCALE 1/8" = 1'-0"



3 EXISTING BALCONY FLOOR PLAN
 SCALE 1/8" = 1'-0"



2 EXISTING SANCTUARY FLOOR PLAN
 SCALE 1/8" = 1'-0"

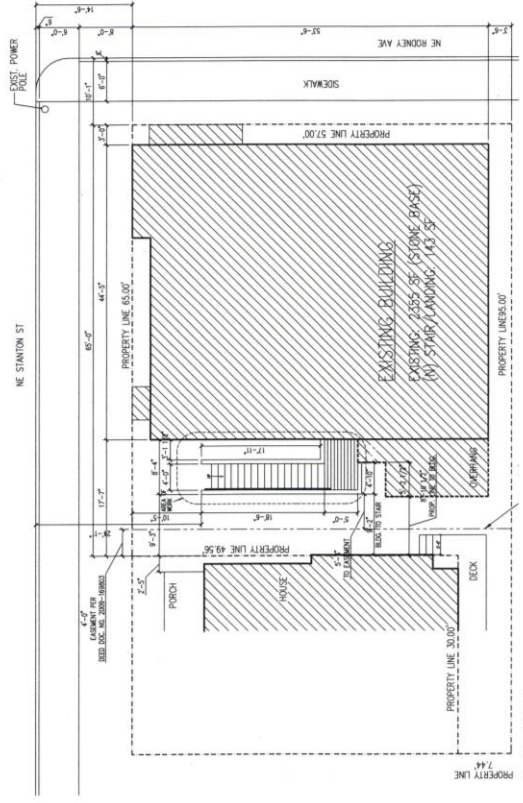
PROJECT INFORMATION

LOT AREA	4000 SF
BASINMENT	2245 SF
GROUND FLOOR	3245 SF
1ST FLOOR	1215 SF
2ND FLOOR	3075 SF
3RD FLOOR	3375 SF
4TH FLOOR	3375 SF
TOTAL ASSEMBLY AREAS	381 PEOPLE

OCCUPANCY: A1 (ASSEMBLY)
OCCUPANCY LOAD: 150 SF / 100 PEOPLE

General Notes

1. All lumber shall be grade #2 Douglas Fir, Hem/Fir, or better and shall be treated with preservative (Pressure Treated Lumber, Category 1, Deck surface and trim material of redwood, cedar, or other wood with a natural resistance to decay, or other wood with a preservative treatment. The use of treatment depends on the use as follows:
 - a. Decking, railing, eave, sills, and beams must be treated to a Category UC3B (or must be other wood with a natural resistance to decay).
 - b. Posts and other woods located on, in, or in contact with the ground must be a Category UC4E.
 - c. Any wood less than six inches above the ground or in contact with concrete must be a Category UC4A.
2. All nails shall be common or low galvanneal. It is recommended that common nails be used. They have a thicker shank and are stronger than de-nails.
3. New pressure treatment methods use chemicals that are previously prohibited. Check with your local health department for any restrictions. Requirements have changed. Note the following:
 - a. All screws and nails shall be hot-dipped galvanized or stainless steel.
 - b. All hardware (bolts, nuts and washers, joint hangers, mechanical fasteners, holdowns, tie plates, cast-in-place post anchors, etc.) shall be stainless steel or galvanized. Do not use galvanized steel in contact with steel. Look for products such as "Zinc" from Simpson Strong-Tie or "Triple Zinc" from USP.
4. All decking material shall be 2x4, 2x6, or five quarter (5.4") boards. Attach decking to each joist with two 10d nails or two #8 screws. Decking may be attached to joists with joist hangers. Decking must be attached to joists with the joists. Decking must have a span length such that each board bears on a minimum of two joists.
5. Headers over existing doors, windows or openings greater than six feet in height must be located above a deck that will be attached to the house must be minimum 4" thick. These headers can support the additional load added by the deck.
6. The bottom of all footings for decks that are attached to a house are to be placed a minimum of 18 inches below the surface of the finished grade for freestanding decks, and a minimum of 12 inches below the surface of the footing for decks adjacent to the top of a retaining wall must be set back from the wall a distance equal to the height of the wall, or be extended below grade an amount equal to the height of the retaining wall.



4 SITE PLAN
 SCALE 1/8" = 1'-0"

PROJECT:
 MIRACLE REVITALS, INC CHURCH STAIR
 2859 NE RONNEY AVE
 PORTLAND, OREGON 97212

SITE INFORMATION
 ZONE: NR
 DISTRICT: N
 SUBDISTRICT: N1
 LOT AREA: 4000 SF
 LOT SIZE: 29 AC 3.845 SF
 PROJECT NO: 2859 NE RONNEY AVE
 ALLEYS: NONE
 PROPERTY ID: 123456789
 ADDRESS: 2859 NE RONNEY AVE
 CITY: PORTLAND, OR 97212
 COUNTY: CLATSOP
 STATE: OR



ROBERT KALOCZY,
 ARCHITECT
 2859 NE RONNEY AVE
 PORTLAND, OR 97212

APPROVED ARCHITECT
 STREET ADDRESS:
 CITY, STATE
 PHONE: (503) 281-1111
 FAX: (503) 281-1111
 E-MAIL: rk@ksa.com

A1
 EXISTING FLOOR PLANS
 INT PLAN - ORIGINAL NOTES